

Proposal for Development Permit For *AURA* at 430 Harvey Ave

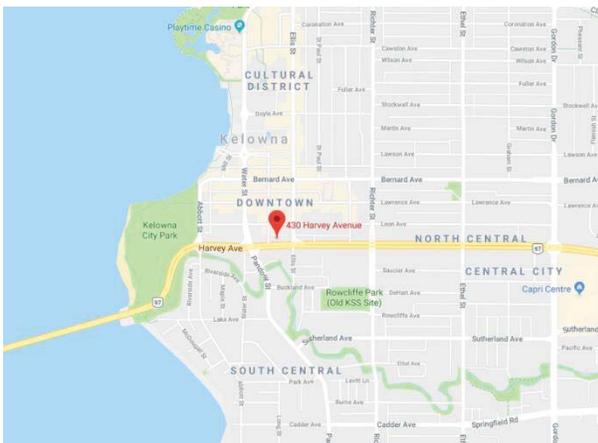
Introduction

We are proud to present this application is for a Development Permit to facilitate the construction of a 22 storey mixed use building at the corner of Harvey Ave and Pandosy St. Situated on an already zoned site, this project will enhance the vibrancy of downtown and serve as an exemplary gateway to the City’s urban core.



Site Context and Land Use

The subject site is a single lot that is zoned *C7 Central Business Commercial*. The lot currently hosts the *Dragon King Restaurant* and an associated parking lot.



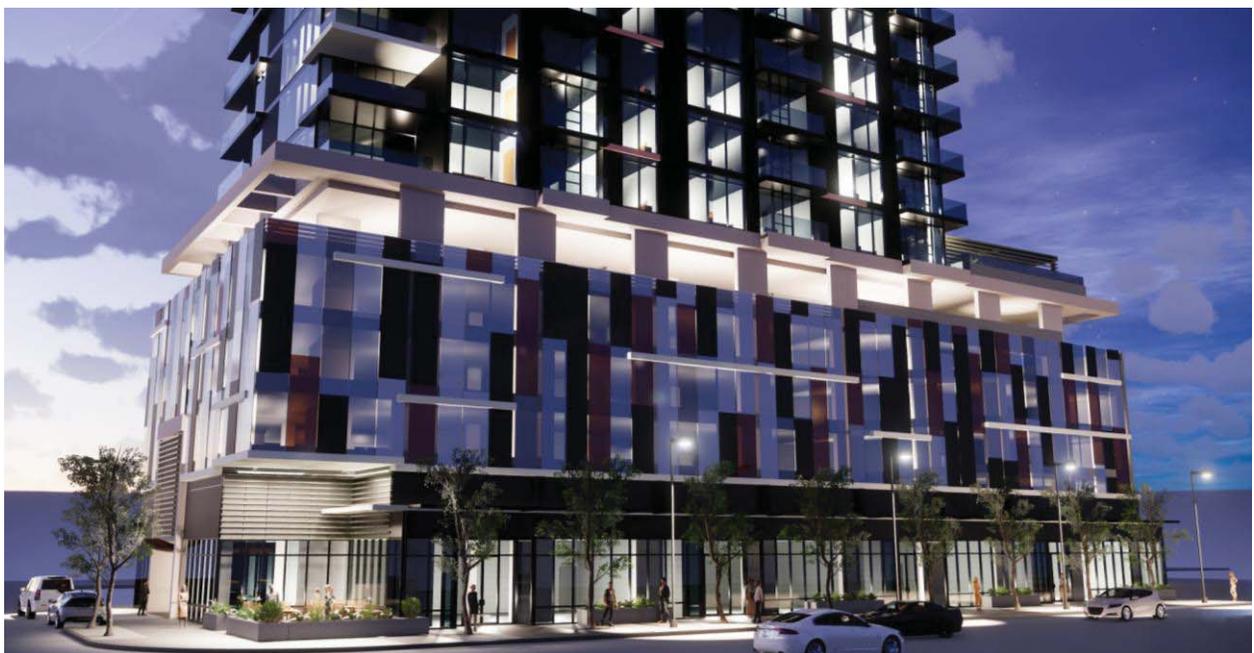
Site Location
Source: City of Kelowna



Site Context
Source: City of Kelowna

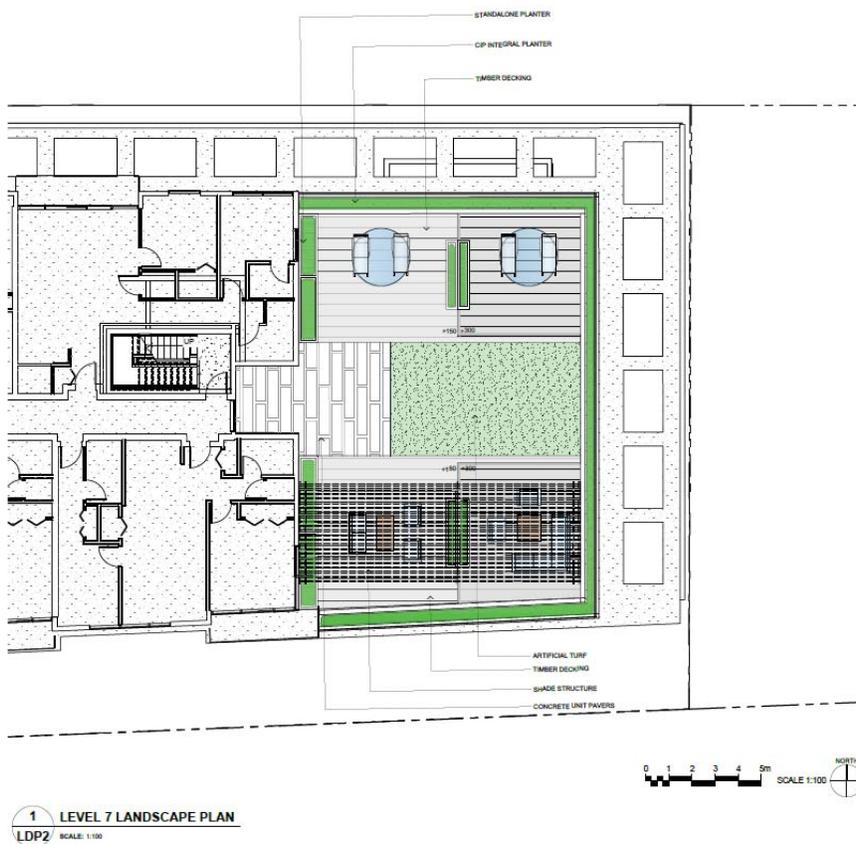
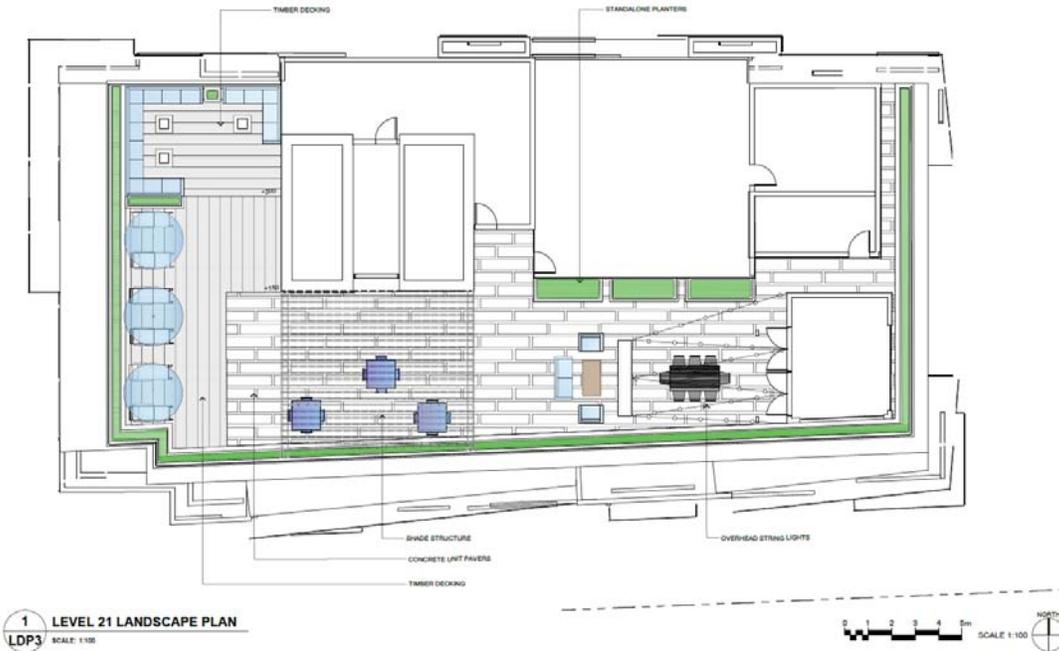
Proposal Overview

The applicant seeks to obtain a Development Permit to facilitate the construction of a 22 storey mix use commercial/residential building. The ground level frontages along both Harvey Ave and Pandosy Street host commercial units with direct pedestrian street access. Structured parking, waste management, and utility services are accessed from the back lane. Podium treatment consists of full height commercial glass on the street level and articulated glazing panels above the 1st storey. The physical massing of the structured parkade stands 16m in height and then steps back into a much narrower tower footprint (699m²), which is far smaller than the C7 Zone requirement (1221m² above 16m). The provision of a striking narrow tower will dramatically reduce the shadow impact on adjacent streets and properties.



