

## **Caban: Design Rationale**

Caban is a 138 unit (130-residential, 8 retail) mixed use building on Lakeshore Rd, directly across from Gyro Beach, considered by many residents as the best location in the City of Kelowna. The South Pandosy neighborhood is quickly urbanizing and is one of the most desirable places for young professionals to live and work.

The owner is committed to bringing a top quality mixed use building with a level of resident amenities currently unmatched in the Okanagan. The parking garage is wrapped on both active street fronts, along Lakeshore with 8 retail units to engage the public and 7 townhouses along Richter to provide a mix of housing options available.

The architectural design for the building is a direct response to the urban fabric of the South Pandosy neighborhood, bringing elements of the beach and lake into the project. The neighborhood continues to increase in density and is known for its high quality of life and buildings. Several multi-unit residential developments have been completed or are currently being designed in the direct vicinity of Caban bringing several hundred new units to the market. We have designed Caban to be the focal point of this newly emerging densified neighborhood.

The building presents to both streets at a pedestrian scale, humanizing the busy intersection and will greatly benefit the local businesses and amenities. As this area is already well serviced by public transit and is in walking distance from numerous businesses, it should assist in reducing the percentage of single occupant vehicle trips through the Pandosy corridor.

Vehicle access is provided to the site using Richter Street, allowing Lakeshore to function at a higher capacity.

The ground level will not only help define the street they also act as a visual barrier screening the covered concrete parking structure just behind. The high quality cladding materials, glazing and interesting shape break what is a potentially large mass into smaller components sympathetic to the adjacent single family residences as well as other apartment buildings and buildings close by.

We believe that with the developer's award winning interiors, a top quality building envelope, an abundance of healthy living community focused amenities, a public focused pedestrian interface and the 520sqft waterfall feature along Lakeshore Road, Caban will set a new standard for mixed use buildings in Kelowna.



AREA CALCULATIONS	2017.11.21		
		<b>SQ FT</b>	<b>SQ M</b>
		<b>HECTARES</b>	
SITE AREA =		85,269.59	7,921.54
			0.79
<b>BUILDING AREA</b>			
PARKADE LEVEL 1		44,383.56	4,123.23
PARKADE LEVEL 2		43,063.11	4,000.56
TOWNHOUSES		9,590.00	890.91
RETAIL		13,100.60	1,217.05
<b>TOWER 1</b>			
ENTRY LOBBY		1,199.28	111.41
1ST FLOOR LOBBY		721.25	67.00
2nd FLOOR AREA		15,819.29	1,469.61
3rd FLOOR AREA		15,813.46	1,469.07
4th FLOOR AREA		15,813.46	1,469.07
5th FLOOR AREA		15,569.23	1,446.38
6th FLOOR AREA		13,632.46	1,266.46
<b>TOWER 2</b>			
ENTRY LOBBY		2,072.65	192.55
1ST FLOOR LOBBY		537.92	49.97
2nd FLOOR AREA		10,062.02	934.76
3rd FLOOR AREA		10,119.12	940.07
4th FLOOR AREA		10,119.12	940.07
5th FLOOR AREA		10,121.83	940.32
6th FLOOR AREA		10,062.71	934.83
<b>TOTAL FLOOR AREA</b>		241,801.07	22,463.32

F.A.R. CALCULATION							
RETAIL							
# UNITS	# RMS	TOWNHOUSES	UNIT SQ FT	UNIT SQ M	SQ FT (TOTAL)	SQ M (TOTAL)	
7	2 BR	TOWNHOUSE	1,370.00	127.27	9,590.00	890.91	
<b>TOWER 1</b>							
3	2 BR	UNIT E	1,090.00	101.26	3,270.00	303.78	
3	2 BR	UNIT E1	1,092.00	101.45	3,276.00	304.34	
1	2 BR	UNIT E2	966.00	89.74	966.00	89.74	
1	2 BR	UNIT E3	970.00	90.11	970.00	90.11	
1	2 BR	UNIT F	900.00	83.61	900.00	83.61	
4	2 BR	UNIT F1	897.00	83.33	3,588.00	333.33	
3	2 BR	UNIT F2	937.00	87.05	2,811.00	261.14	
16	2 BR	UNIT G	988.00	91.79	15,808.00	1,468.56	
16	1 BR	UNIT H	621.00	57.69	9,936.00	923.05	
8	1 BR	UNIT H1	608.00	56.48	4,864.00	451.87	
1	1 BR	UNIT J	672.00	62.43	672.00	62.43	
4	2 BR	UNIT J1	812.00	75.43	3,248.00	301.74	
2	1 BR	UNIT K	585.00	54.35	1,170.00	108.69	
2	1 BR	UNIT K1	686.00	63.73	1,372.00	127.46	
1	3 BR	UNIT M	1,552.00	144.18	1,552.00	144.18	
1	3 BR	UNIT M1	1,520.00	141.21	1,520.00	141.21	
2	3 BR	UNIT N	1,179.00	109.53	2,358.00	219.06	
2	2 BR	UNIT P	1,198.00	111.29	2,396.00	222.59	
2	2 BR	UNIT P1	1,188.00	110.37	2,376.00	220.73	
1	1 BR	UNIT Q	612.00	56.85	612.00	56.85	
0	1 BR	UNIT R	583.00	54.16	0.00	0.00	

**GYRO BEACH MIXED-USE COMPLEX SITE AREA:**  
(CONFIRM SITE AREA WITH SURVEY DWG.)  
**SITE AREA (FOR CALCULATION PURPOSE):**  
85,270± sft or 7,921.5± sm  
or 1.957 acre or 0.792 hectare

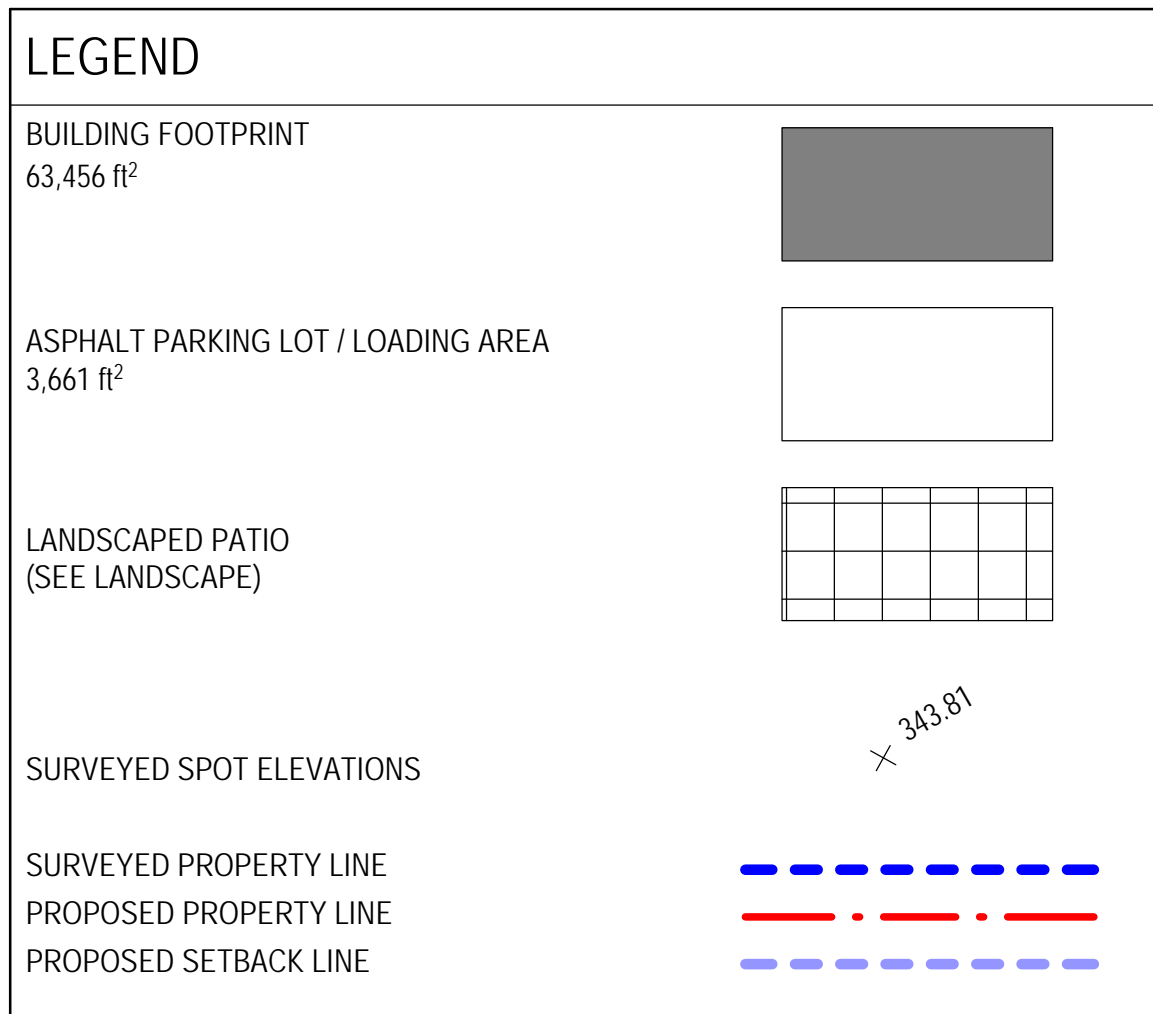
**CIVIC ADDRESS:** 3377-3421 LAKESHORE ROAD KELOWNA B.C. V1Y 1B7  
**LEGAL DESCRIPTION:** LOT 1 LOT 134 ODYD PLAN 38150 EXCEPT KAP74841 LOT 1 LOT 134 ODYD PLAN KAP87376 LOT 2 LOT 134 ODYD PLAN 38150

**ZONING SUMMARY**  
PROPOSED ZONING: C9 URBAN CENTRE COMMERCIAL  
PERMITTED USES: APARTMENT HOTEL, PERSONAL SERVICE, RETAIL, AND FOOD SERVICE  
MIN. LOT WIDTH: 30m or 98.43ft  
MIN. LOT DEPTH: 35m or 114.83ft  
MIN. LOT AREA: 1 800 sm or 19,375.7sqft or 0.180 hectare  
MAX. BUILDING HEIGHT: 22m  
PROP BUILDING HEIGHT: 21.8m  
PROPOSED SITE COVERAGE: BUILDING FOOTPRINT / SITE AREA 68,836sft / 85,270sft = 80.7% ±

**MINIMUM SETBACKS FROM:**  
SITE FRONT YARD: 6.0m  
SITE SIDE YARD: 3.0m  
4.5m (FLANKING STREET)  
SITE REAR YARD: 4.5m  
15.0m (HOTEL ONLY)

VARIANCES REQUESTED FOR YARD SETBACK		
LOCATION	REQUIRED SETBACK	PROPOSED SETBACK
RICHTER STREET (FRONT YARD)	6.0m	3.3m SETBACK
NORTH SIDE (SIDE YARD)	3.0m	1m SETBACK
LAKESHORE (FRONT YARD)	6.0m	0m SETBACK

TOWER 2				
# UNITS	# RMS	TOWNHOUSES	UNIT SQ FT	UNIT SQ M
1	2 BR	UNIT A	1,033.00	95.97
1	1 BR	UNIT A1	780.00	72.46
4	2 BR	UNIT A2	993.00	92.25
3	2 BR	UNIT A3	1,092.00	101.45
20	1 BR	UNIT B	651.00	60.48
4	2 BR	UNIT C	910.00	84.54
4	2 BR	UNIT C1	941.00	87.42
10	2 BR	UNIT C2	896.00	83.24
1	2 BR	UNIT D	1,486.00	138.05
1	2 BR	UNIT D1	1,454.00	135.08
130		TOTAL UNIT AREA	114,640.00	10,650.06
		TOTAL RETAIL AREA	13,100.60	1,217.05
		TOTAL AREA	127,740.60	
		F.A.R.	-1.5	-127,904.39
		UNDER F.A.R.		163.78



**PARKING CALCULATION**

MINIMUM DIMENSIONS (90° PARKING):  
AISLE WIDTH = 23'-0" (7.0m)  
STALL WIDTH = 8'-3" (2.5m)  
STALL DEPTH = 19'-8" (6.0m)

HC STALL (MIN. SIZE):  
STALL DEPTH = 19'-8" (6.0m)  
STALL WIDTH = 12'-3" (3.7m)

UNIT TYPE	BEDROOMS	STALL REQ'S	# OF UNITS	TOTAL STALLS
TOWNHOUSE	2	1.25	7	8.75
1 BEDROOM	1	1	51	51
2 BEDROOM	2	1.25	68	85
3 BEDROOM	3	1.5	4	6
			130	150.75
			VISITOR @ 0.14	21.105
			TOTAL	172

	SQ METERS	STALLS/SQM	
COMMERCIAL	1323.6	2.5	33
			LOADING
			1
			TOTAL PARKING REQUIRED
			206 STALLS
			TOTAL COVERED PARKING PROVIDED
			208 STALLS
			TOTAL UNCOVERED PARKING PROVIDED
			0 STALLS
			TOTAL PROVIDED
			208 STALLS

**BICYCLE PARKING REQUIREMENTS:**  
CLASS 1 APPT. HOUSING = .5 BIKE PER SLEEPING UNIT 65 STALLS  
CLASS 2 APPT. HOUSING = .1 BIKE PER SLEEPING UNIT 13 STALLS  
CLASS 1 COMMERCIAL = .2 BIKE PER 100m<sup>2</sup> G.L.A. 3 STALLS  
CLASS 2 COMMERCIAL = .6 BIKE PER 100m<sup>2</sup> G.L.A. 8 STALLS  
TOTAL REQUIRED = CLASS 1=68, CLASS 2=21  
TOTAL PROVIDED = 90 BIKES (MIN)  
TOWNHOUSES = 7 CLASS 1 STALLS  
BIKE PARKING ROOMS = 61 CLASS 1 SPOTS, 10 CLASS 2 STALLS  
12 EXTERIOR CLASS 2 STALLS

