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Notes

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MIXED USE BUILDING
165 RUTLAND ROAD NORTH
KELOWNA, BRITISH COLUMBIA

Project No.	Scale	
144104624	AS NOTED	
Drawing No.	Sheet	Revision

DP00 of 0

10160 112th STREET
EDMONTON, ALBERTA
T5K 2L6

DP00	COVER SHEET
	SITE SURVEY PLAN
DP01	SITE PLAN
DP01A	SWEPT PATH PLAN

DP100	PARKADE LEVEL PLAN
DP110	MAIN FLOOR PLAN
DP120	SECOND FLOOR PLAN
DP130	THIRD FLOOR PLAN
DP140	FOURTH FLOOR PLAN
DP150	FIFTH FLOOR PLAN
DP160	SIXTH FLOOR PLAN
DP161	ROOF PLAN

DP201 EXTERIOR ELEVATIONS
DP202 EXTERIOR ELEVATIONS

DP301 BUILDING SECTIONS

303 590 KLO ROAD,
KELOWNA, B.C. V1Y 7S2

L1 CONCEPTUAL LANDSCAPE PLAN
L2 WATER CONSERVATION / IRRIGATION PLAN



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Client/Project
TRAINE DEVELOPMENT INC.

MIXED USE BUILDING
165 RUTLAND ROAD NORTH
KELOWNA, BRITISH COLUMBIA

Title
SURVEY

Project No. 144104624	Scale AS NOTED	Revision
Drawing No.	Sheet	

Integrated Survey Area No. 4, City of Kelowna,
NAD83 (CSRS) 4.0.0.BC.1

Grid bearings are derived from GNSS observations between
geodetic control monuments 86H2355 and 86H2361.

The UTM coordinates and estimated horizontal positional
accuracy are derived from Real-time GNSS survey ties to
geodetic control monuments 86H2355 and 86H2361 from
Leica Smartnet station ID 4005.

This plan shows horizontal ground-level distances unless
otherwise specified. To compute grid distances, multiply
ground-level distances by the combined factor of
of 0.9998982 which has been derived from geodetic
control monuments 86H2355 and 86H2361.
CGVD 28 (HTV2.0)

Note: The coordinates and horizontal positional accuracies
shown on this plan are a result of an independent and
accurate GNSS survey and do not represent official
published coordinates.



RUNNALLS DENBY

british columbia land surveyors

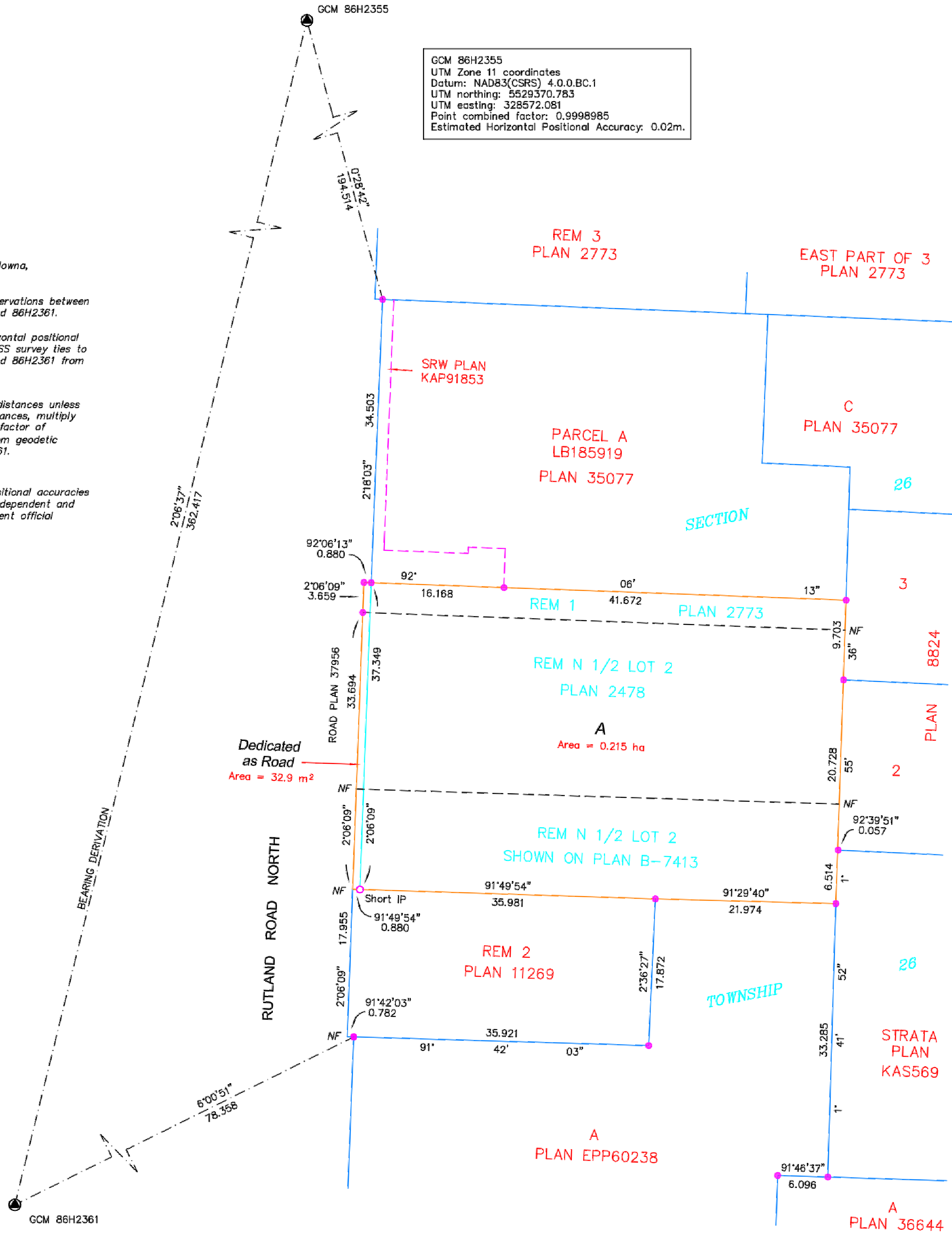
259A Lawrence Avenue Phone: (250)763-7322
Kelowna, B.C. Fax: (250)763-4413
V1Y 6L2 Email: rob@runnallsdenby.com