Rooftop Amenities

Rooftop amenity space exists on both the top of the podium and the top of the tower. These will serve as extraordinary features for building residents and include outdoor seating/dining areas, indoor amenity rooms, an outdoor fireplace, edge plantings, and outdoor shade pergolas.



Proposed Variances

To facilitate the construction of this project 2 variances will be required:

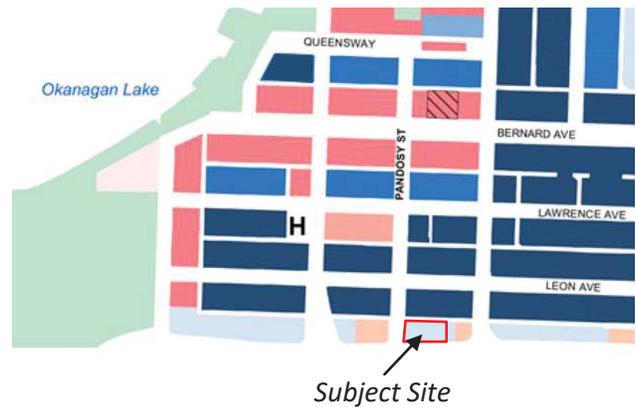
- 1) Height Variance from 37m (12 Storeys) to 70.8m (22 Storeys)

The site sits within the 37m max height area as shown by *Map A* in the C7 Zone. That said, the properties across the lane to the North are within the 76.5m max height requirement. In either case the allowable floor area ratio is 9.0. While a 12 storey building may be able to achieve this level of density and be consistent with the zone, it would result in a much larger and cumbersome building footprint that would have negative effects on street level sunlight penetration and view corridors. The proposed 70.8m height allows for a more sensitive visual design, while still providing a modest step down in massing from the 76.5m designation to the North of the site.

C7 Height Requirements

Building Heights up to:

	76.5m (Approx. 26 Storeys)*
	76.5m (Approx. 26 Storeys)
	58m (Approx. 19 Storeys)
	40m (Approx. 13 Storeys)
	37m (Approx. 12 Storeys)
	22m (Approx. 6 Storeys)
	18.5m (Approx. 5 Storeys)
	15m (Approx. 4 Storeys)
	13m (Approx. 3 Storeys)
	CDS Comprehensive Develop
	Existing Park



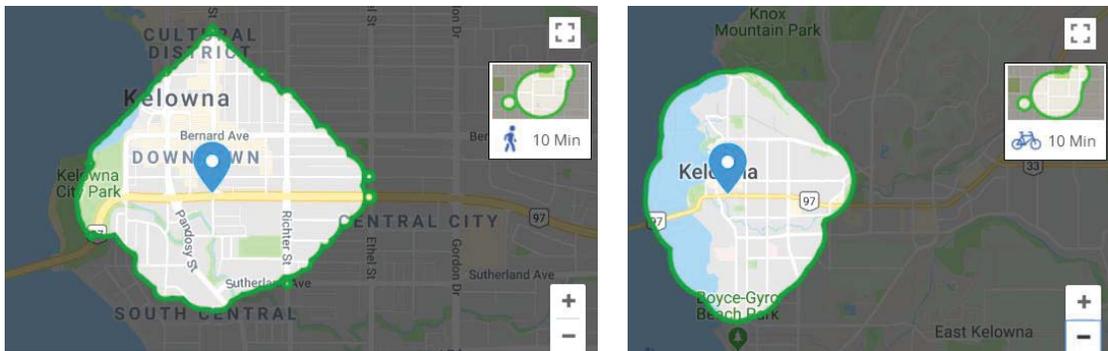
2) Parking Variance to Size Proportions Only

The composition of parking stall sizes is proposed as follows:

- Regular Size Stall - 32.5% (*Bylaw Min 50%*)
- Med Sized Stall - 60.4% (*Bylaw Max 40%*)
- Compact Stall - 7.1% (*Bylaw 10%*)

As is evident above, the proportion requiring a variance is specific only to the regular and medium sized stall proportions. Realizing that this building will be situated within the Urban City Centre, the applicant feels that the proportional use of full sized vehicles such as pickup trucks and SUVs will be lower than that of other areas of the City. The demographic composition of the building is more likely to be that of urban professionals, young singles/couples, and downsizing seniors, all of which point towards a lower need of full sized stalls.

It should also be noted that the site hosts an impressive walk score of 98 and bike score of 71. Below are maps illustrating the 10min travel proximity for both walking and biking.



The downtown core is fully accessible in both cases, as are the following amenities:

- The Queensway Transit Exchange
- City Hall
- City Park
- The Downtown Shopping/Restaurant District
- Grocery Stores, Hotels, and other amenities

Summary

The proposed development is consistent with the City's goal for increasing urban centre living and providing a mix of uses hosting vibrant commercial spaces at the lower levels and housing above. Although this proposal exceeds the forecast height for the area, the slender mid-rise tower form is more pleasing than a larger squat building with greater sky-blocking mass. The applicant kindly requests support from staff and council on this application.

AURA TOWER

430 Harvey Ave, Kelowna, BC
ISSUED for DP
NOVEMBER 7, 2018

ARCHITECTURAL DRAWINGS

NEW TOWN ARCHITECTURE & ENGINEERING INC.
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NEW TOWN ARCHITECTURE & ENGINEERING INC.
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jack@newtownservices.net

- A0.0 COVER SHEET
- A0.1 IMAGES
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- A0.3 IMAGES
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- A3.0 MAIN FLOOR PLAN - COMMERCIAL
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- A3.2 TYPICAL RESIDENTIAL FLOOR PLAN
- A3.3 LEVEL 21 - PENTHOUSE
- A3.4 ROOFTOP AMENITY
- A4.0 ELEVATIONS
- A4.1 ELEVATIONS
- A4.02 MATERIALS
- A5.0 BUILDING SECTION
- A5.1 BUILDING SECTION

LANDSCAPE DRAWINGS

WSP
Landscape &
1031 Dundas Avenue, Suite 700
Kitchener, British Columbia, V7Y 0B6 Canada
Tara Gentry, M.A., R.C.S.A., C.S.A.
Senior Project Manager
Planning, Landscape Architecture • Urban Design
Tara.Gentry@wsp.com