**SPATIAL SEPARATION:** 3.2.3.1. (C/D)

	FRONT RETAIL UNITS TOWNHOUSES	PARKADE WALL (WEST SIDE)	
WALL AREA		318sm±	
OPENING AREA	WALL CONST. & OPENINGS NOT RESTRICTED - ALL WALLS FACE A STREET, & LIMITING DISTANCE EXCEEDS 9.0m	0sm	
% PROVIDED		0%	
LIMITING DISTANCE		1.5 m	
% PERMITTED		8%	
CONSTRUCTION TYPE		NON COMBUST.	
CLADDING MATERIAL		NON COMBUST.	
REQUIRED RATINGS		2HR	
<b>OCCUPANT LOAD</b>			
130 RESIDENTIAL UNITS x 2 PERSONS / SLEEPING ROOM			260 PEOPLE
1 PERSONS / 3.7 sm RETAIL x 1323sm±			358 PEOPLE
NOTE: BASED ON NET FLOOR AREA AS CALC. BELOW			
TOTAL OCCUPANT LOAD			618 PEOPLE
<b>EXIT FACILITIES (PER FLOOR)</b>			
REQUIRED EXITS:			3.1 TO 3.6
	2 PER FLOOR PER TOWER		
	2 PER RETAIL UNIT (TO BE CONFIRMED WITH LEASEHOLD IMPROVEMENTS - N.I.C.)		
MIN EXIT WIDTH:			
RESIDENTIAL TOWER 1: 8mm/ PERSON x 32 PERSONS MAX = 256mm PER FLOOR			
RESIDENTIAL TOWER 2: 8mm/ PERSON x 20 PERSONS MAX = 160mm PER FLOOR			
EXITS PROVIDED FOR EACH FLOOR = 2x36" WIDTH - 72" (1829mm) (TO BE CONFIRMED WITH LEASEHOLD IMPROVEMENTS - N.I.C.)			
REQUIRED EXITS:	2 PER FLOOR		
MIN. EXIT WIDTH	3.4.3.2.(1)(a)		
	OFFICE BLDG: 6.1mmx249 PERSONS MAIN FLOOR = 1519mm		
	8mmx114 PERSONS MAX FOR EACH UPPER FLOOR = 912mm		
EXITS PROVIDED:	TYPICAL FLOOR MINIMUM 2 @ 36" WIDTH PER FLOOR = 72" (1829mm)		
EXIT THROUGH LOBBY:	YES	3.4.4.2	
PANIC HARDWARE REQ'D:	YES	3.3.1.13	
EXIT EXPOSURE:	OK	3.3.1.13	
MAX TRAVEL DISTANCE:	45m	3.4.2.5.(1)(c)	
EXIT RATINGS REQUIRED:		3.4.2.5.(1)(c)	
STAIR SHAFTS	1 HR	3.4.4.1.	
	2 HR	BETWEEN MAIN & 2ND FLOORS	
PUBLIC CORRIDORS:	1 HR	3.3.1.4.	
<b>REQUIRED FIRE SEPERATIONS</b> 3.1.3.1.			
<b>TENANTS/ MAJOR OCCUPANCIES</b>			
GROUP A2 TO C		1 HR	
GROUP A2 TO D		1 HR	
GROUP A2 TO E		2 HR	
GROUP E TO F-3		2 HR	
GROUP C TO F-3		2 HR	
GROUP E TO D		1 HR	
GROUP C TO C		1 HR	
BETWEEN SUITES		1 HR	3.3.4.2.
EXIT THROUGH LOBBY		1 HR	3.4.4.2.(2)
SERVICE ROOMS		1 HR	3.6.2.
JANITOR ROOMS		NON-RATED FIRE SEPARATION	
<b>BUILDING FIRE SAFETY</b>			
SOFFIT PROTECTION	N/A		3.2.3.16.
FLAME SPREAD RATINGS		CONFORMING TO 3.1.13.	
METAL DECK ASSEMBLIES	N/A		3.1.14.2.
ROOF COVERING CLASS.	CLASS "A"		3.1.14.2.
ATTIC FIRESTOPS	N/A		3.1.11.
MAX ATTIC AREA	N/A		3.1.11.5.
MAX CRAWLSPACE AREA	N/A		3.1.11.6.
CONCEALED FLOOR AREA	N/A		3.1.11.5.



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No.	Date	Revision
01	2018-01-16	OWNER REVIEW
02	2021-01-27	ISSUED FOR DEVELOPMENT PERMIT

Project Title  
**CABAN MIXED USE DEVELOPMENT**  
227 - 3421 Lakeshore rd. Kelowna, BC V1Y 1B7

Drawing Number

**A1.01**

DRAWINGS ARE NOT TO BE SCALED. ALL DIMENSIONS SHALL BE VERIFIED ON JOB

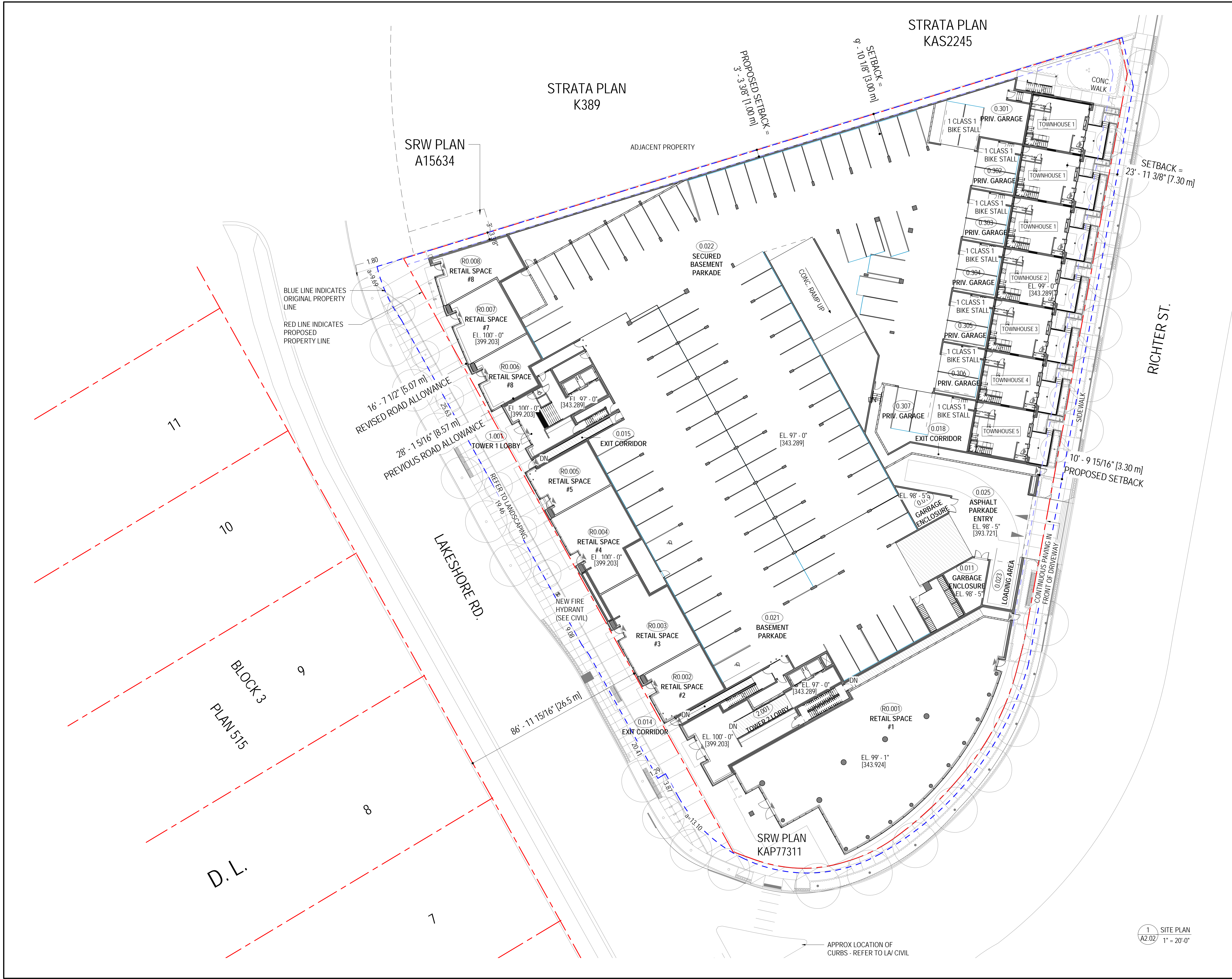
Drawing Title

**ZONING, CODE REVIEW, LOCATION PLAN**

12" = 1'-0"

Date	2018-01-16
Job No.	907
Scale	12" = 1'-0"
Drawn	CM
Checked	JM

D1\_S&M\_Proposed CabanMixedUse-Plan-2021-01-26-91322.MXD



### LEGEND

BUILDING FOOTPRINT 63,456 ft <sup>2</sup>	
ASPHALT PARKING LOT / LOADING AREA 3,661 ft <sup>2</sup>	
LANDSCAPED PATIO (SEE LANDSCAPE)	
SURVEYED SPOT ELEVATIONS	
SURVEYED PROPERTY LINE	
PROPOSED PROPERTY LINE	
PROPOSED SETBACK LINE	

### PARKING CALCULATION

MINIMUM DIMENSIONS (90° PARKING):		HC STALL (MIN. SIZE):	
AISLE WIDTH = 23'-0" (7.0m)		STALL DEPTH = 19'-8" (6.0m)	
STALL WIDTH = 8'-3" (2.5m)		STALL WIDTH = 12'-3" (3.7m)	
STALL DEPTH = 19'-8" (6.0m)			
UNIT TYPE	BEDROOMS	STALL REQ'S	# OF UNITS
TOWNHOUSE	2	1.25	7
1 BEDROOM	1	1	51
2 BEDROOM	2	1.25	68
3 BEDROOM	3	1.5	4
		130	150.75
		VISITOR @ 0.14	
		21.105	
		<b>TOTAL</b>	
		<b>172</b>	
	SQ METERS	STALLS/ SQM	
COMMERCIAL	1323.6	2.5	33
		LOADING	1
		<b>TOTAL PARKING REQUIRED</b>	<b>206 STALLS</b>
		<b>TOTAL COVERED PARKING PROVIDED</b>	<b>208 STALLS</b>
		<b>TOTAL UNCOVERED PARKING PROVIDED</b>	<b>0 STALLS</b>
		<b>TOTAL PROVIDED</b>	<b>208 STALLS</b>

### BICYCLE PARKING REQUIREMENTS:

CLASS 1 APPT. HOUSING = .5 BIKE PER SLEEPING UNIT	65 STALLS
CLASS 2 APPT. HOUSING = .1 BIKE PER SLEEPING UNIT	13 STALLS
CLASS 1 COMMERCIAL = .2 BIKE PER 100m <sup>2</sup> G.L.A.	3 STALLS
CLASS 2 COMMERCIAL = .6 BIKE PER 100m <sup>2</sup> G.L.A.	8 STALLS
<b>TOTAL REQUIRED = CLASS 1-68, CLASS 2-21</b>	
<b>TOTAL PROVIDED = 90 BIKES (MIN)</b>	
TOWNHOUSES = 7 CLASS 1 STALLS	
BIKE PARKING ROOMS = 61 CLASS 1 SPOTS, 10 CLASS 2 STALLS	
<b>12 EXTERIOR CLASS 2 STALLS</b>	

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No.	Date	Revision
01	2018-01-16	OWNER REVIEW
02	2021-01-27	ISSUED FOR DEVELOPMENT PERMIT

Project Title  
**CABAN MIXED USE DEVELOPMENT**  
227 - 3421 Lakeshore rd. Kelowna, BC V1Y 1B7

Drawing Number  
**A2.02**

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Drawing Title  
**SITE PLAN**

As indicated	
Date	2018-01-16
Job No.	907
Scale	As indicated
Drawn	CM
Checked	JM

1 SITE PLAN  
A2.02 1" = 20'-0"



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Drawing Number  
**A3.00**

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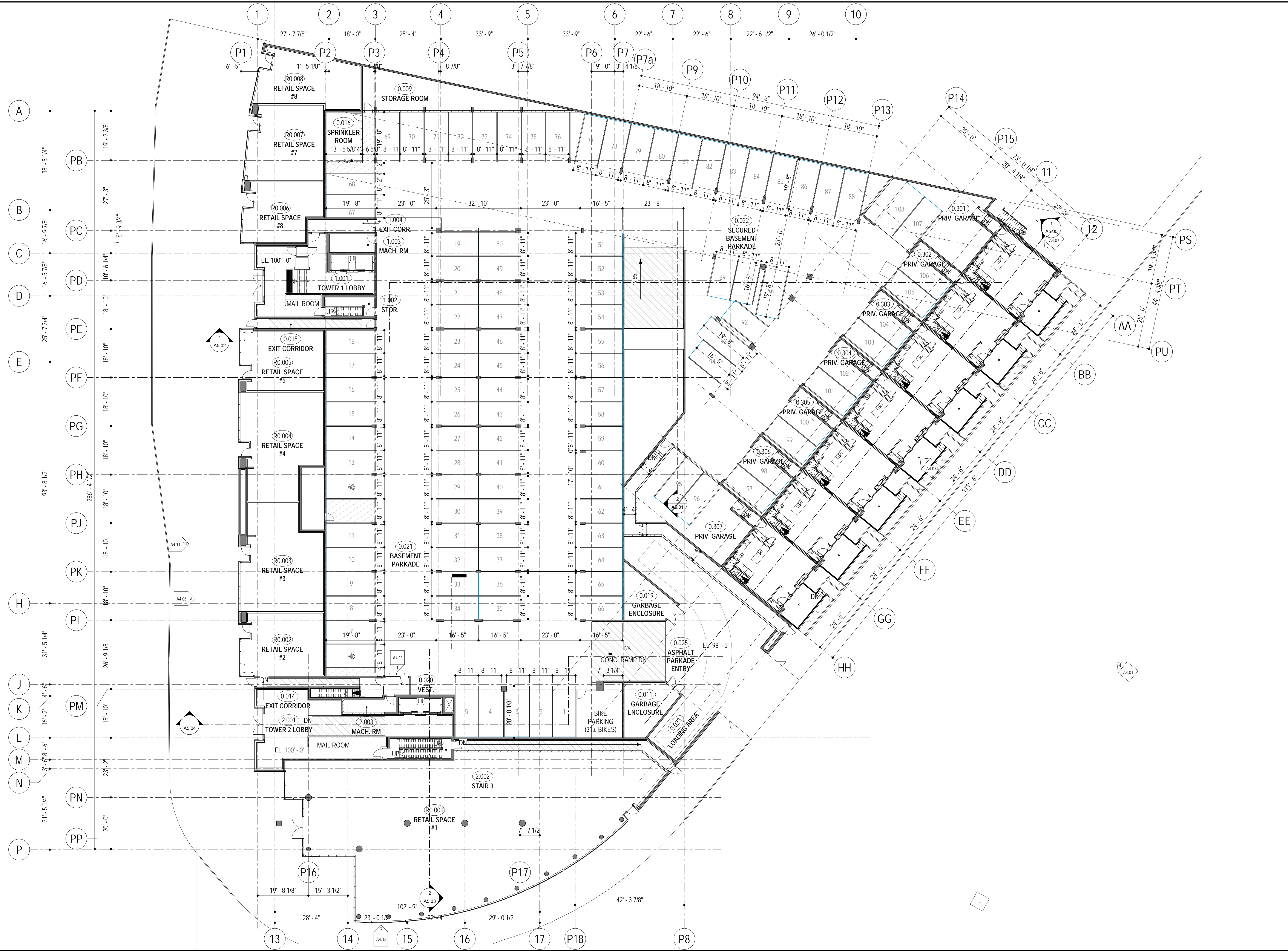
Drawing Title