DWG. No.: 15230 Subdivision

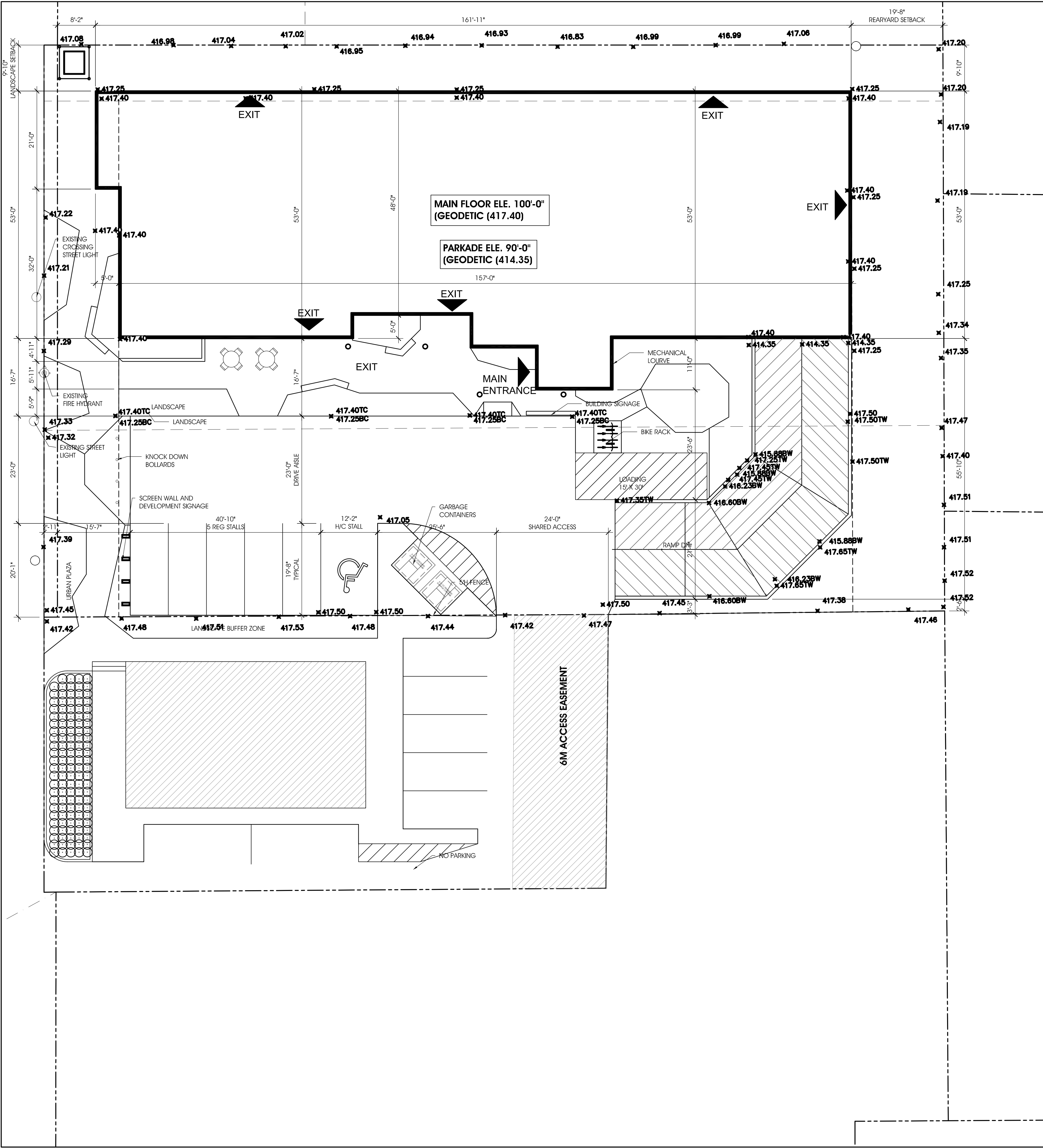
FILE: 15230

GCM 86H2361
UTM Zone 11 coordinates
Datum: NAD83(CSRS) 4.0.0.BC.1
UTM northing: 5528008.649
UTM easting: 328558.737
Point combined factor: 0.9998979
Estimated Horizontal Positional Accuracy: 0.02m.

GCM 86H2355
UTM Zone 11 coordinates
Datum: NAD83(CSRS) 4.0.0.BC.1
UTM northing: 5529370.783
UTM easting: 328572.081
Point combined factor: 0.9998985
Estimated Horizontal Positional Accuracy: 0.02m.



V:\141\active\14104624\2_Active_Design\5_Dwg_Models\2_Arch\CAD\1_Working\04624_DP01.dwg
2018/10/11 1:51 PM By: Doan, Mimi



LEGAL DESCRIPTION: LOT KID PLAN ZONING: C4 - MIXED USE SITE AREA:		#2 322103 2478 23,170 SF 0.56 ACRES	MUNICIPAL ADDRESS: 165 RUTLAND ROAD NORTH KELOWNA, BC	
SETBACKS: FRONTYARD SETBACK: SIDEYARD SETBACK: SIDEYARD SETBACK: REARYARD SETBACK: F.A.R.:		4M URBAN PLAZA 3M LANDSCAPE LEVEL 2 (NORTH) 0M LANDSCAPE (SOUTH) 19'-9" (6.0m)	13,123 FT (4.0m) 9.84 FT (3.0m) 0 FT (0.0m) 19'-9" (6.0m)	RESIDENTIAL ZONE
MIXED USE C4 ZONE: 1.3 BONUS - STRUCTURE PARKING: 0.184 ALLOWABLE F.A.R.: 1.484 OR:		(23 OF 25 REQUIRED PARKING STALLS PROVIDED IN THE U/G PARKADE)		
		BUILDING FOOT PRINT	CIRCULATION AND AMENITY	NET FLOOR AREA
MAIN FLOOR:		8511 SF		841 SF
CRU				2057 SF
RESIDENTIAL UNITS				
DINING + KITCHEN + W/C + STORAGE			2274 SF	
RECEPTION / MGR OFFICE			194 SF	
W/C AND JANITOR ROOM			288 SF	
MAIL ROOM			67 SF	
TREATMENT ROOM / CARDIO / TUB ROOM / WAITING			1009 SF	
STAFF ROOM / MGR OFFICE			251 SF	
CORRIDOR AND CIRCULATION:			1530 SF	
TOTAL MAIN FLOOR:		8511 SF	5613 SF	2898 SF
2ND FLOOR		7996 SF	1737 SF	6259 SF
3RD FLOOR		7996 SF	1725 SF	6271 SF
4TH FLOOR		7996 SF	1725 SF	6271 SF
5TH FLOOR		7585 SF	1613 SF	5972 SF
6TH FLOOR		6682 SF	2087 SF	4595 SF
F.A.R. PROPOSED:		46766 SF	14500 SF	32266 SF
OR:		1.39		
BUILDING HEIGHT: MAXIMUM BUILDING HEIGHT: PROPOSED BUILDING HEIGHT:			82'-0" (25.0m)	
SITE COVERAGE FOR BUILDING + DRIVEWAY + PARKING AREAS: BUILDING AREAS (BUILDING FOOTPRINT): ASPHALT + DRIVEWAY / RAMP: TOTAL:			10006 SF 5954 SF 15960 SF	
PROPOSED:			68.88%	
ALLOWED:			75.00%	
PRIVATE AMENITY: REQUIRED: 107 S.F. / 1 BEDROOM UNIT X 36 UNITS 65 S.F. / STUDIO UNIT X 30 TOTAL PRIVATE AMENITY REQUIRED:			3745 SF 2080 SF 5825 SF	
PROVIDED:				
ROOF DECK @ LEVEL 2			447 SF	
LANDSCAPE ON MAIN			1050 SF	
PRIVATE COURTYARD ON MAIN			915 SF	
ROOF DECK - 5TH FLOOR			367 SF	
ART & CRAFT ROOM ON 6TH FLOOR			390 SF	
PRIVATE BALCONIES AT LEVEL 3			447 SF	
COMMUNITY GARDEN ON MAIN			2199 SF	
ROOF GARDEN - 6TH FLOOR:			787 SF	
TOTAL INDOOR + OUTDOOR AMENITY:			6602 SF	
UNIT COUNTS:				
LEVEL		1 BR	STUDIO	TOTAL
MAIN FLOOR		5	5	10
2ND FLOOR		8	5	13
3RD FLOOR		8	5	13
4TH FLOOR		8	5	13
5TH FLOOR		6	7	13
6TH FLOOR		5	5	10
TOTAL		35	32	67
PERCENTAGE		52%	48%	100%
PARKING				
PARKING REQUIRED:				
SUPPORTIVE HOUSING: (1 PER 3 DWELLING UNITS)		NUMBER OF UNITS 67 UNITS	PARKING REQUIRED 22 STALLS	TOTAL REQUIRED 1 STALLS
RETAIL STORE (1.75 PER 100 SQM)		1	841	1 STALLS
OFFICE 2.5 STALLS / 1076 SF (Manager office + staff room + treatment room)			500	1 STALLS
TOTAL PARKING REQUIRED:				25 STALLS
PARKING PROVIDED:				
REGULAR				
MID SIZE				
SMALL				
TOTAL				
U/G PARKING:		22	1	23 STALLS
SURFACE		6		6 STALLS
TOTAL		22	1	23 STALLS
PERCENTAGE		21%	76%	100%
BICYCLE PARKING REQUIRED:				
CLASS 1 0.5				
TOTAL REQUIRED (54 UNITS)		33.5	PER UNIT SPACES	
TOTAL PROVIDED:		33	WALL MOUNTED BIKE RACKS	
TOTAL BICYCLE PARKING PROVIDED:		33	SPACES	
LOADING SPACE:				
PROVIDED: 1			SPACE	