- LDP-1 LEVEL 1
- LDP-2 LEVEL 7
- LDP-3 LEVEL 21
- LDP-4 HYDROZONE



KEY PLAN



BUILDING/SITE SUMMARY

PROPERTY			
CIVIC ADDRESS:	430 HARVEY AVE, KELOWNA BC, V1Y 8C6		
LEGAL ADDRESS:	LOT A DISTRICT 136, ODYO, PLAN 40022		
OWNER			
0897381 BC LTD.			
SITE AREA:			
PREVIOUS (BEFORE LANE WIDENING)	1861.0 m ²		
NEW (AFTER LANE WIDENING 0.8m)	1534.1 m ²		
PROPOSED NET FLOOR AREA:			
	9847.3 m ²		
FLOOR AREA RATIO (FAR):			
	9770.3 / 1561.0 = 6.23		
PRIVATE OPEN SPACE SUMMARY:			
1 BEDROOM UNIT (10.0 m ² EACH)	28 UNITS	=	280.0 m ²
2 BEDROOM - LARGER UNITS (15 m ² EACH)	74 UNITS	=	1110.0 m ²
TOTAL REQUIRED:	102 UNITS	=	1390 m ²
PRIVATE OPEN SPACE PROPOSED:			= 1514.0 m²
PARKING: NO VARIANCE REQUIRED			
REQUIRED:			
COMMERCIAL:	1.3 STALL PER 100m ² : 627m ² / 1.3 / 100		<u>4.82 STALL</u>
RESIDENTIAL:	1 STALL PER SLEEPING UNIT:		<u>102.0 STALLS</u>
VISITORS:	1 STALL PER 7 UNIT		<u>14.6 STALLS</u>
TOTAL REQUIRED PARKING:	(reg. 50%, med. 40%, compact 10%)		122 STALLS
TOTAL PROVIDED:	(reg. 32.5%, med. 60.4%, compact 7.1%)		126 STALLS
LOADING AREA:	REQUIRED: 1 PER 1900 GFA COMMERCIAL SPACE		1 STALLS (3m x 9.26m)
DRIVE AISLE WIDTH:	7.0m (6.0m ramp)		7.0m
NUMBER OF BICYCLE PARKING SPACE:			
COMMERCIAL SPACE	CLASS I : 0.2 PER 100m ²	1.28	
	CLASS II : 0.6 PER 100m ²	3.85	
RESIDENTIAL SPACE	CLASS I : 0.5 PER UNIT	51.0	
	CLASS II : 0.1 PER UNIT	10.2	
TOTAL:		67 STALLS REQUIRED	67 STALLS PROVIDED

ZONING BYLAW SUMMARY

SITE:	REQUIRED	PROPOSED
MINIMUM SITE AREA:	200m ²	1534.61m ²
SITE WIDTH:	6m	25.43m
SITE DEPTH:	30m	57.74m
TOTAL NUMBER OF UNITS & TYPES	NA	28 - 1 BEDROOM UNITS 74 - 2-BEDROOM UNITS
TOTAL UNITS:	NA	102 UNITS
ZONE:	C7	C7
MAXIMUM FLOOR AREA RATIO:	9.0	6.23
MAXIMUM BUILDING FOOT PRINT BELOW 16m HEIGHT	NA	1296m ²
MAXIMUM BUILDING FOOT PRINT ABOVE 16m HEIGHT	1221m ²	699m ²
MAXIMUM HEIGHT: VARIANCE REQ'D	37m (12 STOREYS)	70.8 m OR 22 STOREYS
BUILDINGS SETBACK		
SIDE:		
MINIMUM SOUTH (HARVEY ST.) SETBACK - UP TO 9M	3.0 m	3.0 m
MINIMUM SOUTH (HARVEY ST.) SETBACK - OVER 16M	3.0 m	4.5 m
FRONT:		
MINIMUM WEST (PANDOSY ST.) SETBACK - UP TO 16M	0.0 m	0.0 m
MINIMUM WEST (PANDOSY ST.) SETBACK - OVER 16M	3.0 m	3.0 m
SIDE:		
MINIMUM NORTH (LANE) SETBACK - UP TO 16M	0.0 m	0.0 m
MINIMUM NORTH (LANE) SETBACK - OVER 16M	3.0 m	3.0 m
REAR:		
MINIMUM EAST (PROPERTY LINE) SETBACK - UP TO 16M	0.0 m	0.0 m
MINIMUM EAST (PROPERTY LINE) SETBACK - OVER 16M	4.0 m	4.0 m

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SEAL

Revisions

No	Date	Description
1	Nov. 7, 2018	ISSUED FOR DP

project title
AURA TOWER

project address
430Harvey Ave, Kelowna, BC

project no. 4061

sheet no.

drawing title
COVER SHEET

designed R.V.J.K. scale 1:50

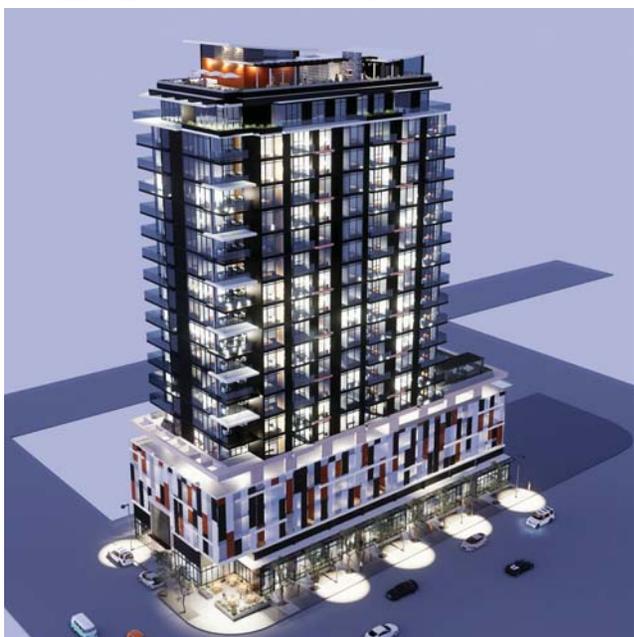
drawn J.K.

checked R.V.

drawing no.

A0.0

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430Harvey Ave, Kelowna, BC

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sheet

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IMAGES

designed R.V.J.K. scale

drawn J.K.

checked R.V.

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designed R.V.J.K. scale
 drawn J.K.
 checked R.V.
 drawing no.

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designed R.V.J.K. scale

drawn J.K.

checked R.V.

drawing no.

A0.3

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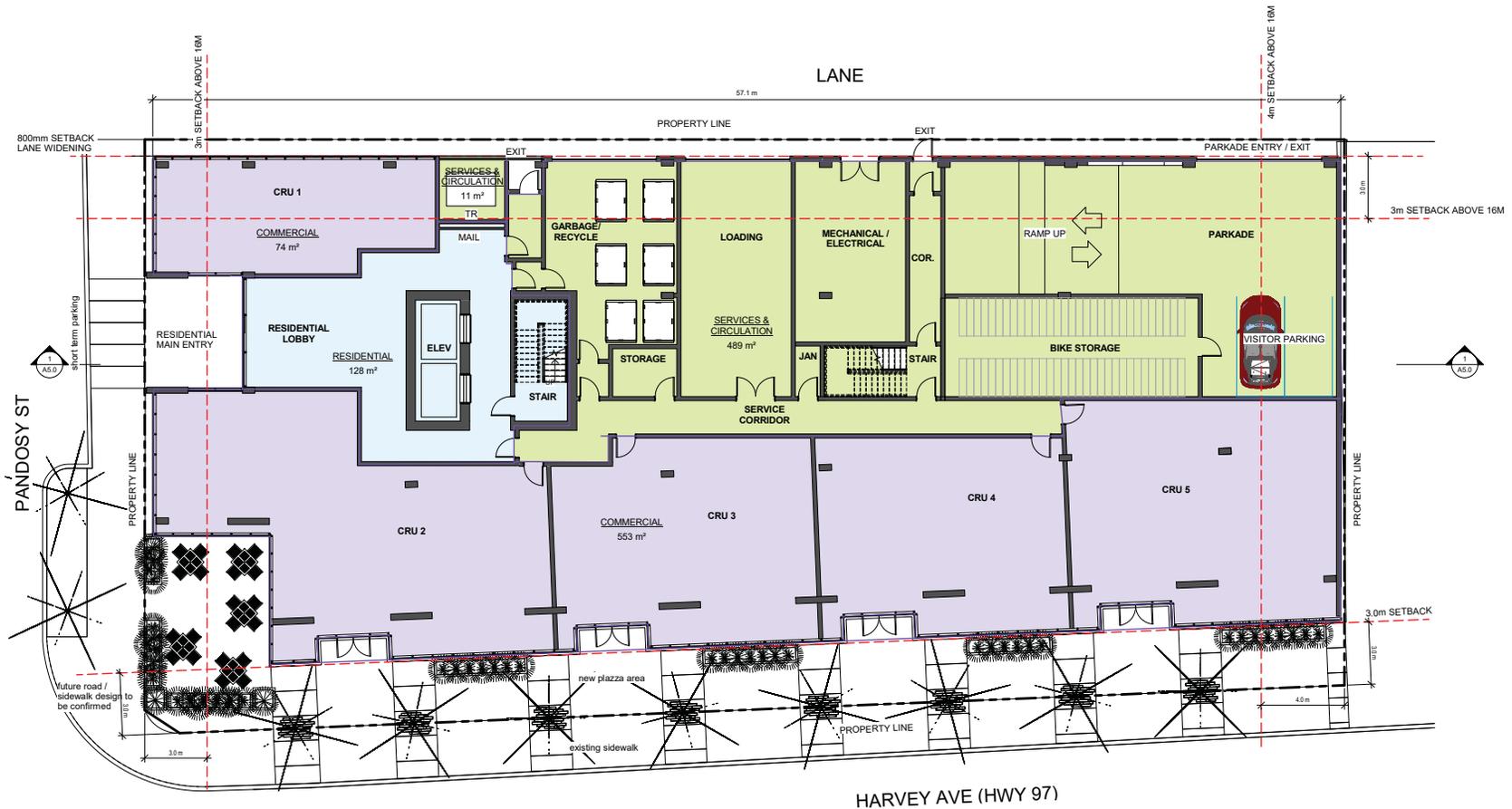
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No	Date	Description