**BASEMENT FLOOR PLAN**

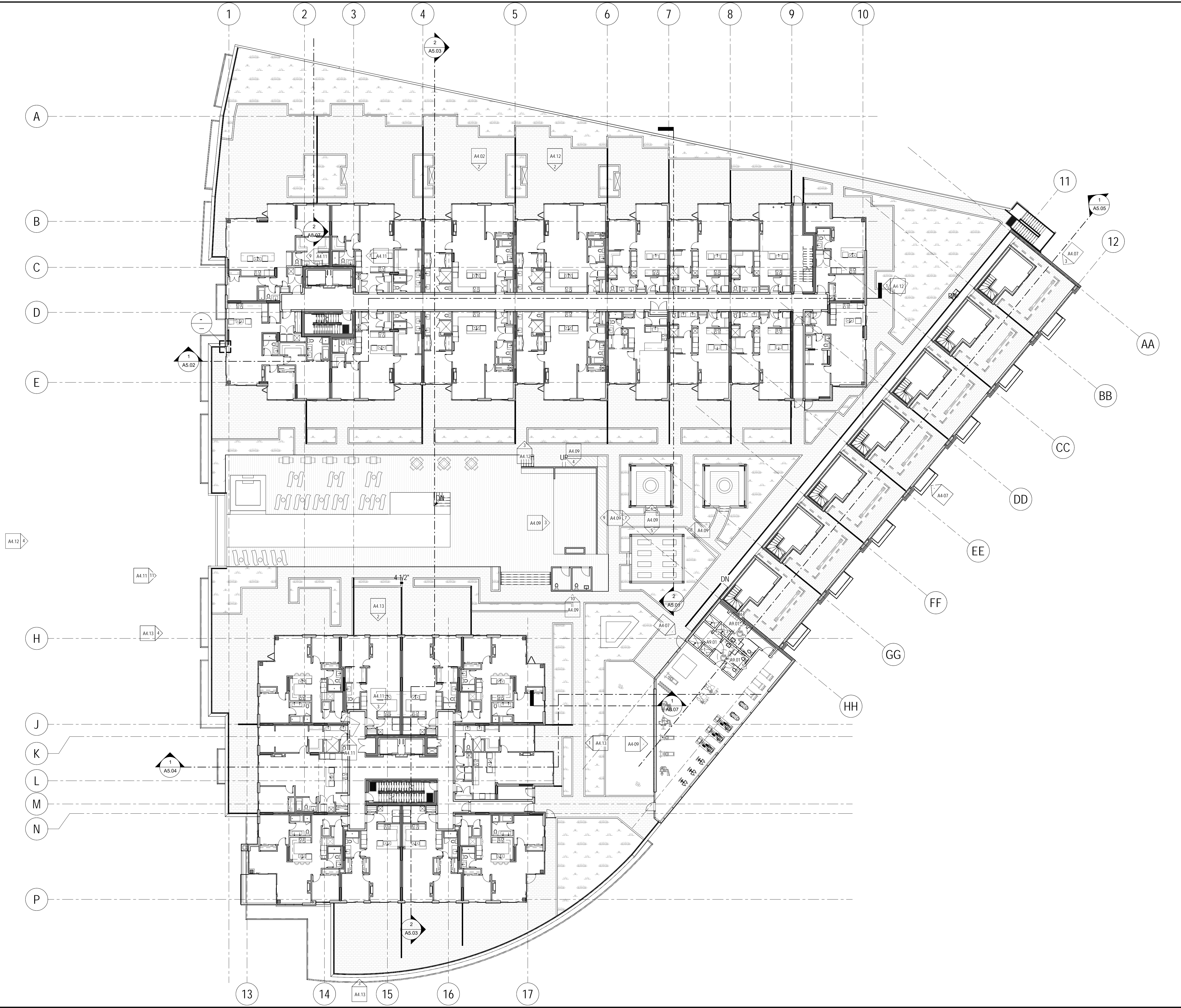
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Date	2018-01-16
Job No.	997
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Drawn	CM
Checked	JM

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**A3.02**

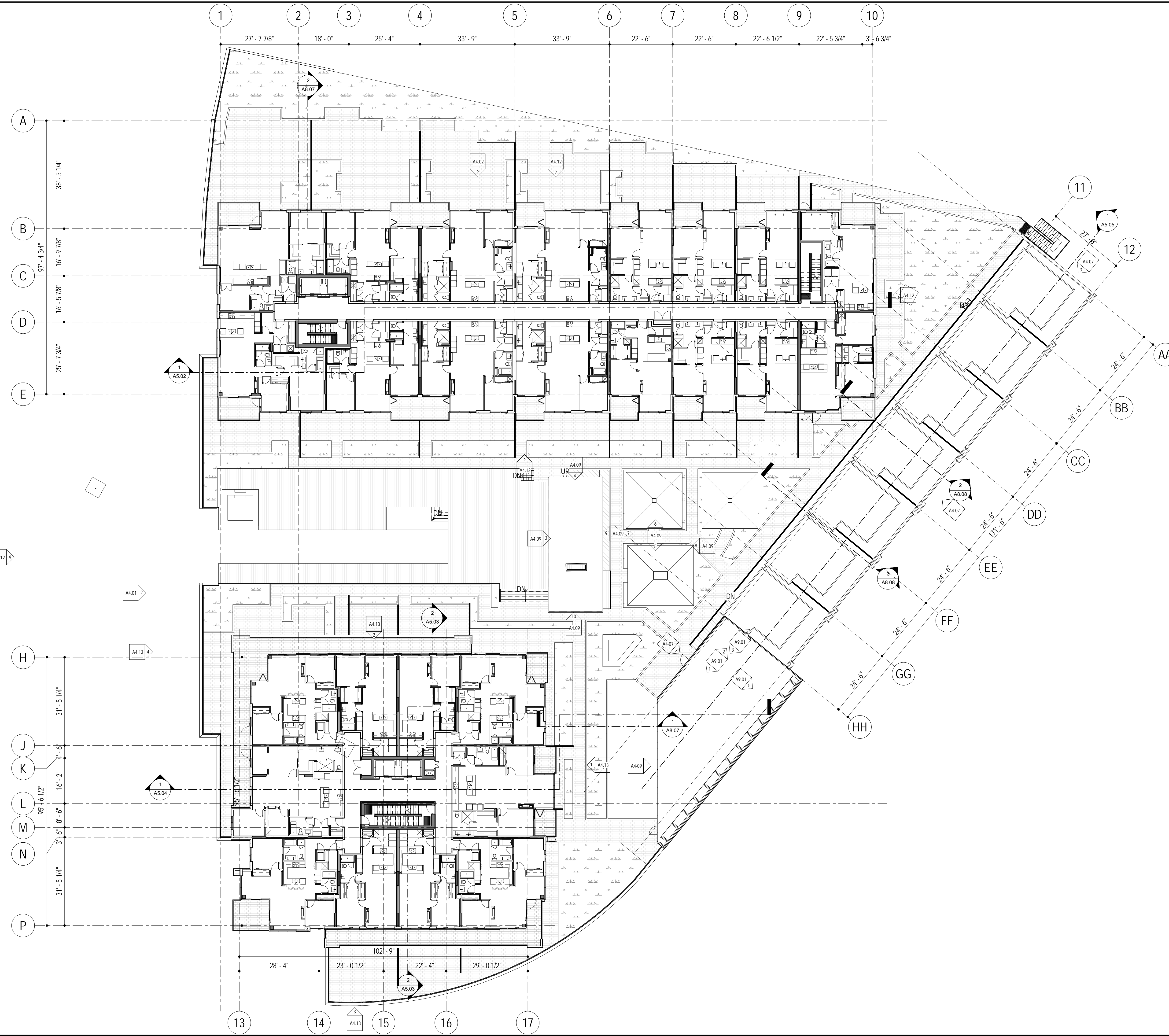
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Drawing Title

**2ND FLOOR PLAN**

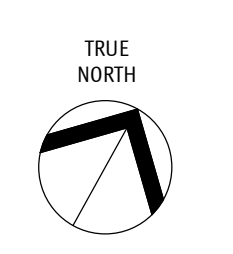
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 Drawn: CM  
 Checked: JM

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Drawing Number  
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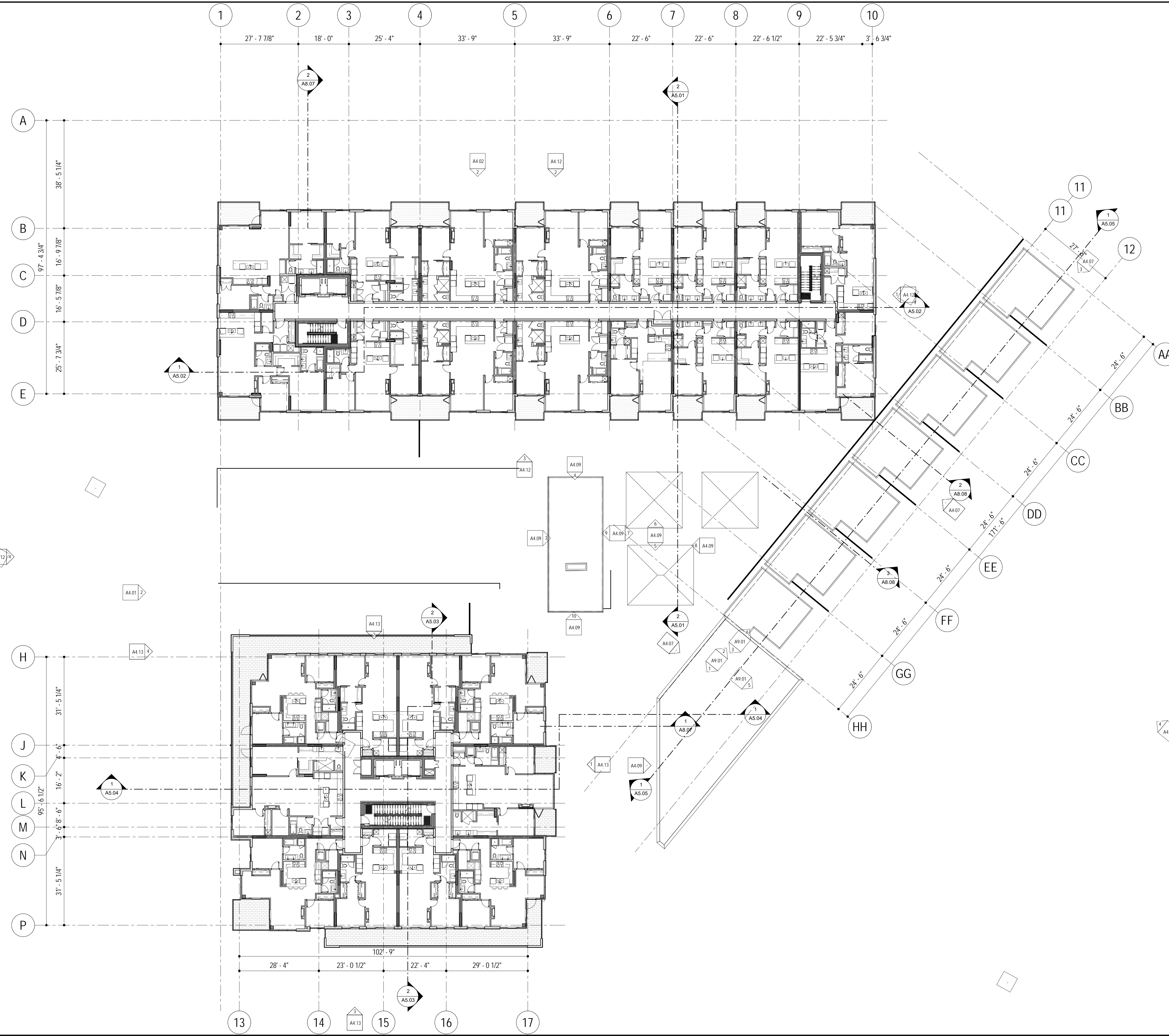
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Drawing Title

**3RD FLOOR PLAN**

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 Job No.: 907  
 Scale: 1/16" = 1'-0"  
 Drawn: CM  
 Checked: JM  
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Drawing Number  
**A3.04**