Stantec Architecture Ltd.
10160 - 112 Street
Edmonton AB Canada T5K 2L6

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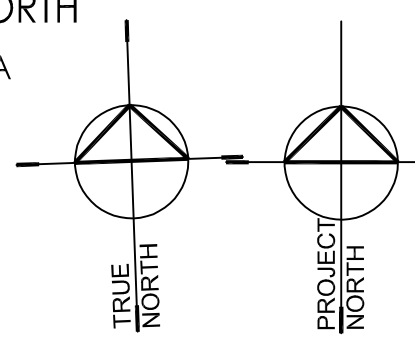
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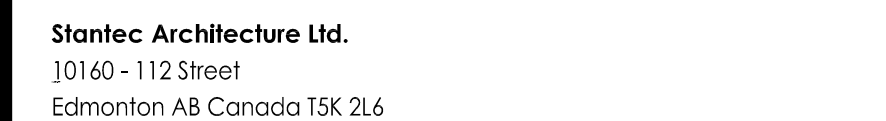
MIXED USE BUILDING
165 RUTLAND ROAD NORTH
KELOWNA, BRITISH COLUMBIA

Title
SITE PLAN
SITE DATA



Project No. 144104624	Scale 3/32" = 1'-0"	Revision
Drawing No.	Sheet	

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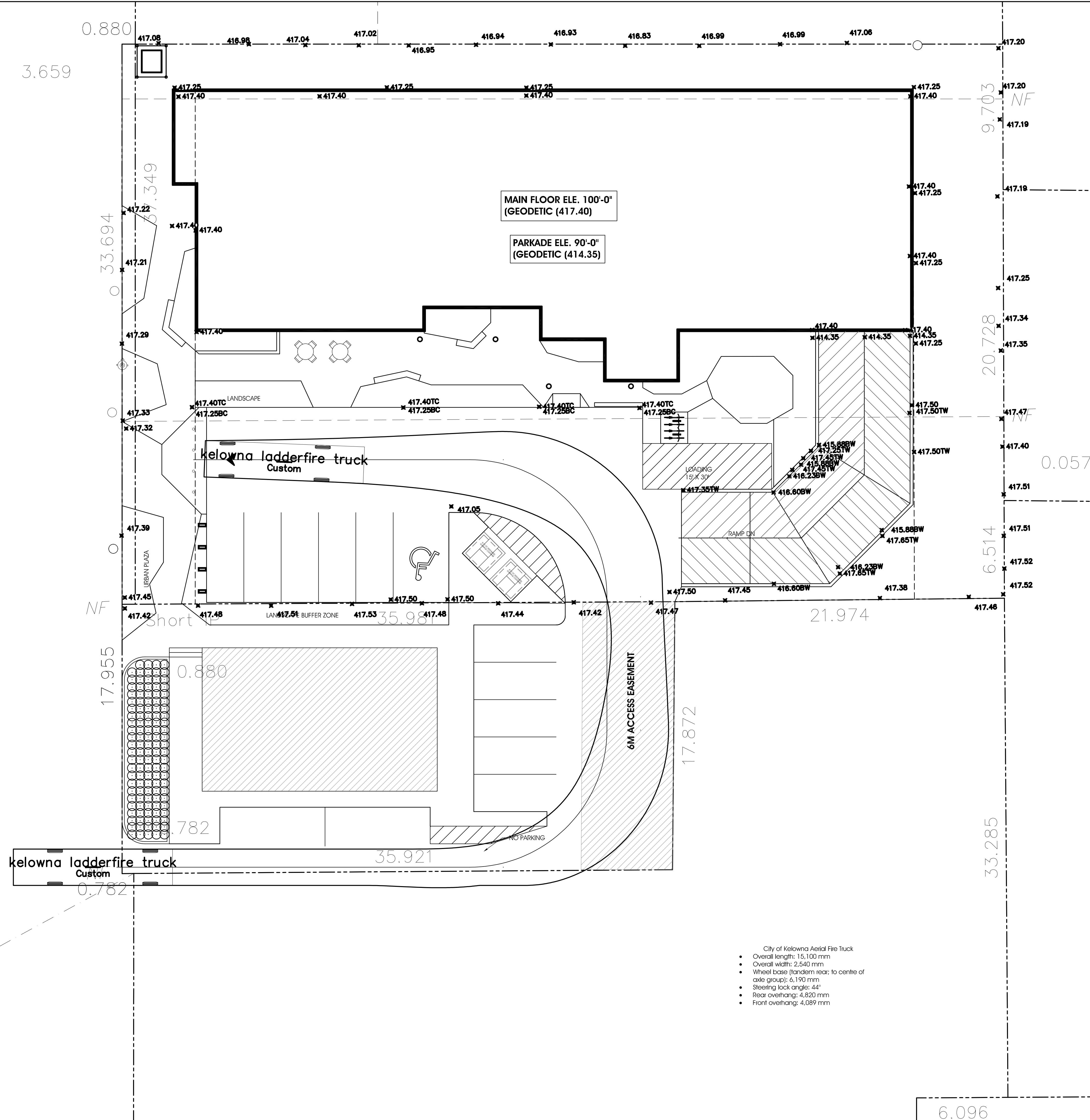
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TRAINE DEVELOPMENT INC.

MIXED USE BUILDING
165 RUTLAND ROAD NORTH
KELOWNA, BRITISH COLUMBIA

Title
SWEPT PATH ANALYSIS
SITE DATA

Project No.	Scale	
144104624	$3/32" = 1'-0"$	
Drawing No.	Sheet	Revision

DP01A of 0



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ORIGINAL SHEET ARCHIVE



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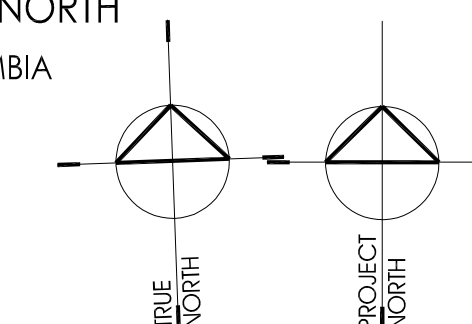
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Client/Project
TRAINE DEVELOPMENT INC.