LEVEL 1 PLAN
1:100

- Rentable Area Legend**
- COMMERCIAL
 - RESIDENTIAL
 - SERVICES & CIRCULATION
 - Calculating...

project title
AURA TOWER

project address
430Harvey Ave, Kelowna, BC

project no. 4061

drawing title
MAIN FLOOR PLAN -COMMERCIAL

designed R.V.J.K. scale 1:100

drawn J.K.

checked R.V.

drawing no. **A3.0**

project 2018-11-08 7:58:01 AM

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project address
430Harvey Ave, Kelowna, BC

project no. 4061

drawing title

**TYPICAL
PARKADE
FLOOR**

designed R.V.J.K.C. scale 1:100

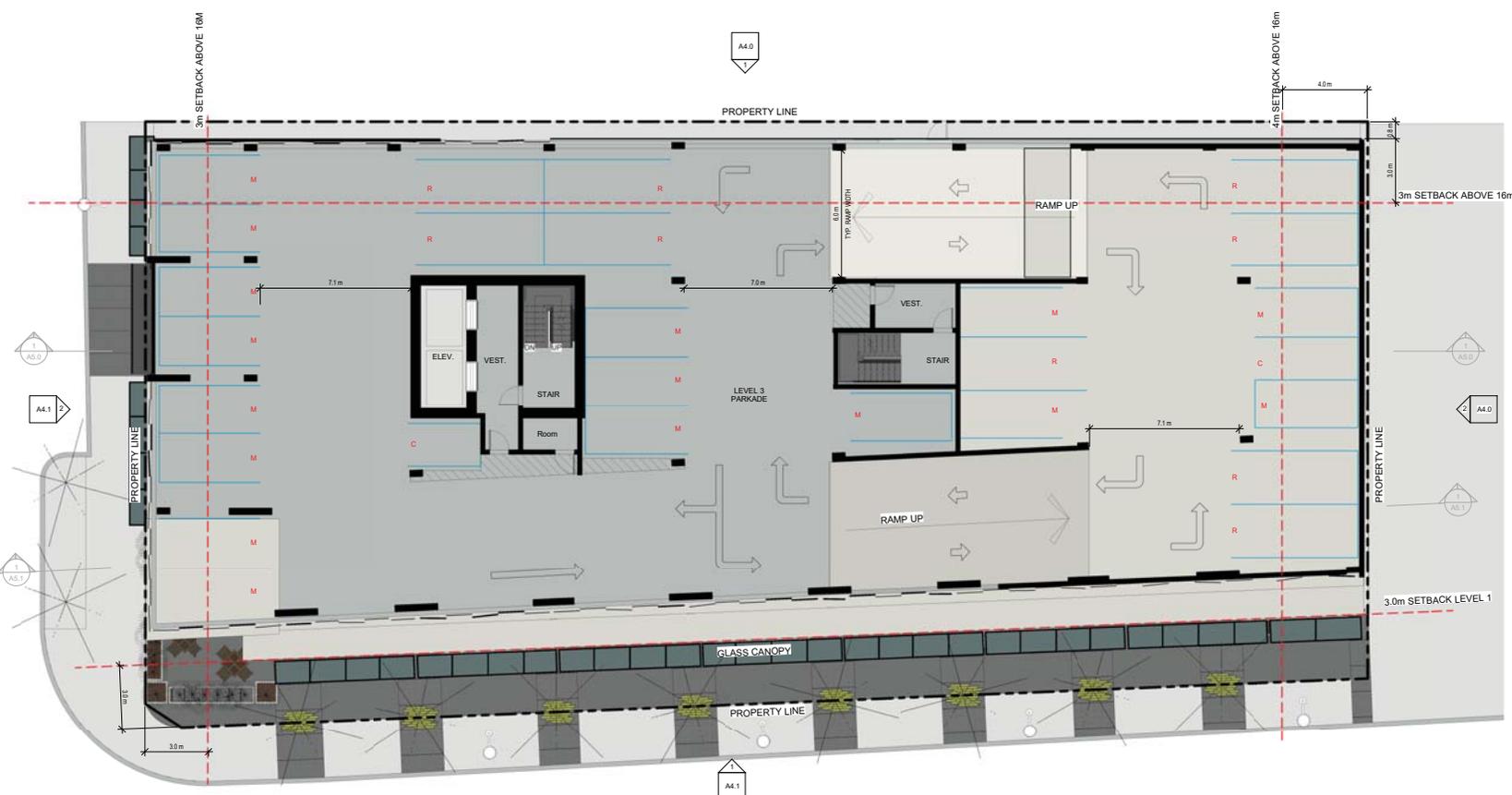
drawn J.K.C.

checked R.V.

drawing no.

A3.1

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Level 3
1:100



Rentable Area Legend

- 1BR
- 2BR
- Calculating...

② LEVEL 7 RESIDENTIAL FLOOR PLAN
1:100

Rentable Area Legend

- 1BR
- 2BR
- Calculating...

① TYPICAL RESIDENTIAL FLOOR PLAN
1:100

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No	Date	Description

project title
AURA TOWER

project address
430Harvey Ave, Kelowna, BC

project no. 4081

drawing title
TYPICAL RESIDENTIAL FLOOR PLAN

designed R.V.J.K. scale 1:100
 drawn J.K.
 checked R.V.
 drawing no.

A3.2
 issued 2018-11-08 7:58:37 AM

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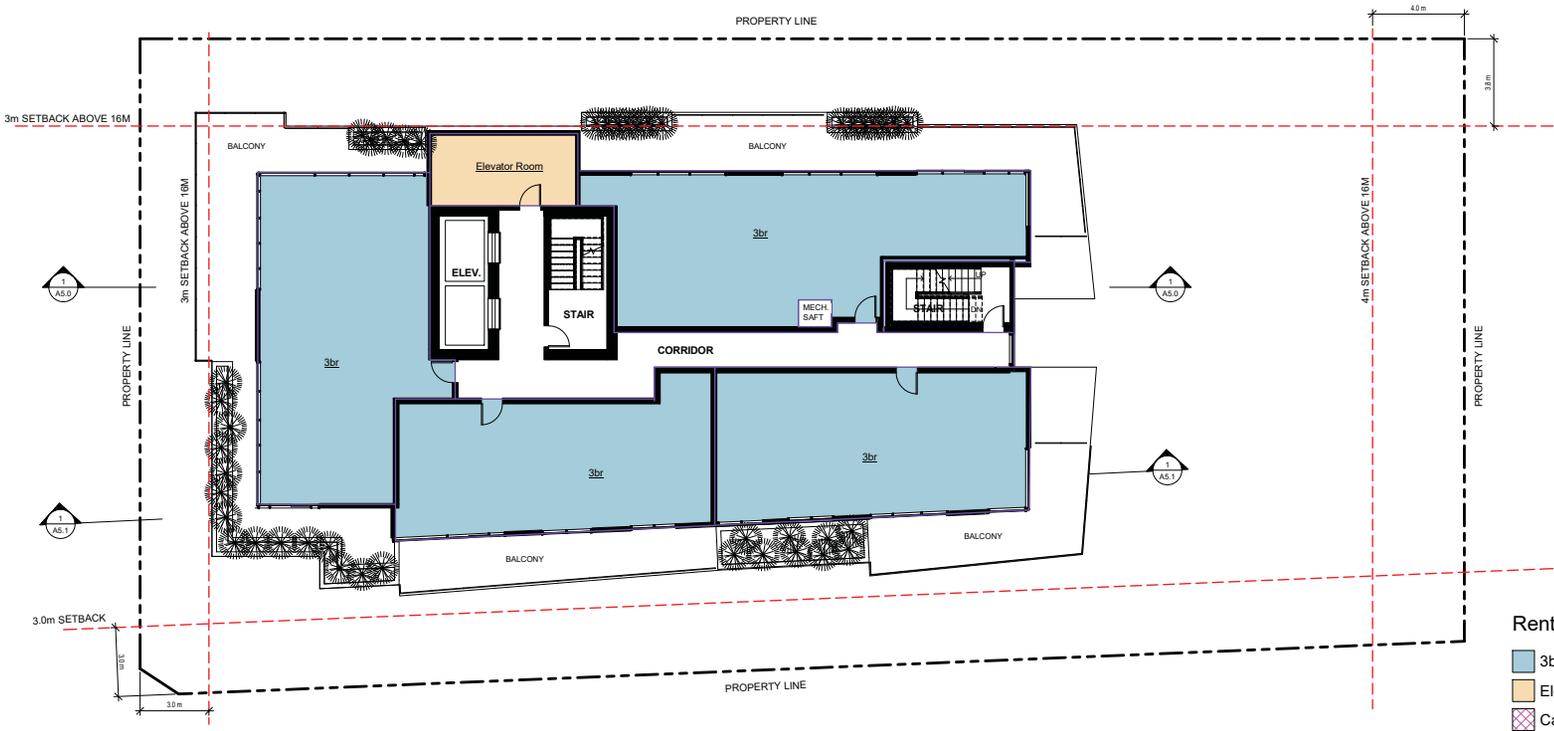