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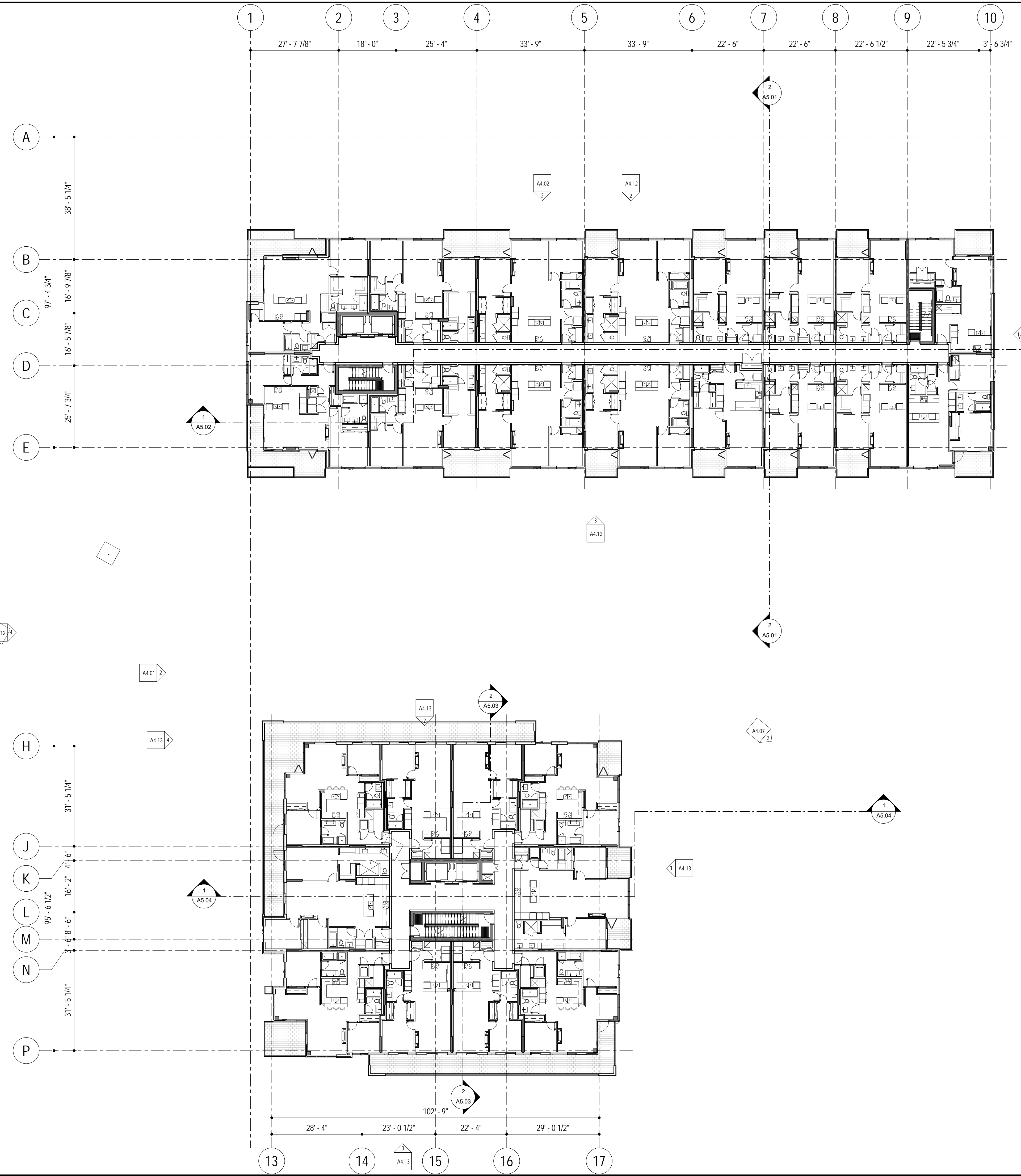
Drawing Title

**4TH FLOOR PLAN**

1/16" = 1'-0"

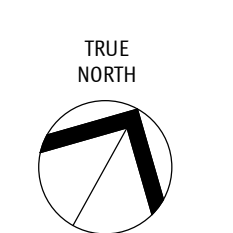
Date	2018-01-16
Job No.	907
Scale	1/16" = 1'-0"
Drawn	CM
Checked	JM

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No.	Date	Revision
01	2018-01-16	OWNER REVIEW
02	2021-01-27	ISSUED FOR DEVELOPMENT PERMIT

Project Title  
**CABAN MIXED USE DEVELOPMENT**  
 227 - 3421 Lakeshore rd. Kelowna, BC V1Y 1B7

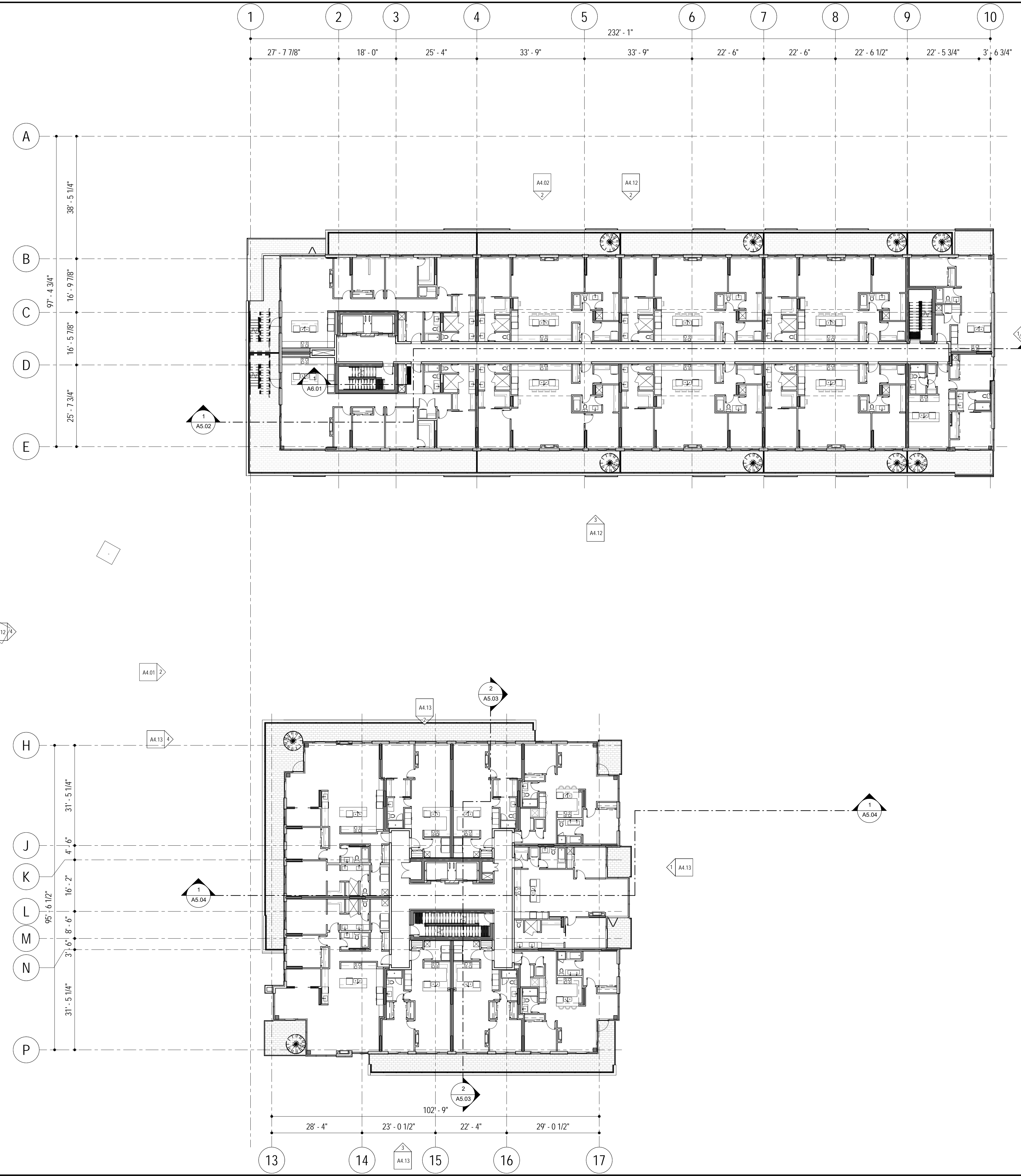
Drawing Number  
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DRAWINGS ARE NOT TO BE SCALED.  
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Drawing Title

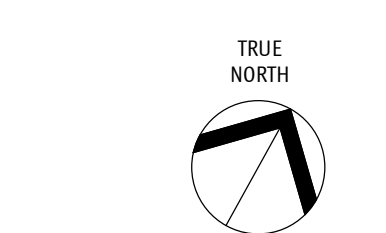
**5TH FLOOR PLAN**

1/16" = 1'-0"  
 Date: 2018-01-16  
 Job No.: 997  
 Scale: 1/16" = 1'-0"  
 Drawn: CM  
 Checked: JM  
 01\_2441 Project(00) Caban(04)5th Floor-FR-24  
 2021-01-26 11:43:00 AM



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Project Title  
**CABAN MIXED USE DEVELOPMENT**  
 227 - 3421 Lakeshore rd. Kelowna, BC V1Y 1B7

Drawing Number  
**A3.06**

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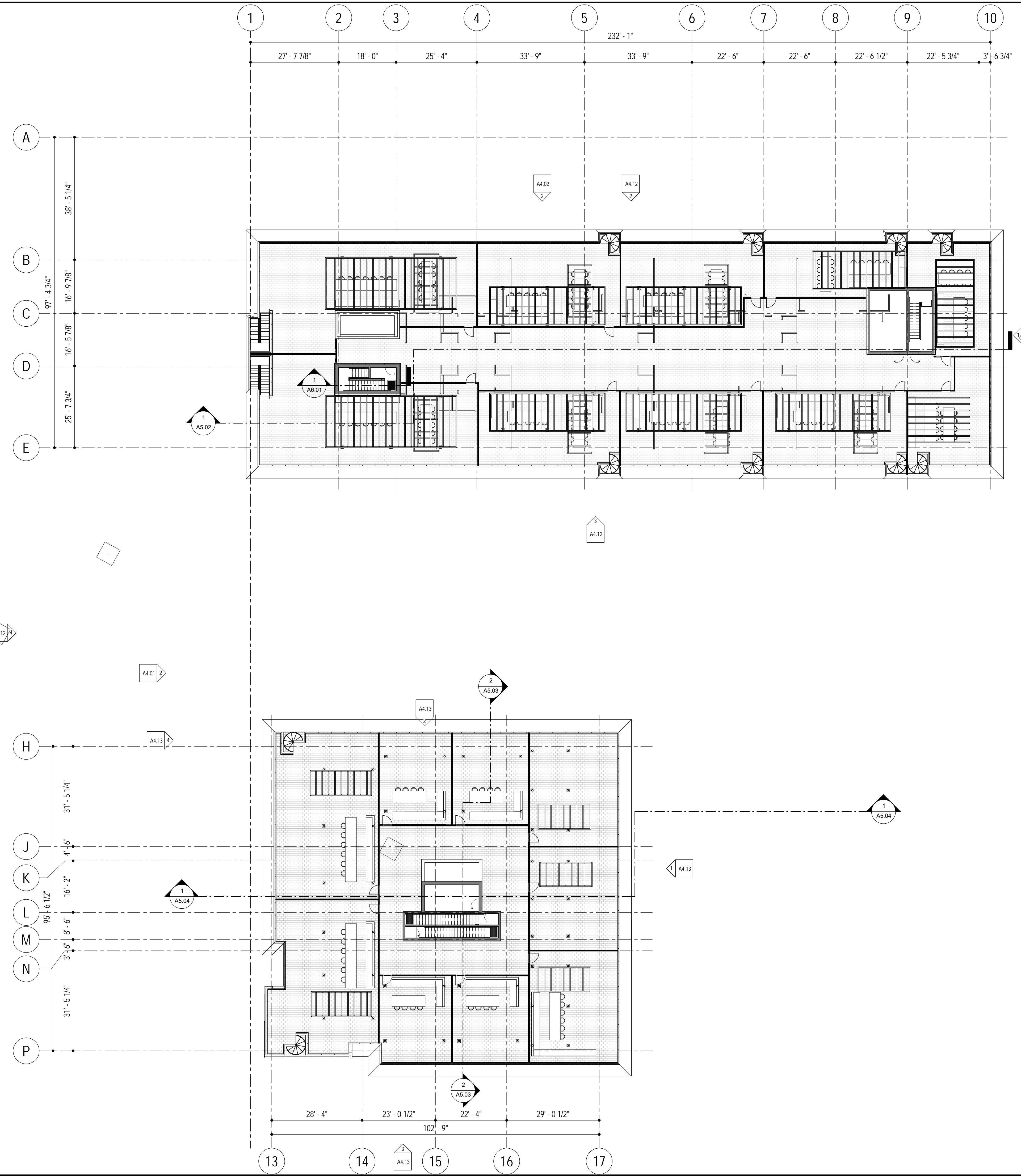
Drawing Title

**6TH FLOOR PLAN**

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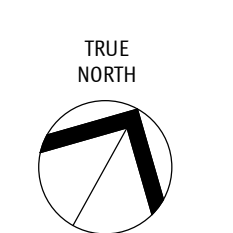
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Project Title  
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 USE  
 DEVELOPMENT**  
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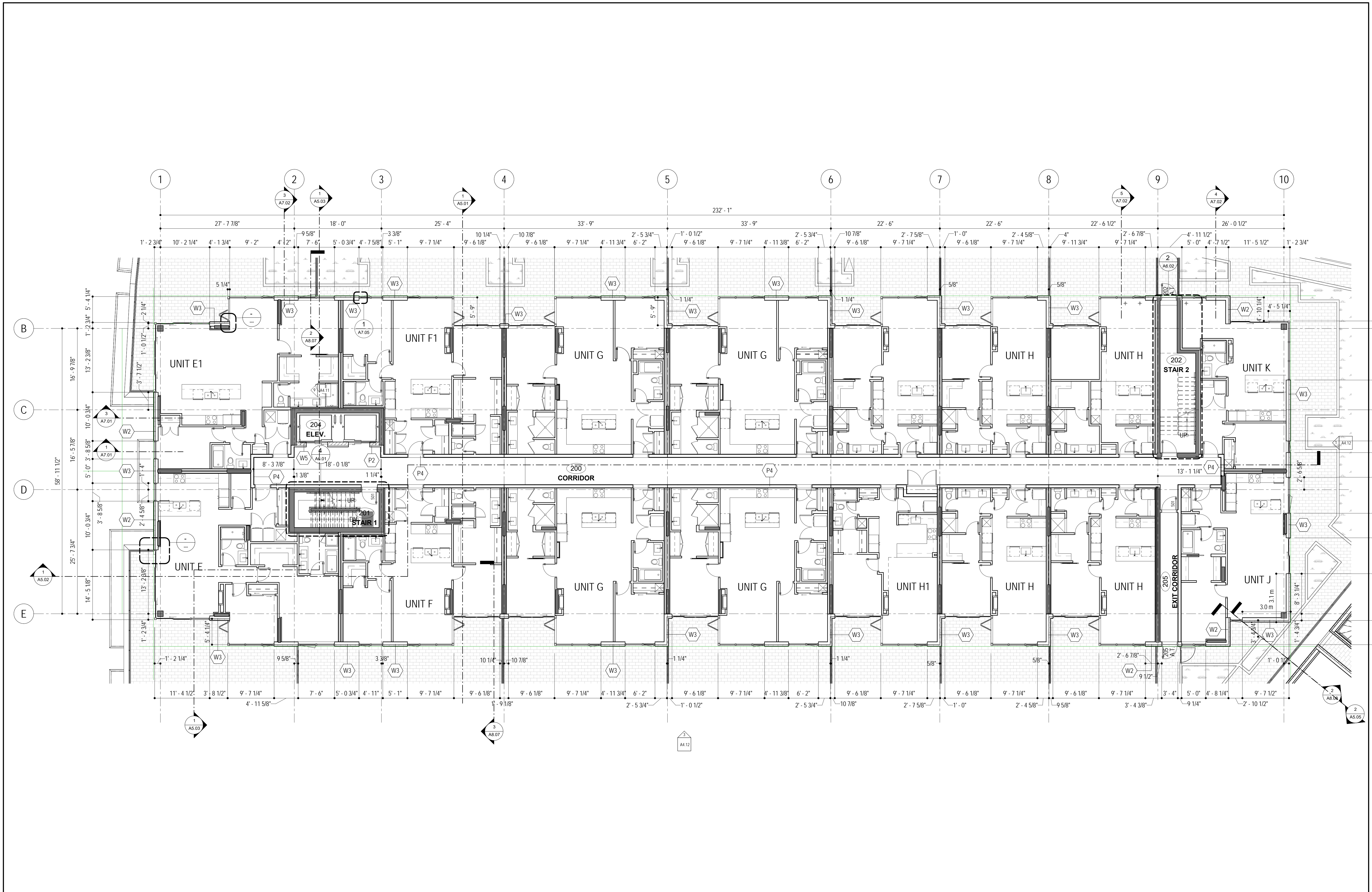
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DRAWINGS ARE NOT TO BE SCALED.  
 ALL DIMENSIONS SHALL BE VERIFIED ON JOB