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165 RUTLAND ROAD NORTH
KELOWNA, BRITISH COLUMBIA

Title
PARKADE PLAN



Project No.	Scale
144104624	1/8" = 1'-0"

Drawing No.	Sheet	Revision
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ORIGINAL SHEET - ARCH D



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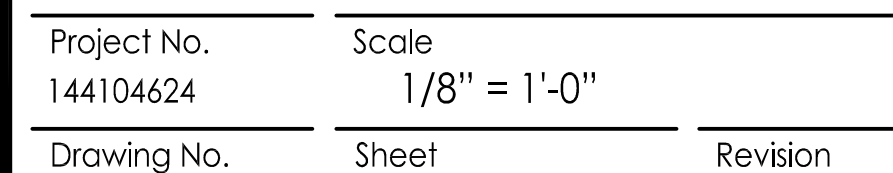
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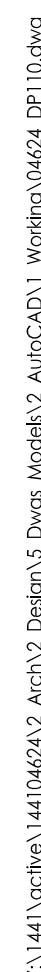
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Title
MAIN FLOOR PLAN



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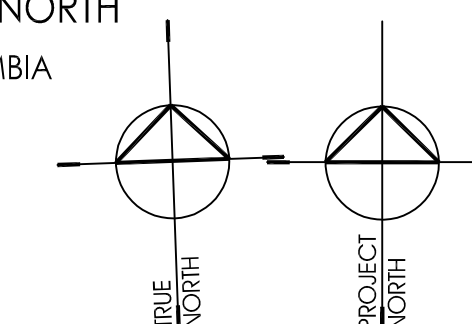
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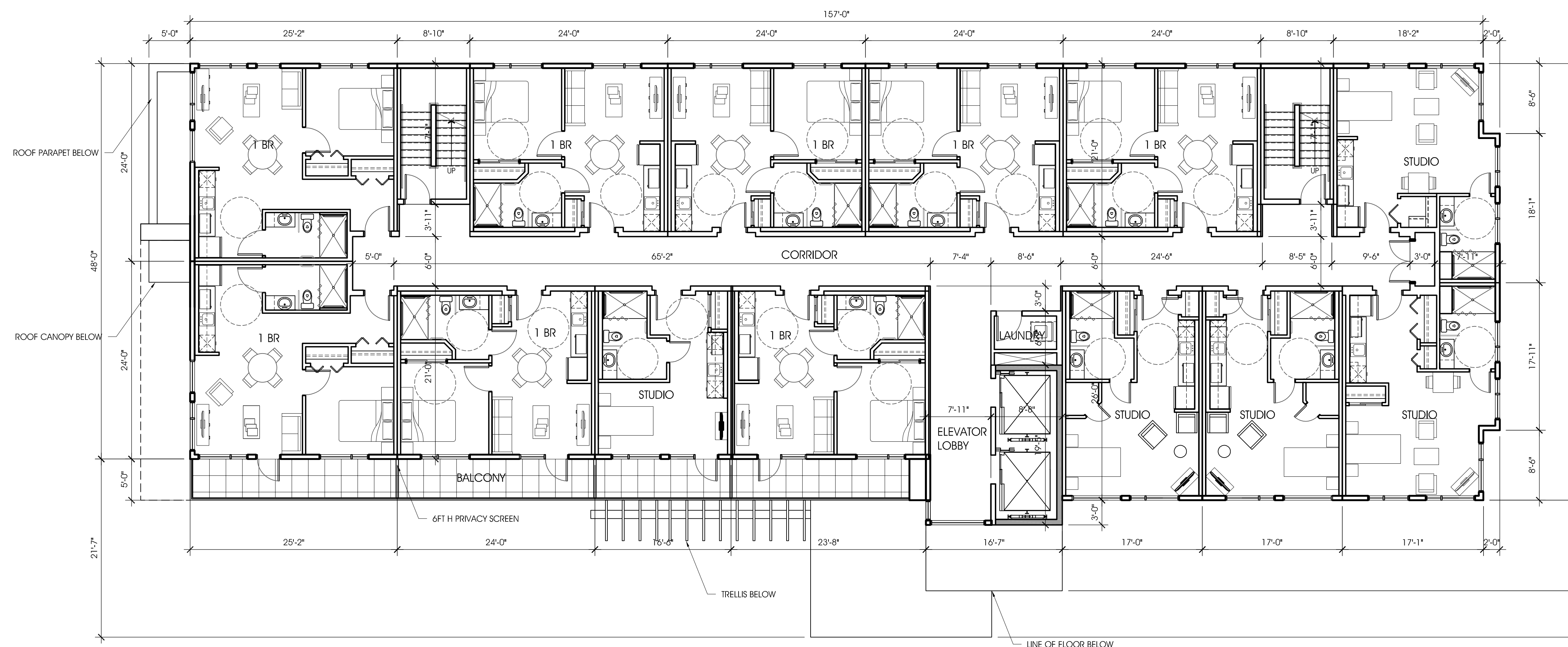
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KELOWNA, BRITISH COLUMBIA

Title
2ND FLOOR PLAN



Project No.	Scale	
144104624	$1/8" = 1'-0"$	
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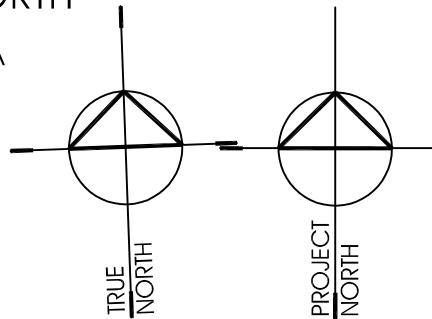
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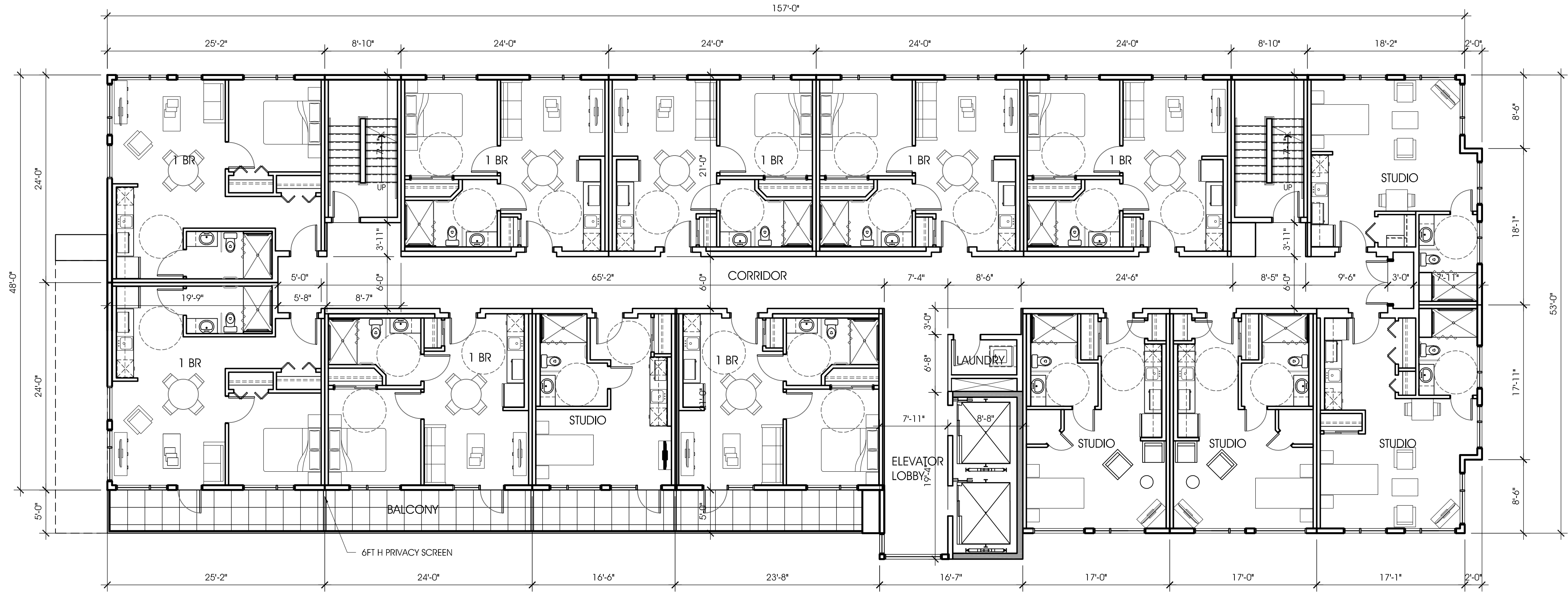
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Title
3RD FLOOR PLAN