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Rentable Area Legend

- 3br
- Elevator Room
- Calculating...

① Level 21
T: 100

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AURA TOWER

project address
430Harvey Ave, Kelowna, BC

project no. 4061

drawing title
LEVEL 21 - PENTHOUSE

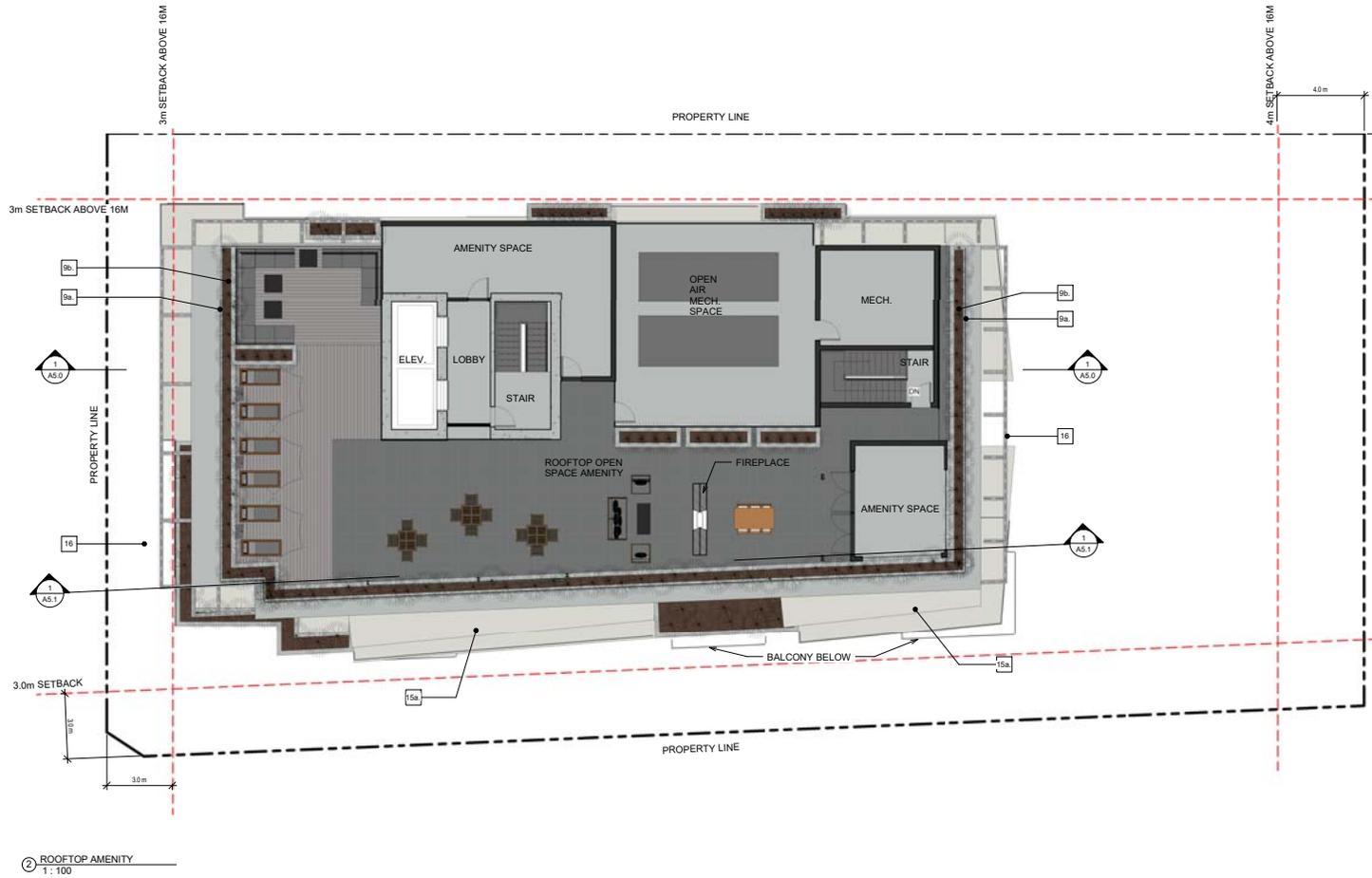
designed R.V.J.KC scale 1:100
drawn J.K.
checked R.V.
drawing no.

A3.3

printed 2018-11-08 7:50:37 AM

EXTERIOR MATERIAL LEGEND

1. CONCRETE: STRUCTURAL (NATURAL)
2. CURTAIN WALL
 - a. GLAZED PANEL
 - b. SPANDREL PANEL
 - c. ALUMINUM/GLASS DOORS
3. GLASS PANELS (PARKADE)
 - a. COLOR
 - b. COLOR
 - c. COLOR
 - d. COLOR
 - e. MESH/COLOR
4. ALUMINUM WOOD SLAT - HORIZONTAL
5. MESH
 - a. (ROOFTOP TRANSFORMER)
 - b. (DECORATIVE LANE SIDE)
 - c. (MURAL, EAST FIREWALL OVER CONC.)
6. OVERHEAD DOORS
 - a. PARKADE
 - b. GARBAGE/RECYCLING
7. AWNING (COMMERCIAL)
8. FEATURE CANOPY
9. GLASS RAILING
 - a. PLANTER
 - b. PLANTERS BOX / REFER TO LANDSCAPING
 - c. BALCONY
10. HORIZON COLOR BANDS (CONDO)
11. COND SOLID EXTERIOR WALL PANEL
12. ROOF CANOPY/TRELLIS LEVEL 7
13. ROOFTOP KITCHEN WALL/ELEVATOR/MECH.
14. ROOFTOP FIRE PLACE FEATURE WALL
15. PREFINISHED METAL FLASHING
 - a. COLOR (WHITE)
 - b. COLOR (BLACK)
 - c. COLOR (COPPER)
16. STEEL/ALUMINUM TRELLIS (ROOF EDGE)
17. PREFINISHED METAL COLUMN
18. PREFINISHED METAL TRELLIS (ROOFTOP)
19. STEEL ROOF (RAKED)