Drawing Title

**ROOF PLAN**

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 Date: 2018-01-16  
 Job No.: 997  
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 Drawn: CM  
 Checked: JM  
 01\_SAM Projects\01 Caban\01\07-Roof-Plan-FR-24  
 2021-01-26 11:48 AM



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Drawing Number

**A3.12**

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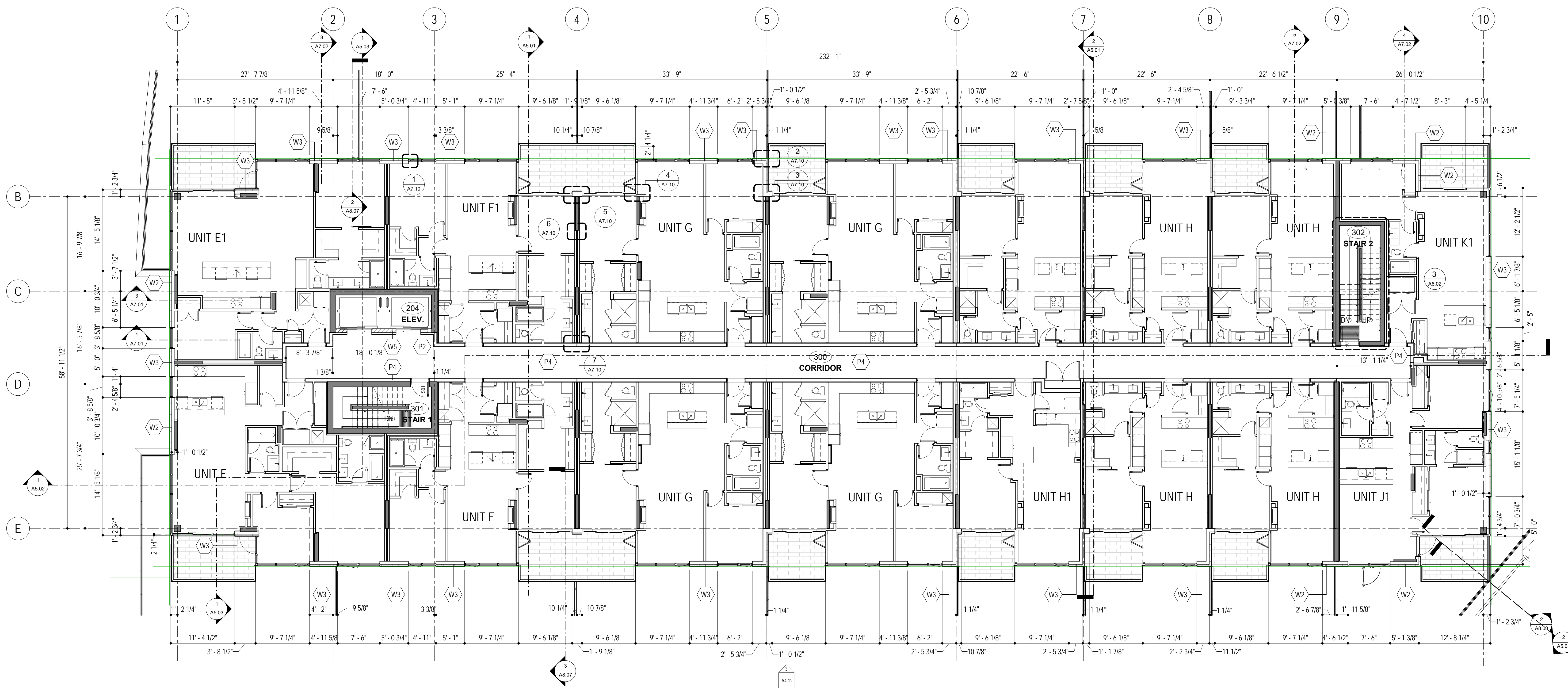
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**TOWER 1 - 2ND FLOOR PLAN**

1/8" = 1'-0"

Date	2018-01-16
Job No.	997
Scale	1/8" = 1'-0"
Drawn	CM
Checked	JM

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Project Title  
**CABAN MIXED USE DEVELOPMENT**  
 227 - 3421 Lakeshore rd. Kelowna, BC V1Y 1B7

Drawing Number

**A3.13**

DRAWINGS ARE NOT TO BE SCALED.  
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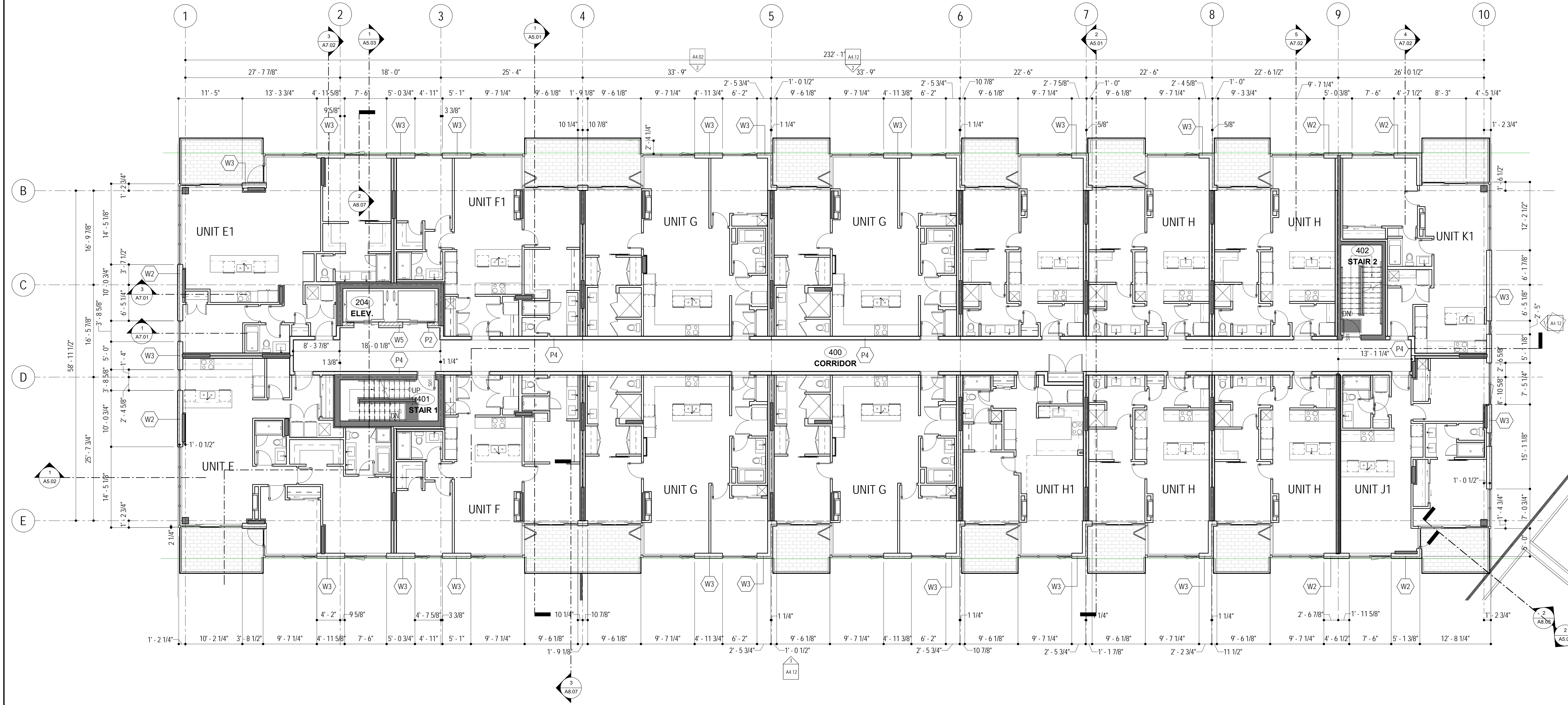
Drawing Title

**TOWER 1 - 3RD FLOOR PLAN**

1/8" = 1'-0"

Date	2018-01-16
Job No.	997
Scale	1/8" = 1'-0"
Drawn	CM
Checked	JM

DL: 3/4/19 Project: 997 Caban Mixed Use - Floor 3  
 2021-01-26 11:57 AM



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**CABAN MIXED  
 USE  
 DEVELOPMENT**

227 - 3421 Lakeshore rd. Kelowna, BC V1Y 1B7

Drawing Number

**A3.14**

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Drawing Title

**TOWER 1 - 4TH FLOOR  
 PLAN**

1/8" = 1'-0"

Date	2018-01-16
Job No.	997
Scale	1/8" = 1'-0"
Drawn	CM
Checked	JM



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Project Title  
**CABAN MIXED USE DEVELOPMENT**  
 227 - 3421 Lakeshore rd. Kelowna, BC V1Y 1B7

Drawing Number  
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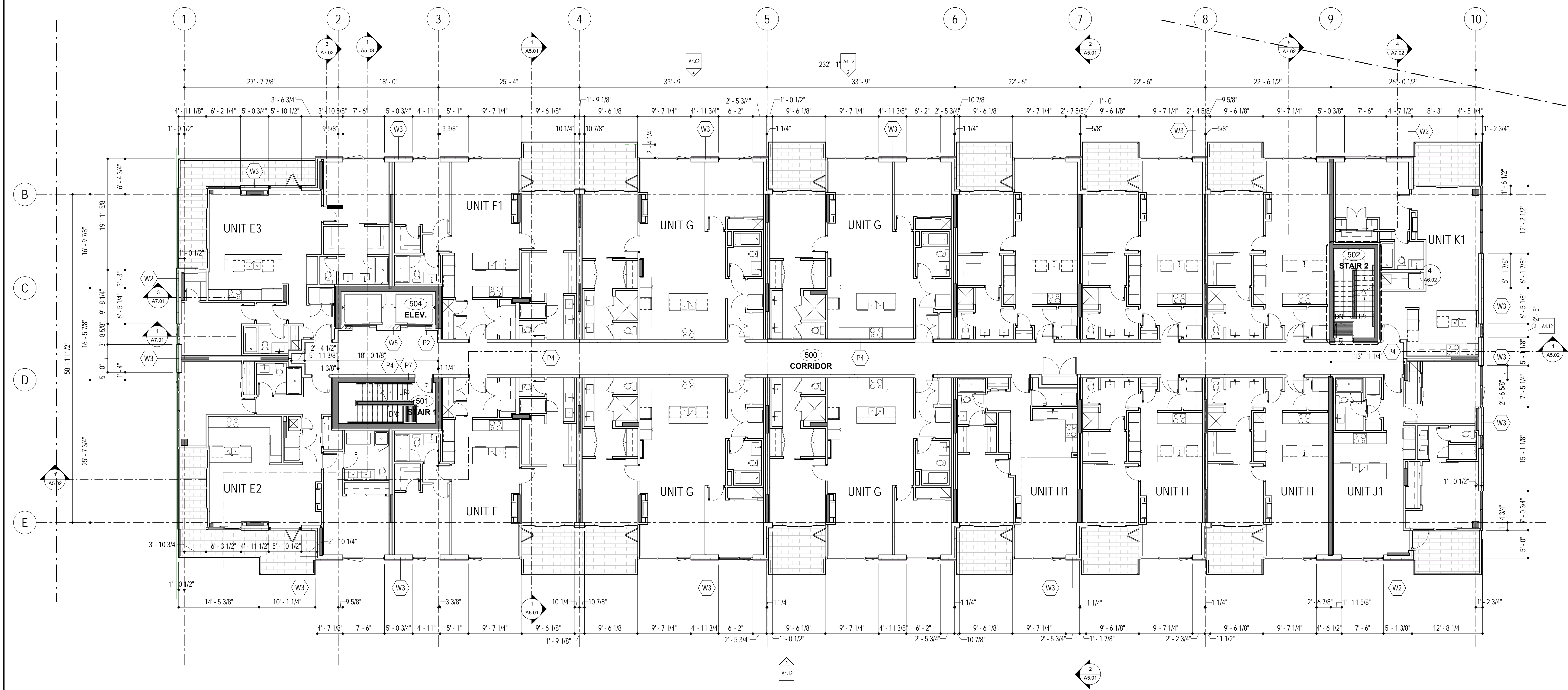
DRAWINGS ARE NOT TO BE SCALED.  
 ALL DIMENSIONS SHALL BE VERIFIED ON JOB

Drawing Title  
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1/8" = 1'-0"

Date	2018-01-16
Job No.	997
Scale	1/8" = 1'-0"
Drawn	CM
Checked	JM

DL: SHAW PROJECTS INC. CabanMixedUseTower1-Floor-5-15  
 2021-01-26 9:15:05 AM







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**CABAN MIXED USE DEVELOPMENT**  
 227 - 3421 Lakeshore rd. Kelowna, BC V1Y 1B7