Project No. 144104624	Scale 1/8" = 1'-0"	Revision
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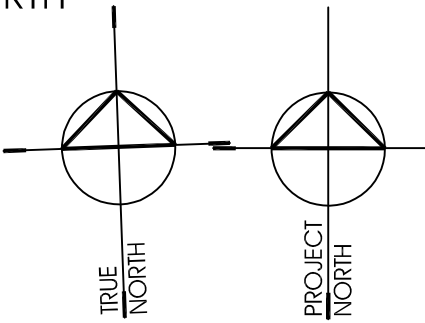
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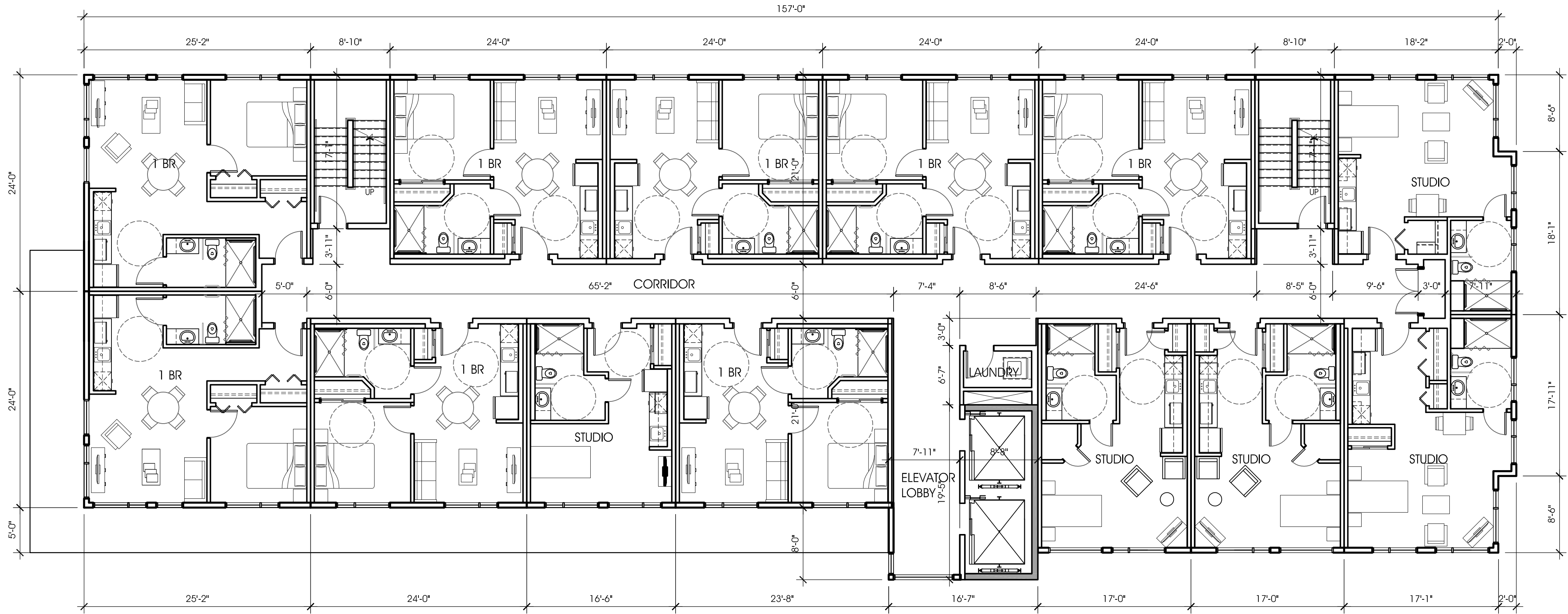
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Title
4TH FLOOR PLAN



Project No. 144104624	Scale 1/8" = 1'-0"	Revision
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MIXED USE BUILDING
165 RUTLAND ROAD NORTH
KELOWNA, BRITISH COLUMBIA

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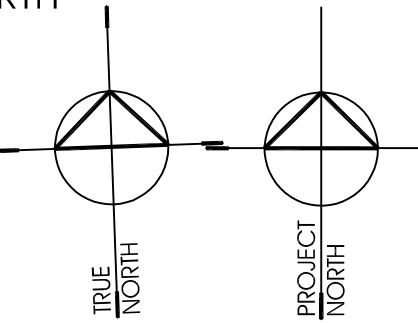
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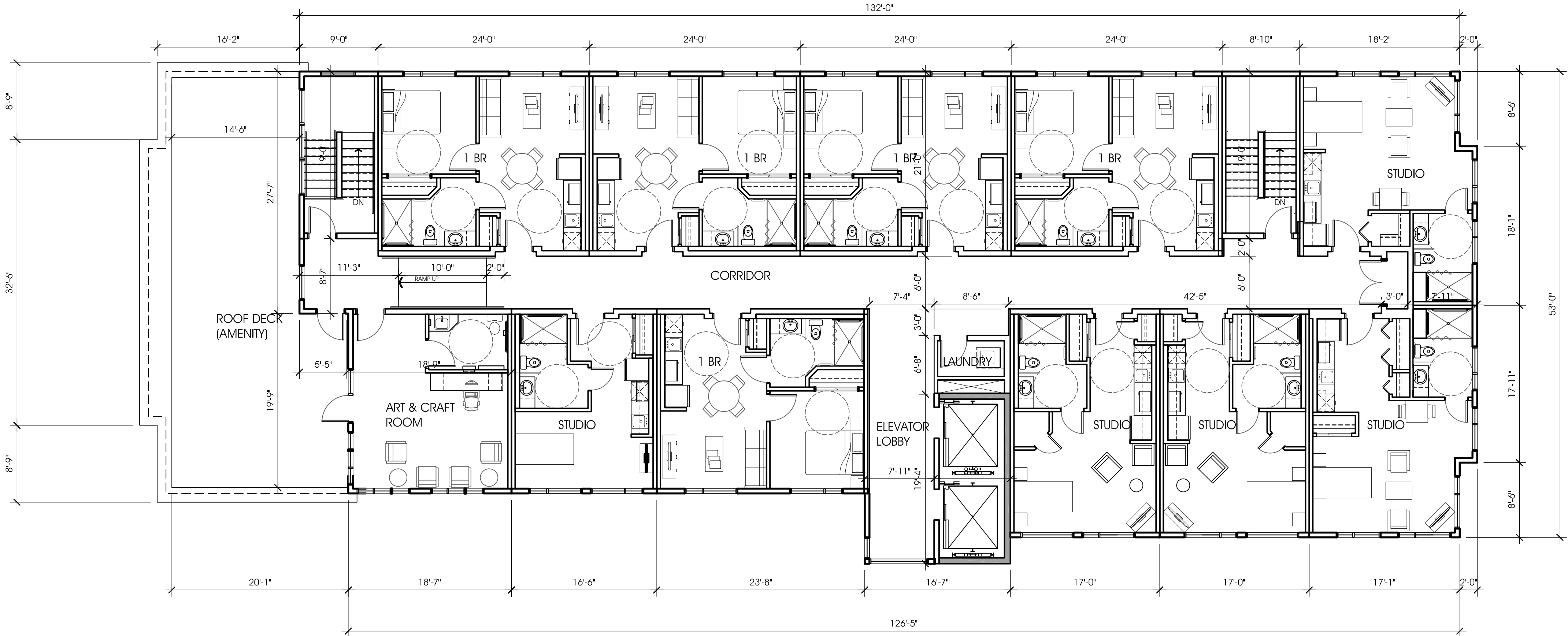
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Title
6TH FLOOR PLAN