② ROOFTOP AMENITY
1:100

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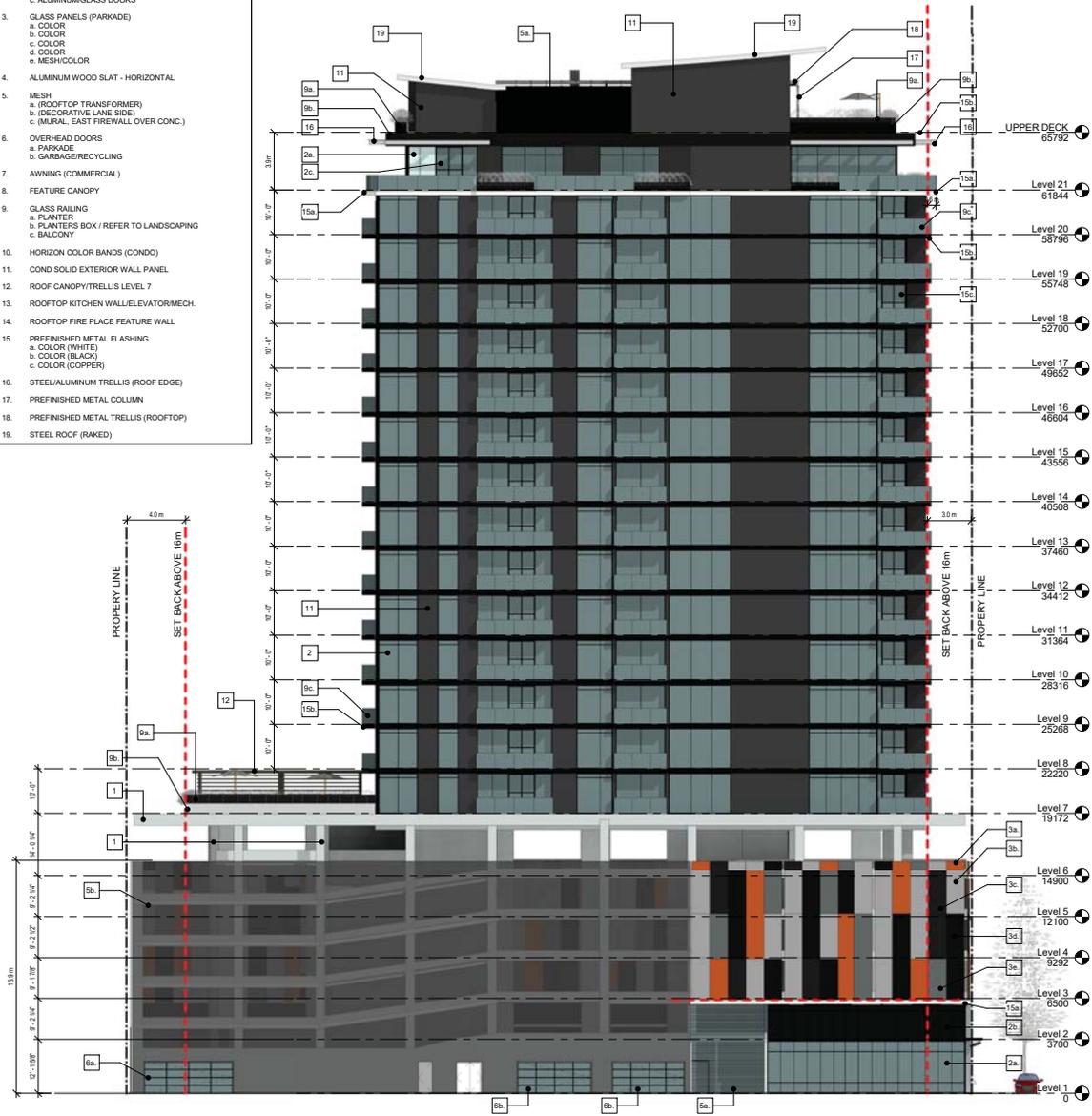
designed R.V.J.KC scale As indicated
drawn J.KC
checked R.V.

drawing no. **A3.4**

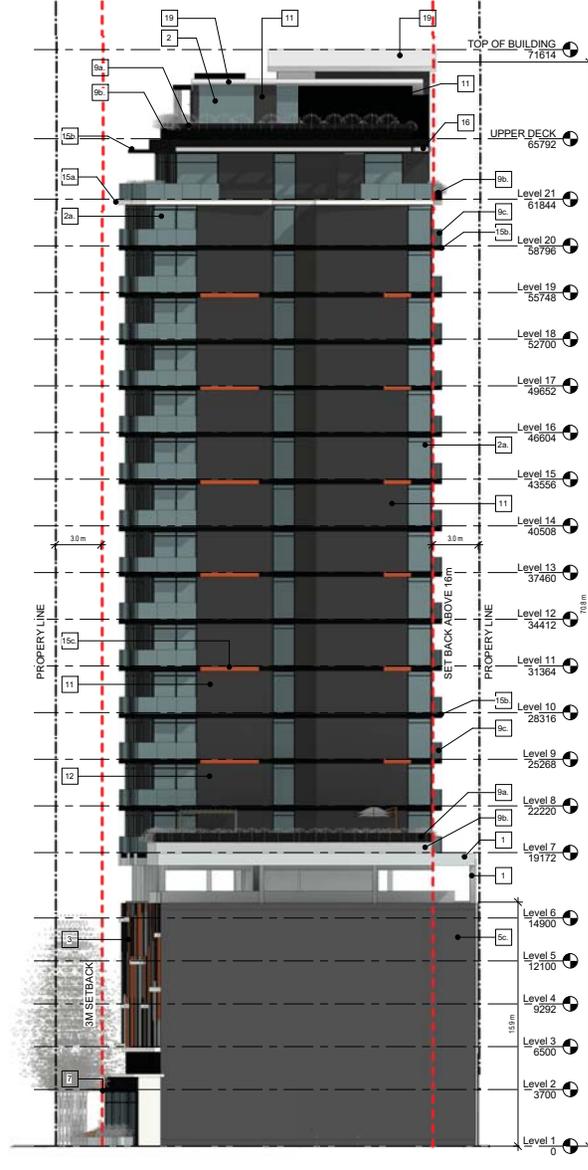
project 2018-11-08 7:50:40 AM

EXTERIOR MATERIAL LEGEND

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17. PREFINISHED METAL COLUMN
18. PREFINISHED METAL TRELLIS (ROOFTOP)
19. STEEL ROOF (RAKED)



① NORTH ELEVATION
1:150



② EAST ELEVATION
1:150

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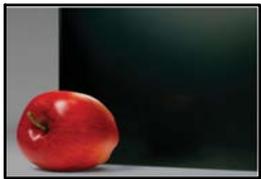
project no. 4061

drawing title
ELEVATIONS

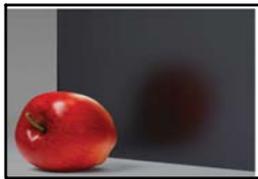
Designed: R.V.J. JK Date: As Indicated
Drawn: J.K.
Checked: R.V.
Drawing no.

A4.0

printed 2018-11-08 7:41:47 AM



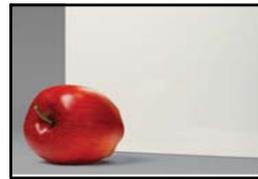
PARKADE GLASS PANEL TYPE 1



PARKADE GLASS PANEL TYPE 2



PARKADE GLASS PANEL TYPE 3



PARKADE GLASS PANEL TYPE 4



EXPOSED CONCRETE



DECORATIVE MESH PANEL



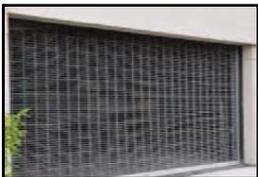
CURTAIL WALL - TINTED GLASS PANEL



CURTAIL WALL - SPANDREL PANEL



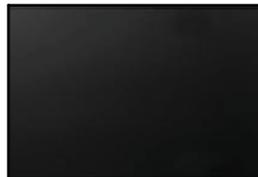
PARKADE STEEL MESH @ TRANSFORMER LOCATION



PARKADE O/H DOORS



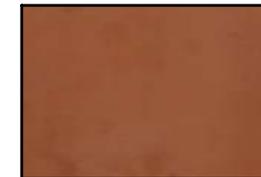
PRE-FIN ALUM. SCREEN



PRE-FIN METAL - BLACK



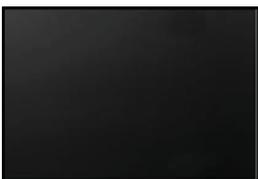
PRE-FIN METAL - WHITE



PRE-FIN METAL - COPPER



GLASS RAILING SYSTEM



PRE-FIN ALUMINUM PANELS



STONE FEATURE WALL



BIKE RACK SYSTEM - WALL

ALL CONTRACTORS ARE REQUIRED TO PERFORM THEIR WORK AND SUPPLY THEIR PRODUCTS IN COMPLIANCE WITH ALL BUILDING CODES AND LAWS OF THE PROVINCE OF BRITISH COLUMBIA. This drawing is an instrument of service and the property of New Town Services. The use of this drawing shall be restricted to the original job for which it was prepared and publication thereof is expressly limited to such use. This drawing must not be scaled. Verify all dimensions and details prior to commencement of work. Report all errors and omissions to the Architect.