Drawing Number

**A3.16**

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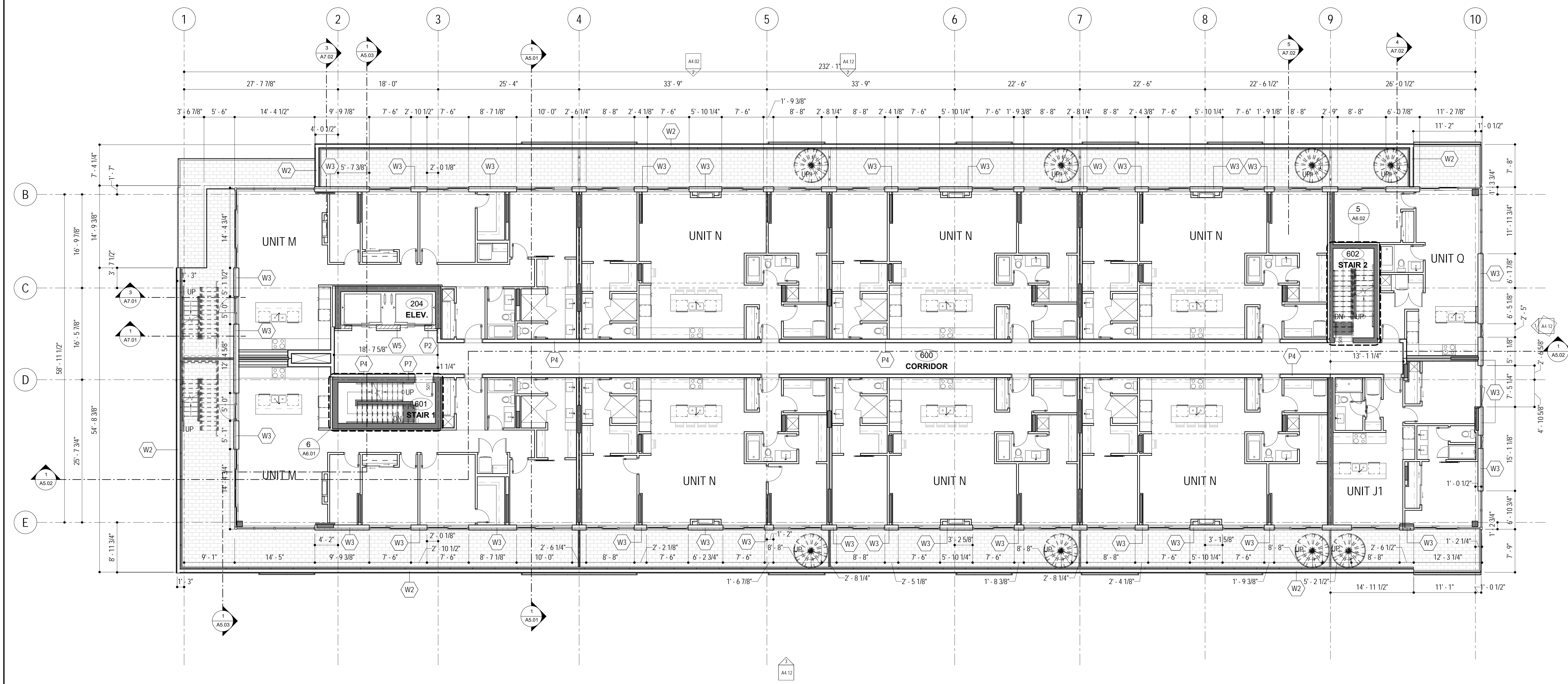
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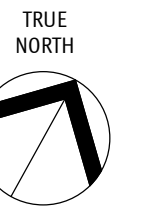
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1/8" = 1'-0"

Date	2018-01-16
Job No.	997
Scale	1/8" = 1'-0"
Drawn	CM
Checked	JM

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 USE  
 DEVELOPMENT**  
 227 - 3421 Lakeshore rd. Kelowna, BC V1Y 1B7

Drawing Number

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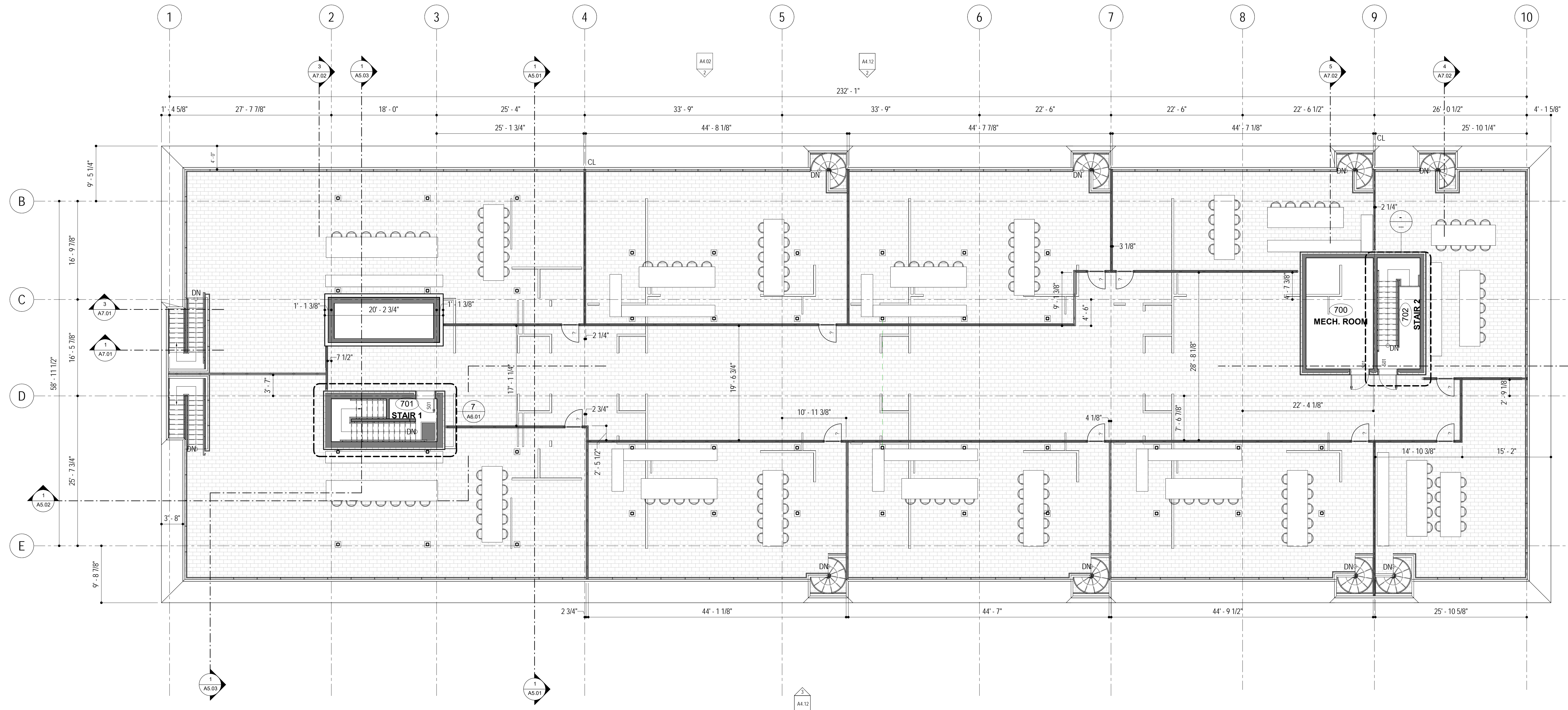
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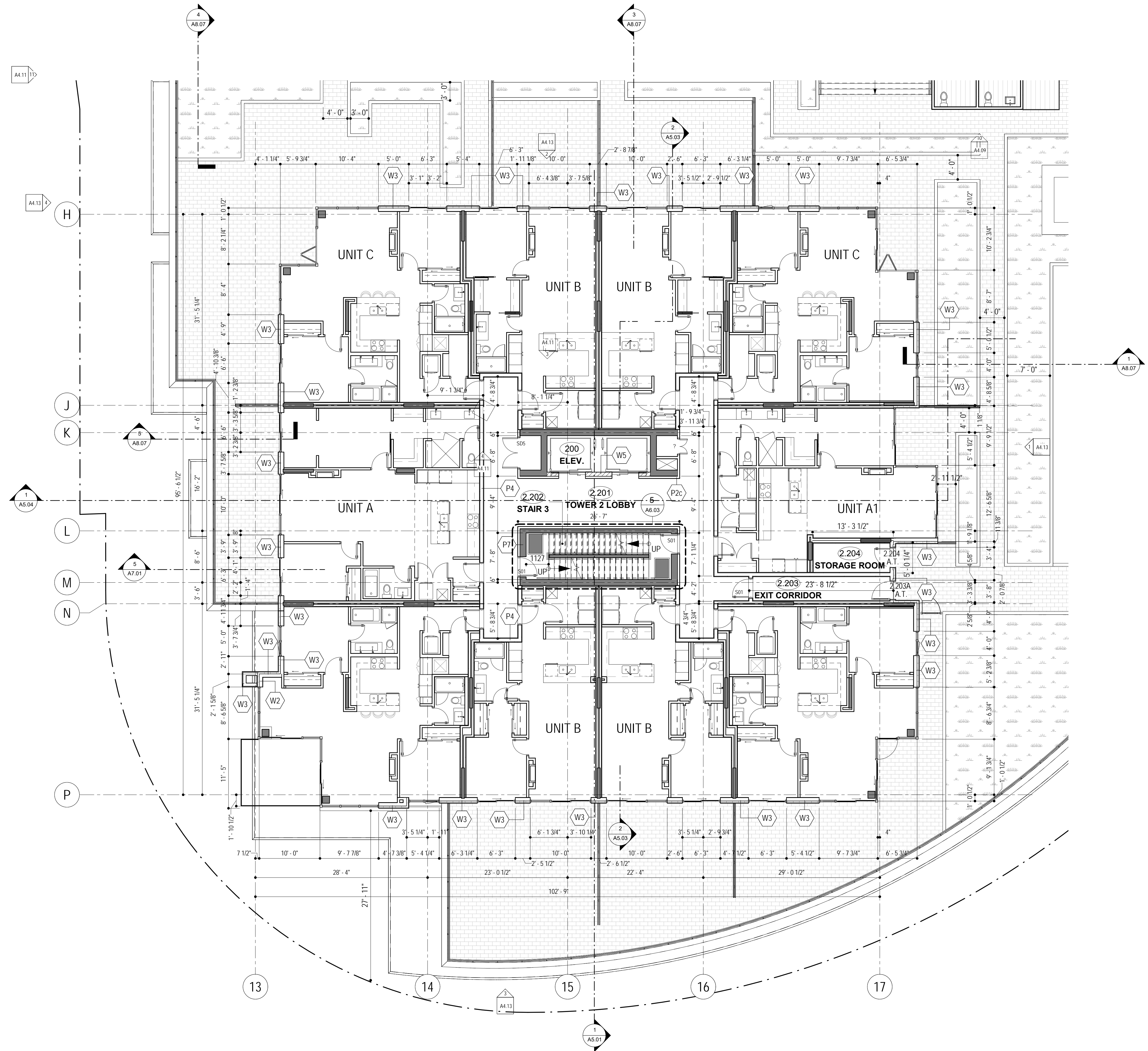
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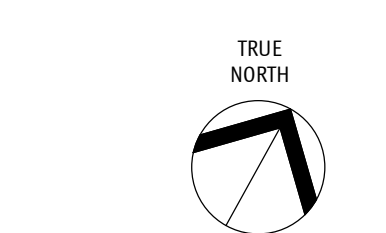
1/8" = 1'-0"

Date	2018-01-16
Job No.	997
Scale	1/8" = 1'-0"
Drawn	CM
Checked	JM





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Project Title  
**CABAN MIXED USE DEVELOPMENT**  
 227 - 3421 Lakeshore rd. Kelowna, BC V1Y 1B7

Drawing Number  
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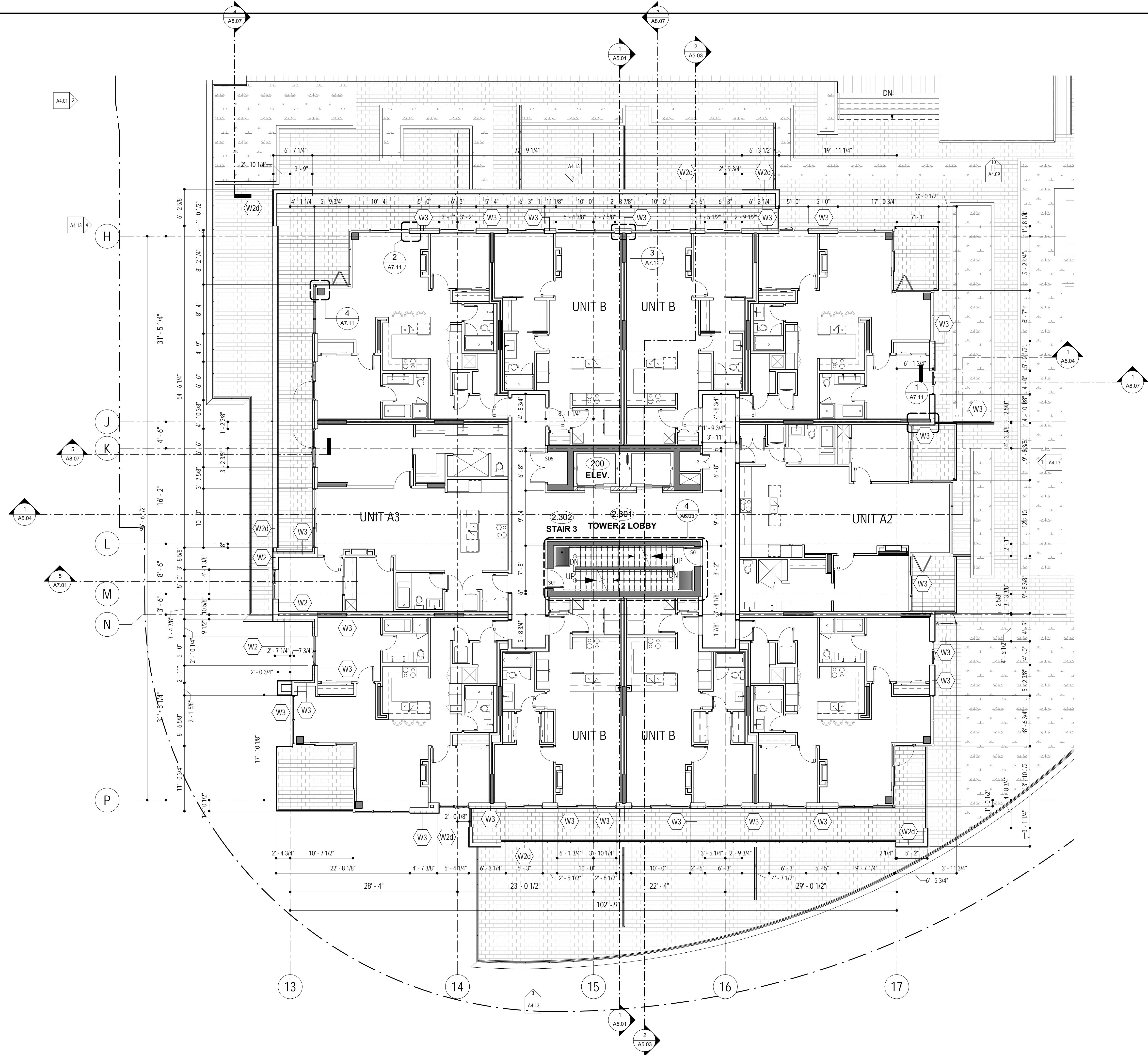
DRAWINGS ARE NOT TO BE SCALED.  
 ALL DIMENSIONS SHALL BE VERIFIED ON JOB