Project No. 144104624	Scale 1/8" = 1'-0"	Revision
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MIXED USE BUILDING
165 RUTLAND ROAD NORTH
KELOWNA, BRITISH COLUMBIA

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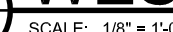
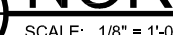


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165 RUTLAND ROAD NORTH
KELOWNA, BRITISH COLUMBIA

Project No.	Scale
144104624	AS NOTED

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Notes

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TRAINE DEVELOPMENT INC.

MIXED USE BUILDING
165 RUTLAND ROAD NORTH
KELOWNA, BRITISH COLUMBIA

Title
ELEVATIONS

Project No. 144104624	Scale AS NOTES
Drawing No.	Sheet Revision

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Revision	By	Appd.	YY.MM.DD

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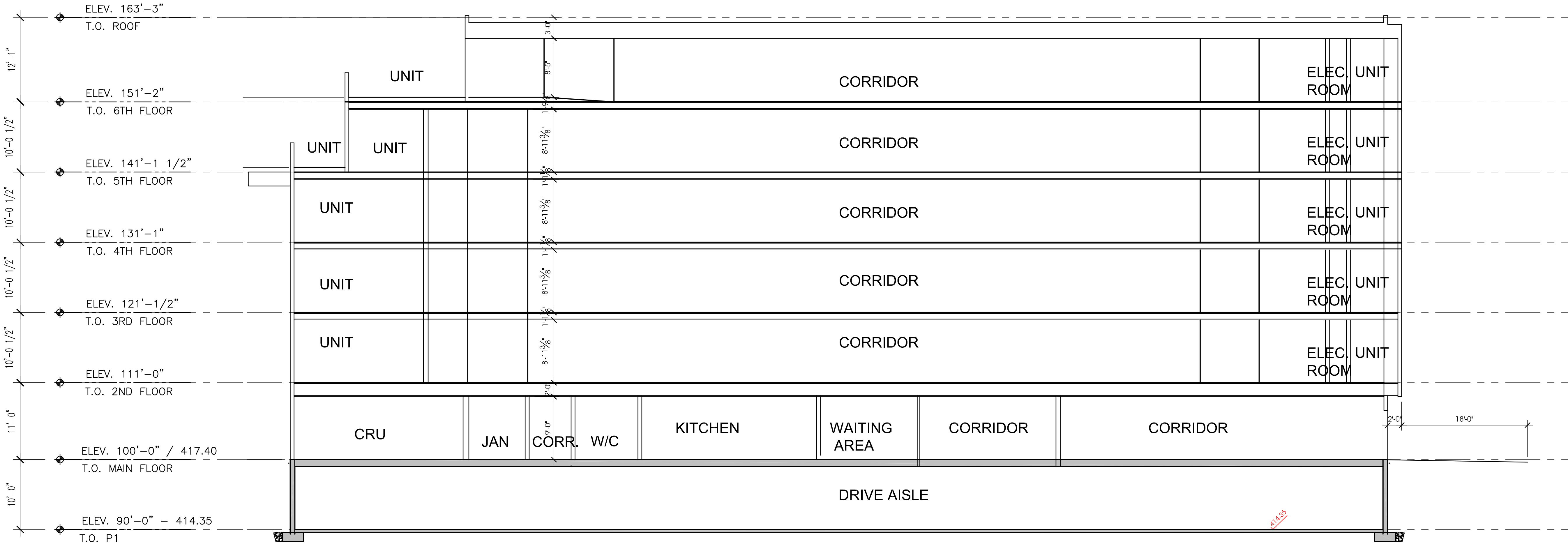
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MIXED USE BUILDING
165 RUTLAND ROAD NORTH
KELOWNA, BRITISH COLUMBIA

Title
BUILDING SECTION

Project No. 144104624	Scale 1/8" = 1'-0"	
Drawing No.	Sheet	Revision

DP01 of 0



1

BUILDING SECTION A-A

DP110 SCALE: 1/8" = 1'-0"



NORTH ELEVATION
SCALE: 1/8" = 1'-0"



WEST ELEVATION
SCALE: 1/8" = 1'-0"

EXTERIOR ELEVATION LEGEND

- 1 CEMENTITIOUS SIDING
COLOUR: JAMES HARDIE- TIMBER BARK OR SIMILAR
- 2 CEMENTITIOUS PANEL
COLOUR: JAMES HARDIE - ARCTIC WHITE OR SIMILAR
- 3 MASONRY: RUNNING BRICK
COLOUR: EBONY VELOUR OR SIMILAR
- 4 MASONRY: VERTICAL STACK BRICK
COLOUR: EBONY VELOUR OR SIMILAR
- 5 COMPOSITE WOOD PANEL OR SIMILAR
- 6 METAL FASCIA
- 7 ANODIZED ALUMINUM CURTAIN WALL FRAME
- 8 ALUMINUM DOOR C/W CLEAR SEALED GLAZING
- 9 INSULATED PATIO DOOR C/W INSULATED PVC FRAME
- 10 INSULATED METAL DOOR AND FRAME
- 11 PVC WINDOW C/W INSULATED PVC FRAME
- 12 BALCONY GUARDRAIL C/W GLAZING
- 13 ENTRANCE CANOPY
- 14 WOOD TRELLIS

Revision	By	Appd.	YY.MM.DD

Issued	By	Appd.	YY.MM.DD

File Name:	Dwn.	Chkd.	Dsgn.	YY.MM.DD

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Client/Project
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MIXED USE BUILDING
165 RUTLAND ROAD NORTH
KELOWNA, BRITISH COLUMBIA

Title
ELEVATIONS

Project No. 144104624	Scale AS NOTES
Drawing No.	Sheet

Revision

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SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



EAST ELEVATION
SCALE: 1/8" = 1'-0"