NEW TOWN
ARCHITECTURE
URBAN PLANNING
CIVIL ENGINEERING
www.newtownservices.ca

SEAL

Revisions		
No	Date	Description
1	Nov. 7, 2018	ISSUED FOR DP

project title
AURA TOWER

project address
430Harvey Ave, Kelowna, BC

project no. 4061

drawing title
MATERIALS

designed	R.V.J.K.	scale
drawn	J.K.	
checked	R.V.	
drawing no.		

A4.02

printed 2018-11-08 7:43:37 AM



- LANDSCAPE PLAN LEGEND:**
- PROPERTY LINE
 - BUILDING ENTRY
 - CONCRETE UNIT PAVING: TERRA NOVA BY BARKMAN
- PLANTING LEGEND:**
- PROPOSED DECIDUOUS TREE
 - GRASS, SHRUB AND PERENNIAL PLANTING
- NOTES:**
- PLANT MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO MINIMUM STANDARDS ESTABLISHED IN THE CANADIAN LANDSCAPE STANDARDS (CURRENT EDITION).
 - THE LANDSCAPE DESIGN DESIGNATED HEREIN IS CONCEPTUAL BUT REFLECTS THE MINIMUM ACCEPTABLE QUALITY AND SIZE.
 - PLANT MATERIAL SELECTIONS ARE CONCEPTUAL ONLY. FINAL PLANTING SELECTIONS MAY VARY DEPENDING UPON AVAILABILITY.
 - ALL PLANTING BEDS SHALL HAVE APPROVED MULCH.
 - ALL LANDSCAPE AREAS TO BE BRIGATED WITH AN EFFICIENT AUTOMATIC IRRIGATION SYSTEM.
 - THIS DRAWING DEFECTS FORM AND CHARACTER AND IS TO BE USED FOR DEVELOPMENT PERMIT SUBMISSION ONLY. IT IS NOT INTENDED FOR USE AS A CONSTRUCTION DOCUMENT.

1 LEVEL 1 LANDSCAPE PLAN
SCALE: 1:100

REPRESENTATIVE PLANT LIST

BOTANICAL NAME	COMMON NAME	SIZE	ROOT	MATURE PLANT SIZE (H X W)	NOTES
TREES					
<i>Gleditsia triacanthos</i>	HONEYLOCUST	60mm Cal.	B&B	24.0m x 18.0m	1800mm CLEAR STEM HEIGHT
<i>Magnolia acutilata</i>	STAR MAGNOLIA	60mm Cal.	B&B	5.00m x 3.00m	
SHRUBS					
<i>Buxus 'Winter Gem'</i>	WINTER GEM BOXWOOD	#02	POTTED	1.20m x 1.20m	1000mm O.C.
<i>Cornus sericea</i>	RED OSIER DOGWOOD	#02	POTTED	3.00m x 3.00m	3000mm O.C.
<i>Moronia repens</i>	CREeping OREGON GRAPE	#02	POTTED	0.30m x 0.50m	
PERENNIALS GRASSES					
<i>Clematis 'Starry Night'</i>	STARRY NIGHT CLEMATIS	#01	POTTED	2.00m x 0.60m	
<i>Echinacea</i>	CONEFLOWER	#01	POTTED	0.75m x 0.60m	
<i>Masanthus sinensis 'Hemelit'</i>	HAMELN DWARF FOUNTAIN GRASS	#01	POTTED	0.60m x 0.06m	
<i>Ratibacchia</i>	CONEFLOWER	#01	POTTED	0.60m x 0.06m	
<i>Vinca minor</i>	MYRTLE	#01	POTTED	0.10m x 0.10m	



NO.	DATE	DESCRIPTION
2	18/07/18	ISSUED FOR DP
1	24/15	ISSUED FOR REVIEW

PROJECT
AURA TOWER

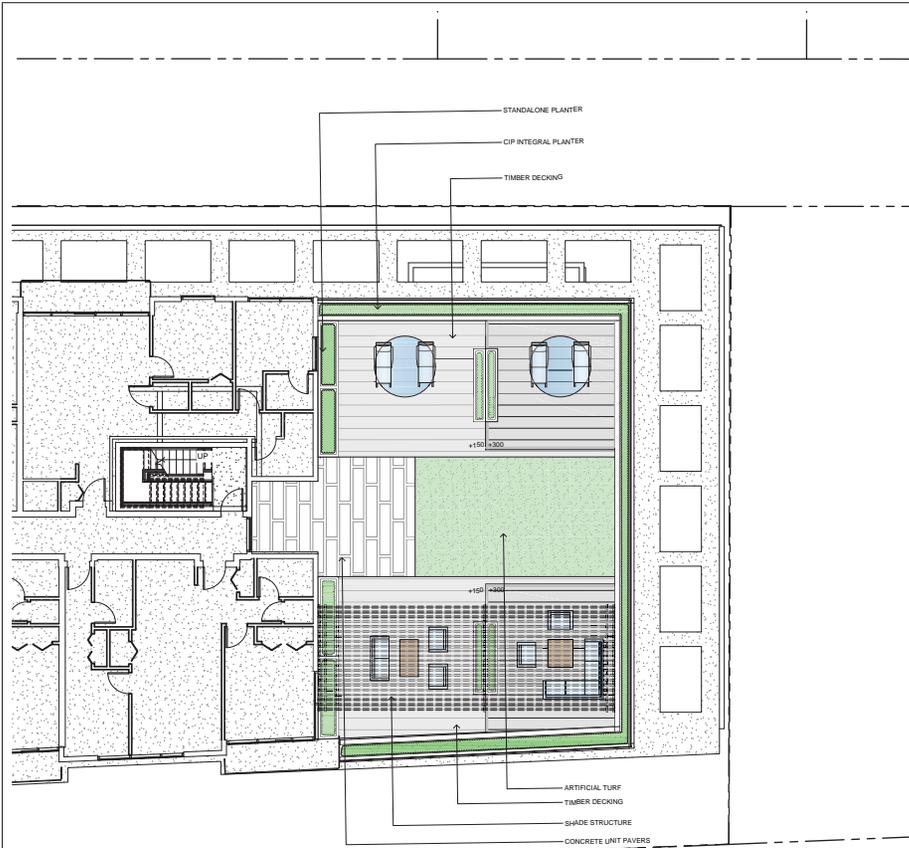
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DESIGN BY	TC	SHEET TITLE	LEVEL 1
DRAWN BY	BK	SHEET NO.	LDP-1
CHECKED BY	RF	SCALE	1:100
PROJECT #	18M 01717		



PLANTING LEGEND:



GRASS, SHRUBS AND PERENNIAL PLANTING

NOTES:

1. PLANT MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO MINIMUM STANDARDS ESTABLISHED IN THE CANADIAN LANDSCAPE STANDARDS (CURRENT EDITION).
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4. ALL PLANTING BEDS SHALL HAVE APPROVED MULCH.
5. ALL LANDSCAPE AREAS TO BE IRRIGATED WITH AN EFFICIENT AUTOMATIC IRRIGATION SYSTEM.
6. THIS DRAWING DEPICTS FORM AND CHARACTER AND IS TO BE USED FOR DEVELOPMENT PERMIT SUBMISSION ONLY. IT IS NOT INTENDED FOR USE AS A CONSTRUCTION DOCUMENT.

REPRESENTATIVE PLANT LIST

BOTANICAL NAME	COMMON NAME	SIZE	ROOT	MATURE PLANT SIZE (H X W)	NOTES
TREES					
<i>Gleditsia inaequalis</i>	HONEYLOCUST	60mm Cal.	B&B	24.0m x 18.0m	1800mm CLEAR STEM HEIGHT
<i>Magnolia salicifolia</i>	STAR MAGNOLIA	60mm Cal.	B&B	5.00m x 3.00m	
SHRUBS					
<i>Buxus 'Winter Gem'</i>	WINTER GEM BOXWOOD	#02	POTTED	1.20m x 1.20m	1000mm O.C.
<i>Cornus sericea</i>	RED OSIER DOGWOOD	#02	POTTED	3.00m x 3.00m	3000mm O.C.
<i>Muhlenbergia agrippa</i>	CREeping OREGON GRAPE	#02	POTTED	0.30m x 0.50m	
PERENNIALS GRASSES					
<i>Clivia 'Starry Night'</i>	STARRY NIGHT CLEMATIS	#01	POTTED	2.00m X 0.60m	
<i>Echinacea</i>	CONEFLOWER	#01	POTTED	0.75m x 0.60m	
<i>Miscanthus sinensis 'Hemel'</i>	HAMELN DWARF FOUNTAIN GRASS	#01	POTTED	0.06m x 0.06m	
<i>Rudbeckia</i>	CONEFLOWER	#01	POTTED	0.06m x 0.06m	
<i>Vinca minor</i>	MYRTLE	#01	POTTED	0.10m x 0.10m	