Drawing Title  
**TOWER 2 - 2ND FLOOR PLAN**

1/8" = 1'-0"

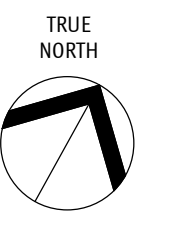
Date	2018-01-16
Job No.	997
Scale	1/8" = 1'-0"
Drawn	CM
Checked	JM

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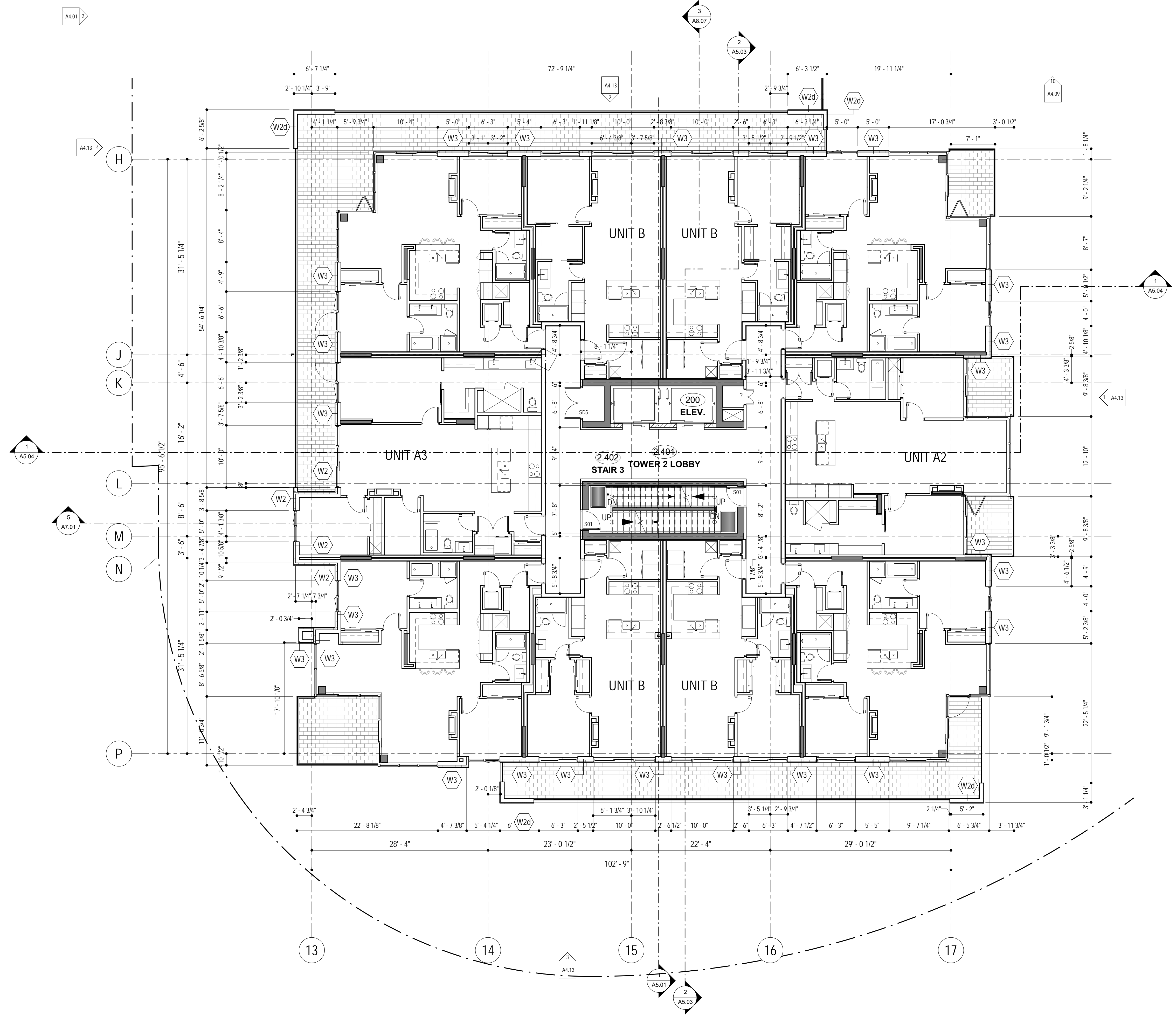
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**CABAN MIXED USE DEVELOPMENT**  
 227 - 3421 Lakeshore rd. Kelowna, BC V1Y 1B7

Drawing Number  
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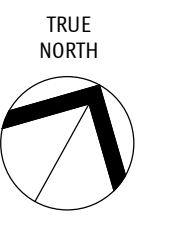
Drawing Title  
**TOWER 2 - 3RD FLOOR PLAN**

1/8" = 1'-0"  
 Date: 2018-01-16  
 Job No.: 997  
 Scale: 1/8" = 1'-0"  
 Drawn: CM  
 Checked: JM  
 01\_3421 Project\01 Caban\01\01 Tower 2\Floor 3  
 2021-01-26 11:53 AM



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**CABAN MIXED USE DEVELOPMENT**  
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Drawing Number  
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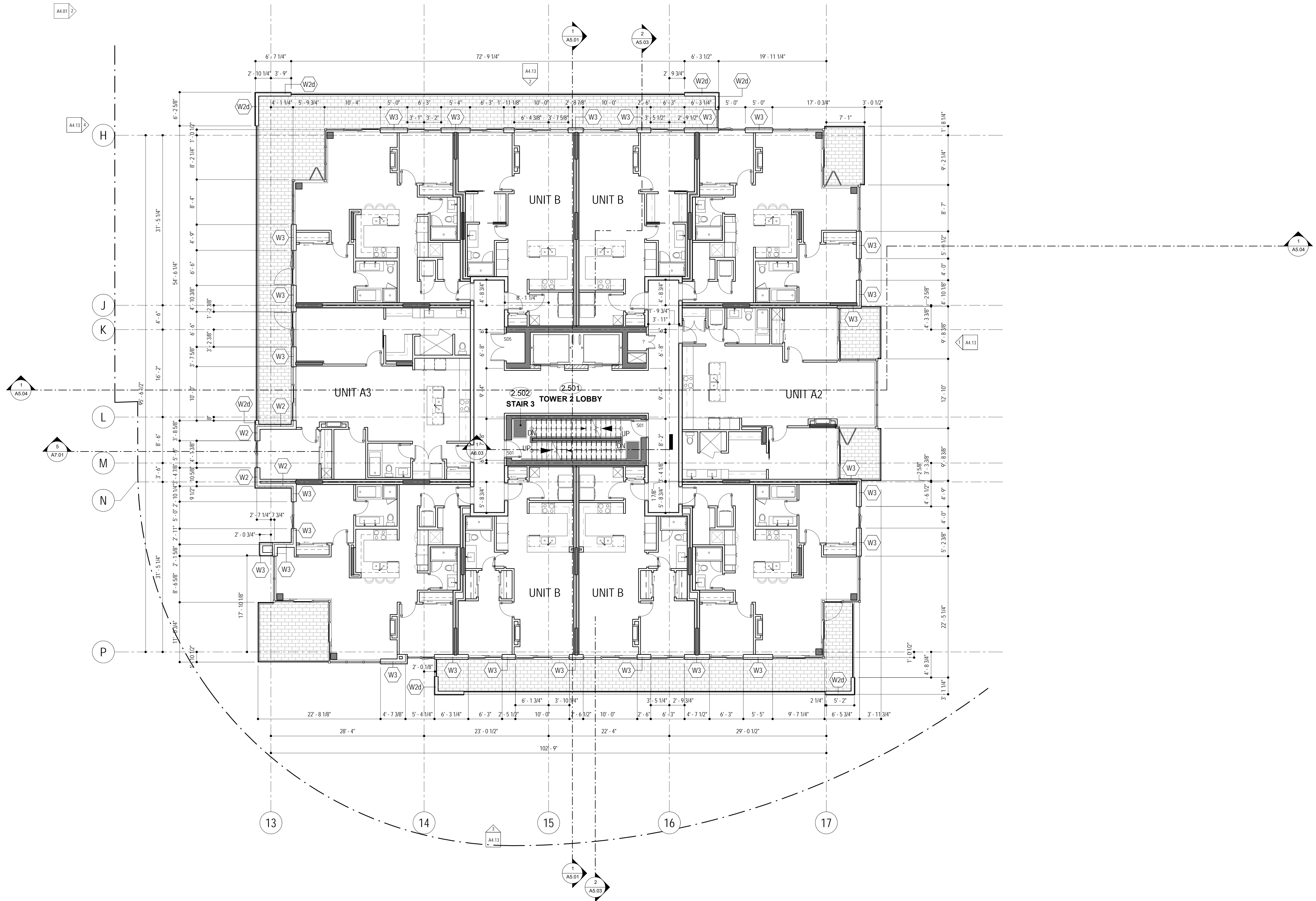
DRAWINGS ARE NOT TO BE SCALED.  
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Drawing Title  
**TOWER 2 - 4TH FLOOR PLAN**

1/8" = 1'-0"

Date: 2018-01-16  
 Job No.: 997  
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 Drawn: CM  
 Checked: JM

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Project Title  
**CABAN MIXED USE DEVELOPMENT**  
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Drawing Number  
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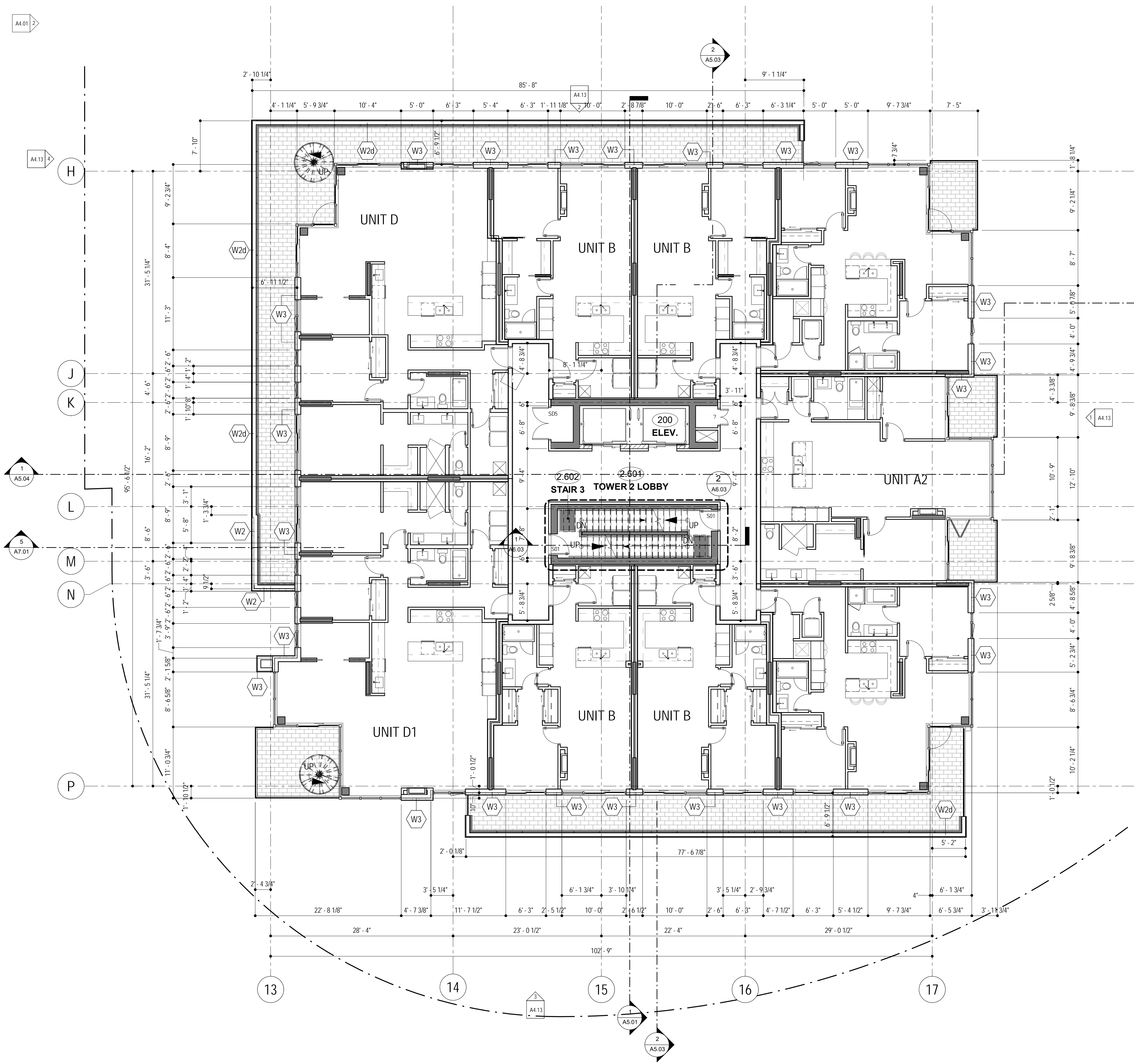
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Drawing Title  
**TOWER 2 - 5TH FLOOR PLAN**

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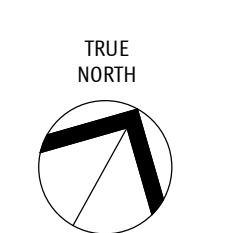
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 Checked: JM