EXTERIOR ELEVATION LEGEND

- 1 CEMENTITIOUS SIDING
COLOUR: JAMES HARDIE- TIMBER BARK OR SIMILAR
- 2 CEMENTITIOUS PANEL
COLOUR: JAMES HARDIE - ARCTIC WHITE OR SIMILAR
- 3 MASONRY: RUNNING BRICK
COLOUR: EBONY VELOUR OR SIMILAR
- 4 MASONRY: VERTICAL STACK BRICK
COLOUR: EBONY VELOUR OR SIMILAR
- 5 COMPOSITE WOOD PANEL OR SIMILAR
- 6 METAL FASCIA
- 7 ANODIZED ALUMINUM CURTAIN WALL FRAME
- 8 ALUMINUM DOOR C/W CLEAR SEALED GLAZING
- 9 INSULATED PATIO DOOR C/W INSULATED PVC FRAME
- 10 INSULATED METAL DOOR AND FRAME
- 11 PVC WINDOW C/W INSULATED PVC FRAME
- 12 BALCONY GUARDRAIL C/W GLAZING
- 13 ENTRANCE CANOPY
- 14 WOOD TRELLIS

Revision	By	Appd.	YY/MM/DD

Issued	By	Appd.	YY/MM/DD
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File Name:	Dwn.	Chkd.	Dsgn.	YY/MM/DD
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Permit-Seal

Client/Project
TRAINE DEVELOPMENT INC.

MIXED USE BUILDING
165 RUTLAND ROAD NORTH
KELOWNA, BRITISH COLUMBIA

Title
ELEVATIONS

Project No. 144104624	Scale AS NOTES
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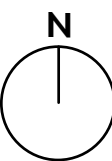
Drawing No.	Sheet	Revision
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DP201 of 0



OUTLAND DESIGN
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PROJECT TITLE

155 & 165-179
RUTLAND ROAD NORTH

Kelowna, BC

DRAWING TITLE

CONCEPTUAL
LANDSCAPE PLAN

ISSUED FOR / REVISION

1	18.10.10	Review
2		
3		
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PROJECT NO. 18-069

DESIGN BY KM

DRAWN BY NG

CHECKED BY FB

DATE OCT. 10, 2018

SCALE 1:125

PAGE SIZE 24"x36"

SEAL



DRAWING NUMBER

L1/2

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NOTES

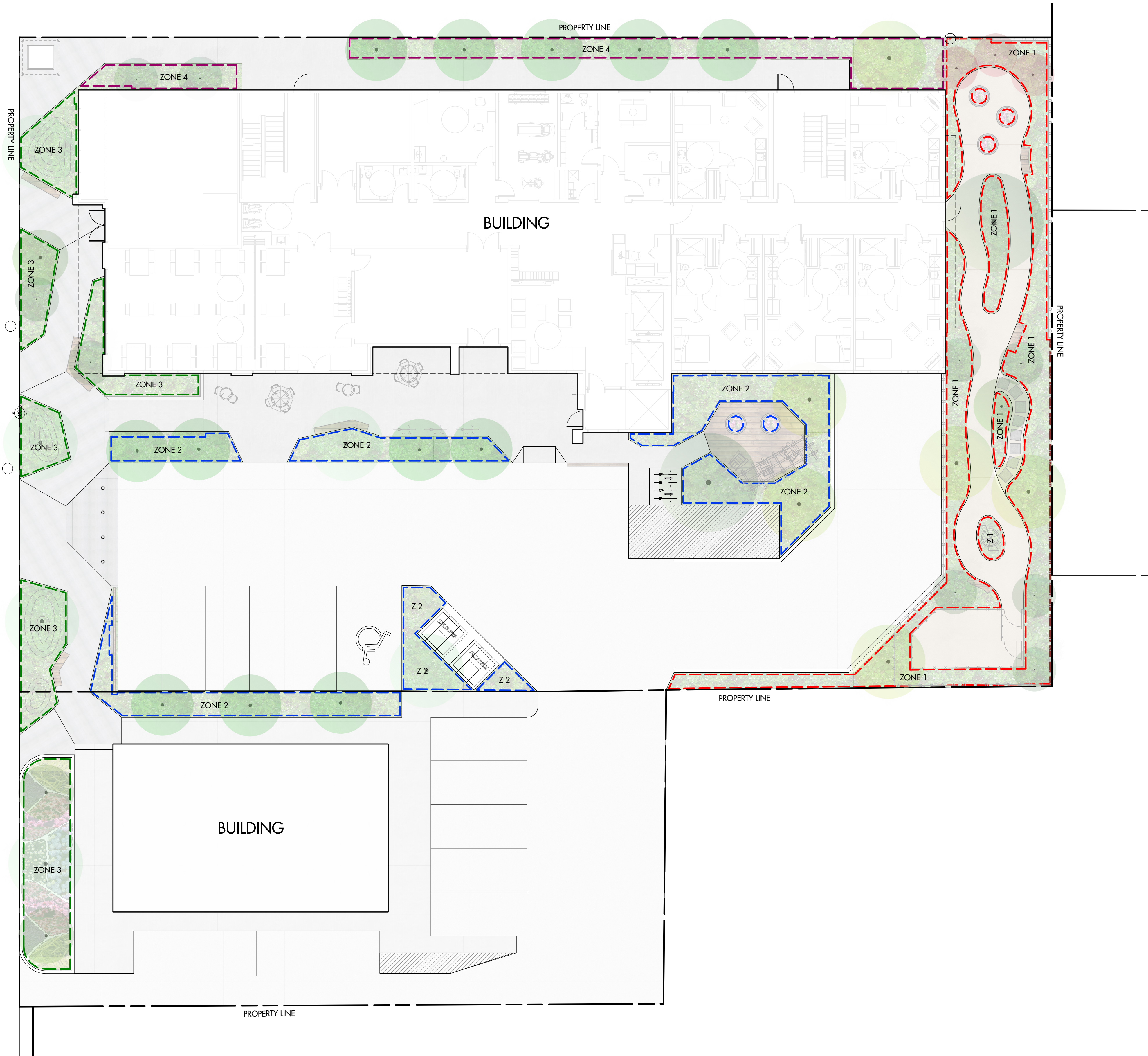
1. PLANT MATERIAL AND CONSTRUCTION METHODS SHALL MEET OR EXCEED C.N.I.A. STANDARDS.
2. ALL SOFT LANDSCAPE AREAS SHALL BE WATERED BY A FULLY AUTOMATIC TIMED UNDERGROUND IRRIGATION SYSTEM.
3. TREE AND SHRUB BEDS TO BE DRESSED IN A MINIMUM 75mm WOOD MULCH. DO NOT PLACE WEED MAT UNDERNEATH TREE AND SHRUB BEDS.
4. TREE AND SHRUB BEDS TO RECEIVE A MINIMUM 300mm DEPTH TOPSOIL PLACEMENT.