1 LEVEL 7 LANDSCAPE PLAN
LDP2 SCALE: 1:1100



NO.	DATE	DESCRIPTION
2	18/07/2024	ISSUED FOR DP
1	24/15/2023	ISSUED FOR REVIEW

PROJECT
AURA TOWER

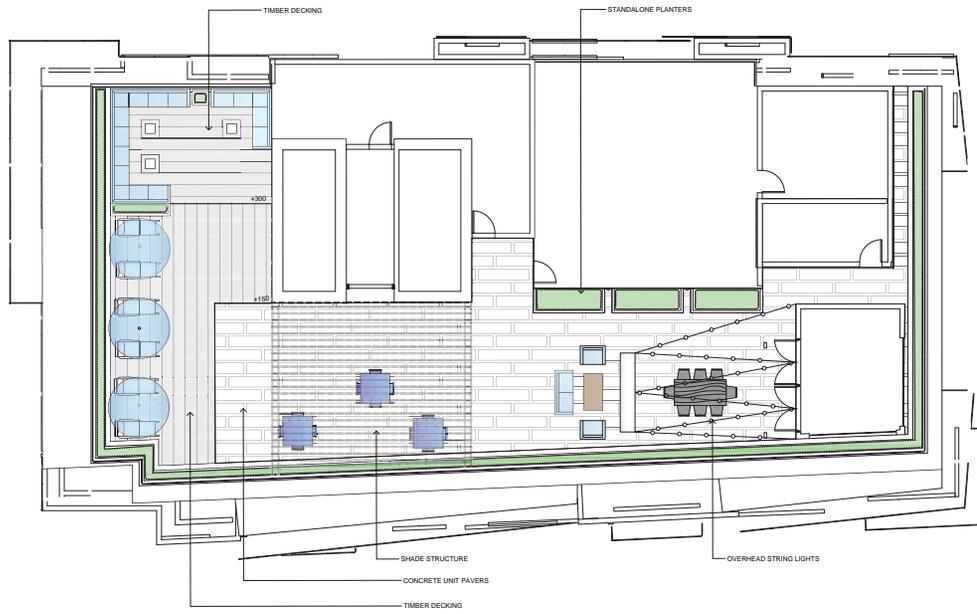
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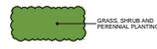


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DESIGN BY	TC	SHEET TITLE	LEVEL 7
DRAWN BY	BK	SHEET NO.	LDP-2
CHECKED BY	RF		
PROJECT #	18M-01717		
SCALE	1:100		



PLANTING LEGEND:



NOTES:

1. PLANT MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO MINIMUM STANDARDS ESTABLISHED IN THE CANADIAN LANDSCAPE STANDARDS (CURRENT EDITION).
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REPRESENTATIVE PLANT LIST

BOTANICAL NAME	COMMON NAME	SIZE	ROOT	MATURE PLANT SIZE (H X W)	NOTES
TREES					
<i>Glottisia inaequalis</i>	HONEYLOCUST	60mm Cal.	B&B	24.0m x 18.0m	1800mm CLEAR STEM HEIGHT
<i>Magnolia stipitata</i>	STAR MAGNOLIA	60mm Cal.	B&B	5.00m x 3.00m	
SHRUBS					
<i>Buxus 'Winter Gem'</i>	WINTER GEM BOXWOOD	#02	POTTED	1.20m x 1.20m	1000mm O.C.
<i>Cornus sericea</i>	RED OSIER DOGWOOD	#02	POTTED	3.00m x 3.00m	3000mm O.C.
<i>Mahonia repens</i>	CREEPING OREGON GRAPE	#02	POTTED	0.30m x 0.50m	
PERENNIALS GRASSES					
<i>Clematis 'Starry Night'</i>	STARRY NIGHT CLEMATIS	#01	POTTED	2.00m x 0.60m	
<i>Echinacea</i>	CONEFLOWER	#01	POTTED	0.75m x 0.60m	
<i>Miscanthus sinensis 'Himant'</i>	HAMELN DWARF FOUNTAIN GRASS	#01	POTTED	0.06m x 0.06m	
<i>Rudbeckia</i>	CONEFLOWER	#01	POTTED	0.06m x 0.06m	
<i>Vincetoxicum</i>	MYRTLE	#01	POTTED	0.10m x 0.10m	

1 LEVEL 21 LANDSCAPE PLAN
LDP3 SCALE: 1:100



NO.	DATE	DESCRIPTION
2	18/07/20	ISSUED FOR DP
1	24/15	ISSUED FOR REVIEW

PROJECT
AURA TOWER

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DESIGN BY	TC
DRAWN BY	BK
CHECKED BY	RF
PROJECT #	18M-01717
SCALE	1:100

SHEET TITLE
LEVEL 21

SHEET NO.
LDP-3

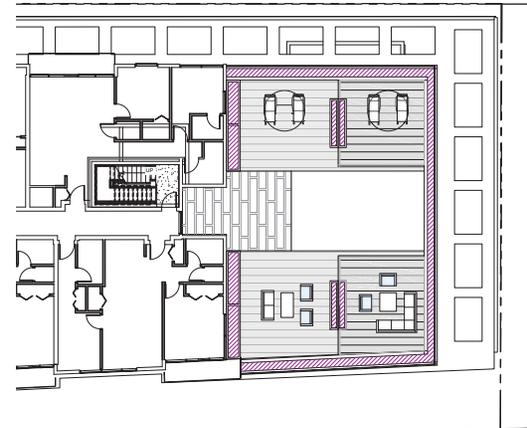
1 OF 1



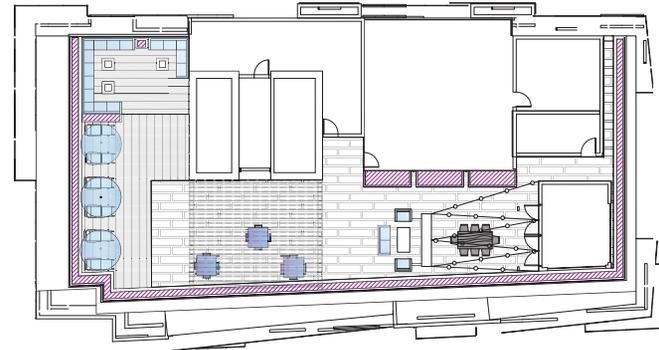
1 LEVEL 1 HYDROZONE PLAN
LDP4 SCALE: 1:150

HYDROZONE LEGEND:

-  LOW WATER REQUIREMENTS
-  MODERATE WATER REQUIREMENTS



2 LEVEL 7 HYDROZONE PLAN
LDP4 SCALE: 1:150



3 LEVEL 21 HYDROZONE PLAN
LDP4 SCALE: 1:150

NO.	DATE	DESCRIPTION
2	18/07/18	ISSUED FOR DP
1	24/15	ISSUED FOR REVIEW

PROJECT
AURA TOWER

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DESIGN BY TC
DRAWN BY BK
CHECKED BY RF
PROJECT # 18M 01717
SCALE 1:150

SHEET TITLE
HYDROZONE

SHEET NO.
LDP-4



AURA TOWER – DEVELOPMENT PERMIT

Date: November 07, 2018

Our File: 18M-01717-00

Address: 1435 Water Street
Kelowna, B.C.
V1Y 1J4

Attention: Development Services

Dear Sir / Madam:

Re: Dragon Tower, Kelowna – Development Permit

As per our client's request, WSP Canada Group Limited estimates a landscape development cost of **\$103,290.00**, excluding applicable taxes for the above noted property. This price includes landscape materials and installation (trees, sod, planting, topsoil, and irrigation), site features and furnishing (benches, fence, crushed gravel, and entry feature).

Per the City of Kelowna bond requirement of 125% the final total for landscape bonding is **\$ 129,112.50**. Should you require any explanation of this letter, please contact the undersigned.

Regards

WSP Canada Group Limited

A handwritten signature in black ink that reads "Teri Cantin".

Teri Cantin, MLA, MBCSLA
Project Manager

540 Leon Avenue
Kelowna, BC, Canada V1Y 6J6

Tel.: +1 250 869-1334

T: +1 250 862-4849
wsp.com