PLANT LIST

BOTANICAL NAME	COMMON NAME	QTY	SIZE / REMARKS
TREES			
ACER GRISEUM 'JFS KW8AGRI'	FIREBURST PAPERBARK MAPLE	4	6cm CAL.
CERCIS CANADENSIS 'COVEY'	LAVENDER TWIST REDBUD	3	4cm CAL.
MAACKIA AMURENSIS	AMUR MAACKIA	6	6cm CAL.
METASEQUOIA GLYPTOSTROBILIS	DAWN REDWOOD	2	10cm CAL.
PICEA PUNGENS 'FASTIGIATA'	COLUMNAR COLORADO SPRUCE	9	2.5m HT.
QUERCUS ROBUR X ALBA 'CRIMSCHMIDT'	CRIMSON SPIRE OAK	12	8cm CAL.
TILIA AMERICANA 'BOULEVARD'	BOULEVARD LINDEN	6	6cm CAL.
SHRUBS			
BUXUS 'GREEN GEM'	GREEN GEM BOXWOOD	20	#01 CONT. / 0.75m O.C. SPACING
CORNUS ALBA 'BAIHALO'	IVORY HALO DOGWOOD	13	#02 CONT. / 1.5m O.C. SPACING
EUONYMUS ALATA 'COMPACTA'	DWARF BURNING BUSH	9	#02 CONT. / 1.8m O.C. SPACING
PHYSCARPUS OPULOFOLIUS 'MONLO'	DIABOLO NINEBARK	7	#02 CONT. / 2.0m O.C. SPACING
PINUS MUGO	MUGO PINE	7	#02 CONT. / 2.0m O.C. SPACING
SPIRAEA X BUJALDA 'ANTHONY WATERER'	ANTHONY WATERER SPIREA	29	#02 CONT. / 1.0m O.C. SPACING
SYRINGA MEYERI 'PALIBIN'	DWARF KOREAN LILAC	13	#02 CONT. / 1.5m O.C. SPACING
VIBURNUM OPUUS 'COMPACTUM'	COMPACT EUROPEAN CRANBERRY	20	#01 CONT. / 0.75m O.C. SPACING
GROUNDCOVERS, PERENNIALS & VINES			
ACHILLEA 'GOLD PLATE'	GOLD PLATE YARROW	31	#01 CONT. / 0.6m O.C. SPACING
ACHEMILLA MOLLIS	LADY'S MANTLE	20	#01 CONT. / 0.75m O.C. SPACING
ARTEMISIA SCHMIDTIANA	SILVERMOUND	31	#01 CONT. / 0.6m O.C. SPACING
ASTER FRIKARTII 'MONCH'	FRIKART'S ASTER	14	#01 CONT. / 0.9m O.C. SPACING
ECHINACEA PURPUREA 'MAAGNUS'	PURPLE CONEFLOWER	31	#01 CONT. / 0.6m O.C. SPACING
EUONYMUS FORTUNEI 'COLORATUS'	WINTERCREPER	29	#01 CONT. / 1.0m O.C. SPACING
EUPATORIUM DUBIUM 'LITTLE JOE'	LITTLE JOE JOE PYE WEED	20	#01 CONT. / 1.2m O.C. SPACING
HELIOTRICHON SEMPERVIRENS	BLUE OAT GRASS	20	#01 CONT. / 0.75m O.C. SPACING
HEMEROCALLIS 'STELLA DE ORO'	STELLA D'ORO DAYLILY	31	#01 CONT. / 0.6m O.C. SPACING
HEUCHERA 'GEORGIA PEACH'	GEORGIA PEACH CORAL BELLS	31	#01 CONT. / 0.6m O.C. SPACING
LAVANDULA ANGUSTIFOLIA 'HIDCOTE'	ENGLISH LAVENDER	31	#01 CONT. / 0.6m O.C. SPACING
MISCANTHUS SINENSIS PURPURASCENS	ORANGE FLAME GRASS	20	#01 CONT. / 1.2m O.C. SPACING
PARTHENOCISSUS TRICUSPIDATA	BOSTON IVY	13	#01 CONT. / 1.5m O.C. SPACING
SALVIA NEMOROSA 'MAY NIGHT'	MAY NIGHT MEADOW SAGE	31	#01 CONT. / 0.6m O.C. SPACING
SEDUM SPECTABILE 'AUTUMN JOY'	AUTUMN JOY STONECROP	31	#01 CONT. / 0.6m O.C. SPACING
THYMUS SERPYLLUM 'ELFIN'	ELFIN THYME	20	#01 CONT. / 0.75m O.C. SPACING



RUTLAND ROAD



WATER CONSERVATION CALCULATIONS

LANDSCAPE MAXIMUM WATER BUDGET (WB) = 441 cu.m. / year
ESTIMATED LANDSCAPE WATER USE (WU) = 245 cu.m. / year
WATER BALANCE = 196 cu.m. / year
*REFER ATTACHED IRRIGATION APPLICATION FOR DETAILED CALCULATIONS

IRRIGATION LEGEND

- ZONE #1:** HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS
TOTAL AREA: 147 sq.m.
MICROCLIMATE: SOUTHEAST EXPOSURE, PARTIALLY SHADED BY TREES
ESTIMATED ANNUAL WATER USE: 82 cu.m.
- ZONE #2:** HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS
TOTAL AREA: 128 sq.m.
MICROCLIMATE: SOUTH EXPOSURE, PARTIALLY SHADED BY TREES
ESTIMATED ANNUAL WATER USE: 71 cu.m.
- ZONE #3:** HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS
TOTAL AREA: 101 sq.m.
MICROCLIMATE: WEST EXPOSURE, PARTIALLY SHADED BY TREES
ESTIMATED ANNUAL WATER USE: 56 cu.m.
- ZONE #4:** HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS
TOTAL AREA: 65 sq.m.
MICROCLIMATE: NORTH EXPOSURE, HEAVILY SHADED BY BUILDING
ESTIMATED ANNUAL WATER USE: 36 cu.m.

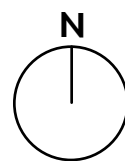
IRRIGATION NOTES

1. IRRIGATION PRODUCTS AND INSTALLATION METHODS SHALL MEET OR EXCEED THE REQUIREMENTS OF THE WATER USE REGULATION BYLAW NO. 10480 AND THE SUPPLEMENTARY SPECIFICATIONS IN THE CITY OF KELOWNA BYLAW 7900 (PART 6, SCHEDULE 5).
2. THE IRRIGATION SYSTEM SHALL MEET THE REQUIREMENTS, REGULATIONS, AND BYLAWS OF THE WATER PURVEYOR.
3. THE IRRIGATION SYSTEM SHALL BE EQUIPPED WITH AN APPROVED BACKFLOW PREVENTION DEVICE, WATER METER, AND SHUT OFF VALVE LOCATED OUTSIDE THE BUILDING ACCESSIBLE TO THE CITY.
4. AN APPROVED SMART CONTROLLER SHALL BE INSTALLED. THE IRRIGATION SCHEDULING TIMES SHALL UTILIZE A MAXIMUM ET VALUE OF 7" / MONTH (KELOWNA JULY ET), TAKING INTO CONSIDERATION SOIL TYPE, SLOPE, AND MICROCLIMATE.
5. DRIP LINE AND EMITTERS SHALL INCORPORATE TECHNOLOGY TO LIMIT ROOT INTRUSION.
6. IRRIGATION SLEEVES SHALL BE INSTALLED TO ROUTE IRRIGATION LINES UNDER HARD SURFACES AND FEATURES.
7. IRRIGATION PIPE SHALL BE SIZED TO ALLOW FOR A MAXIMUM FLOW OF 1.5m / SEC.
8. A FLOW SENSOR AND MASTER VALVE SHALL BE CONNECTED TO THE CONTROLLER AND PROGRAMMED TO STOP FLOW TO THE SYSTEM IN CASE OF AN IRRIGATION WATER LEAK.



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Kelowna, BC

DRAWING TITLE

**WATER CONSERVATION/
IRRIGATION PLAN**

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