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Project Title  
**CABAN MIXED USE DEVELOPMENT**  
 227 - 3421 Lakeshore rd. Kelowna, BC V1Y 1B7

Drawing Number  
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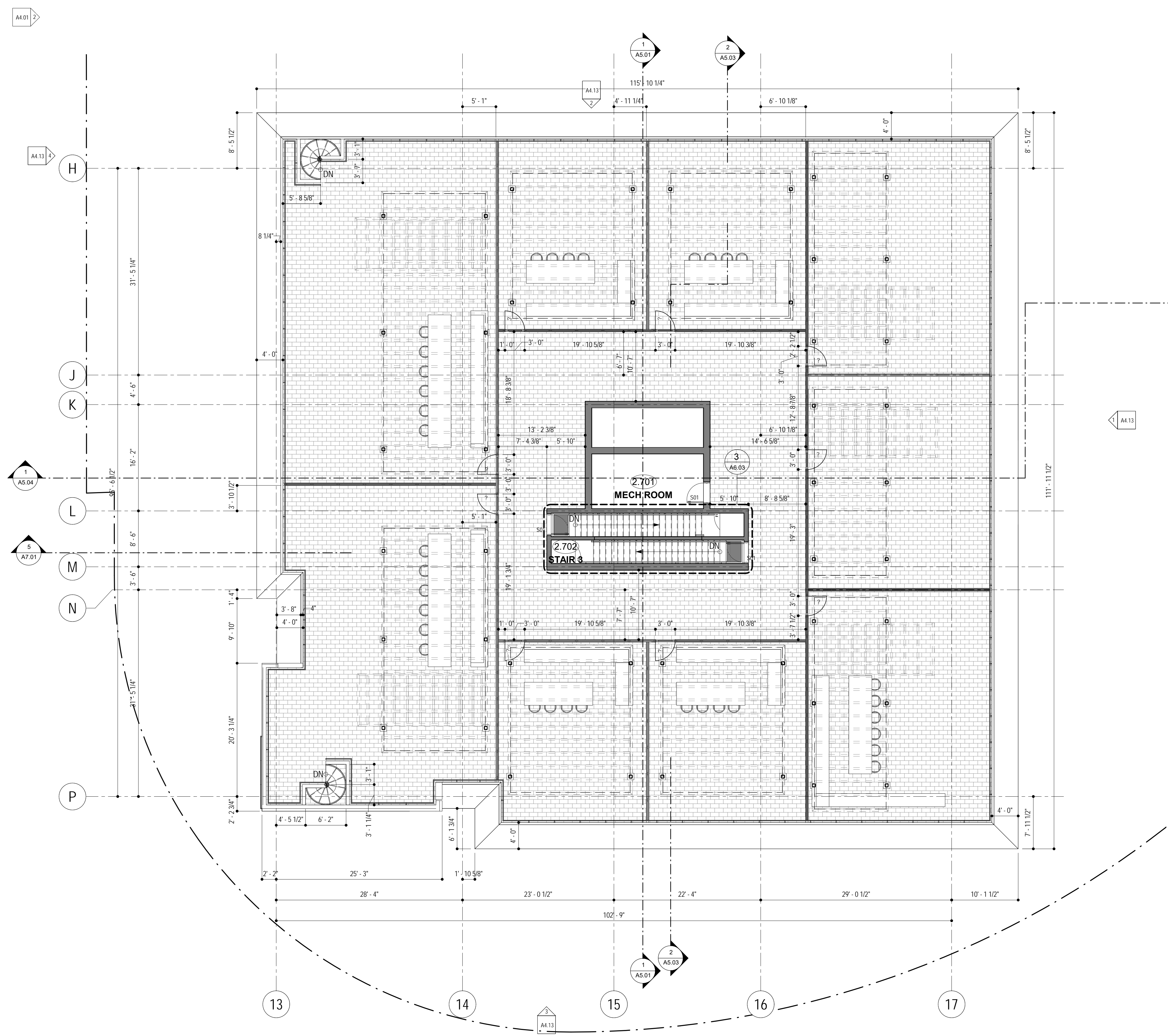
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 ALL DIMENSIONS SHALL BE VERIFIED ON JOB

Drawing Title  
**TOWER 2 - 6TH FLOOR PLAN**

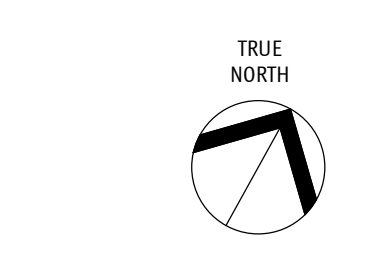
1/8" = 1'-0"

Date	2018-01-16
Job No.	997
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Drawn	CM
Checked	JM

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 227 - 3421 Lakeshore rd. Kelowna, BC V1Y 1B7

Drawing Number  
**A3.27**

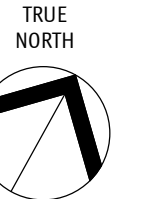
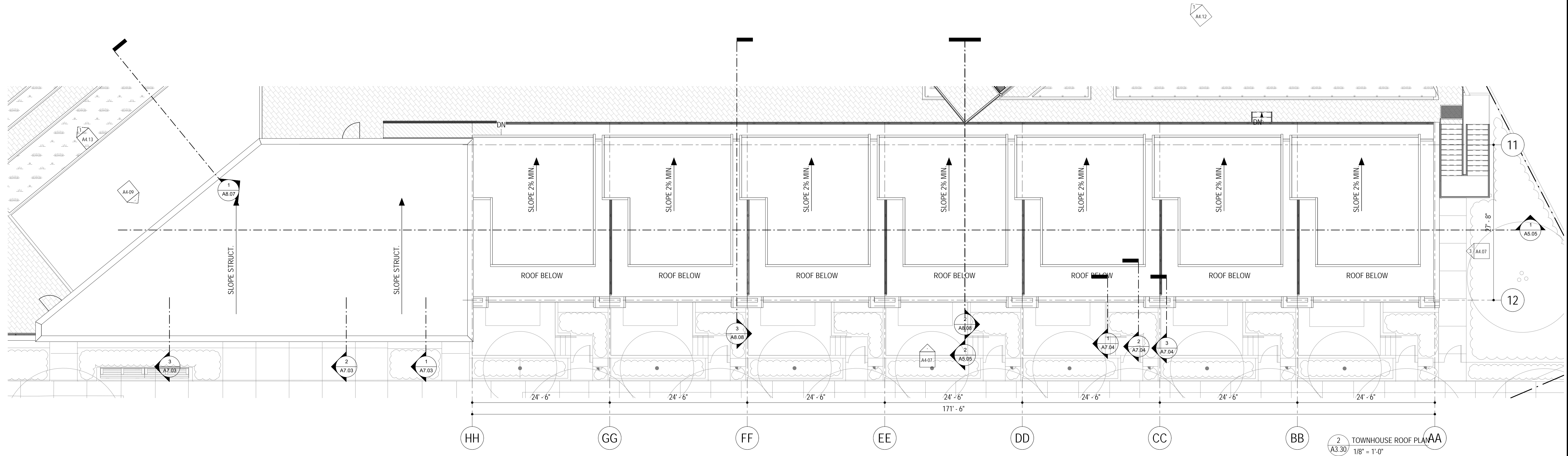
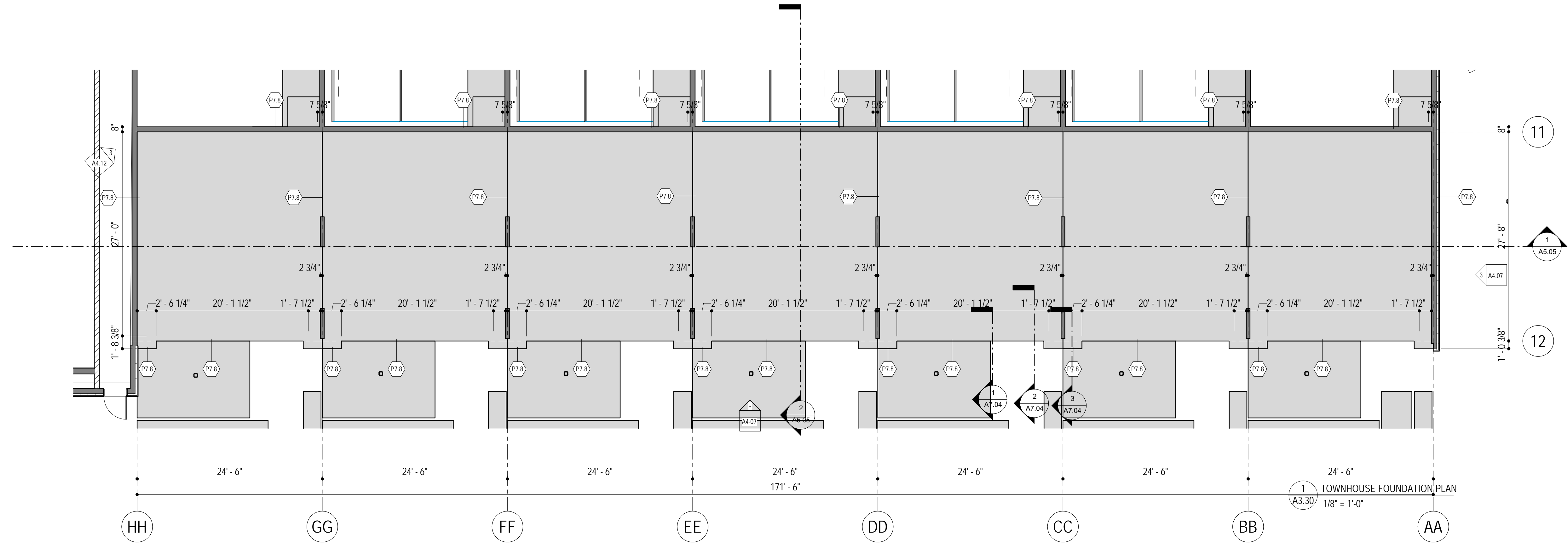
DRAWINGS ARE NOT TO BE SCALED.  
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Drawing Title

**TOWER 2 - ROOF PLAN**

1/8" = 1'-0"  
 Date: 2018-01-16  
 Job No.: 997  
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 Drawn: CM  
 Checked: JM  
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Drawing Number

**A3.30**

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Drawing Title

**TOWNHOUSE - BASEMENT / ROOF PLAN**

1/8" = 1'-0"

Date	2018-01-16
Job No.	997
Scale	1/8" = 1'-0"
Drawn	CM
Checked	JM

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Project Title

**CABAN MIXED USE DEVELOPMENT**  
 227 - 3421 Lakeshore rd. Kelowna, BC V1Y 1B7

Drawing Number

**A3.31**

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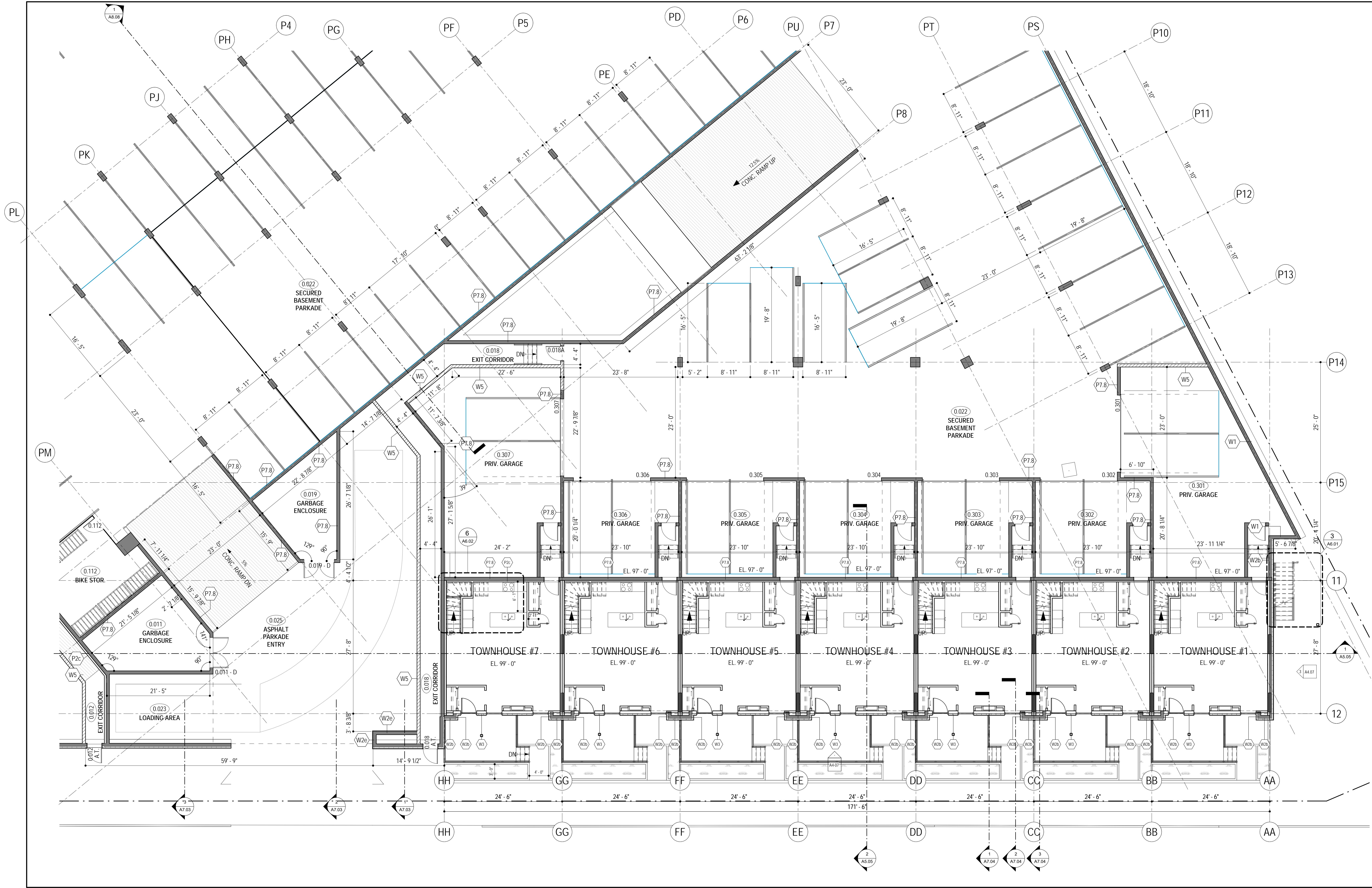
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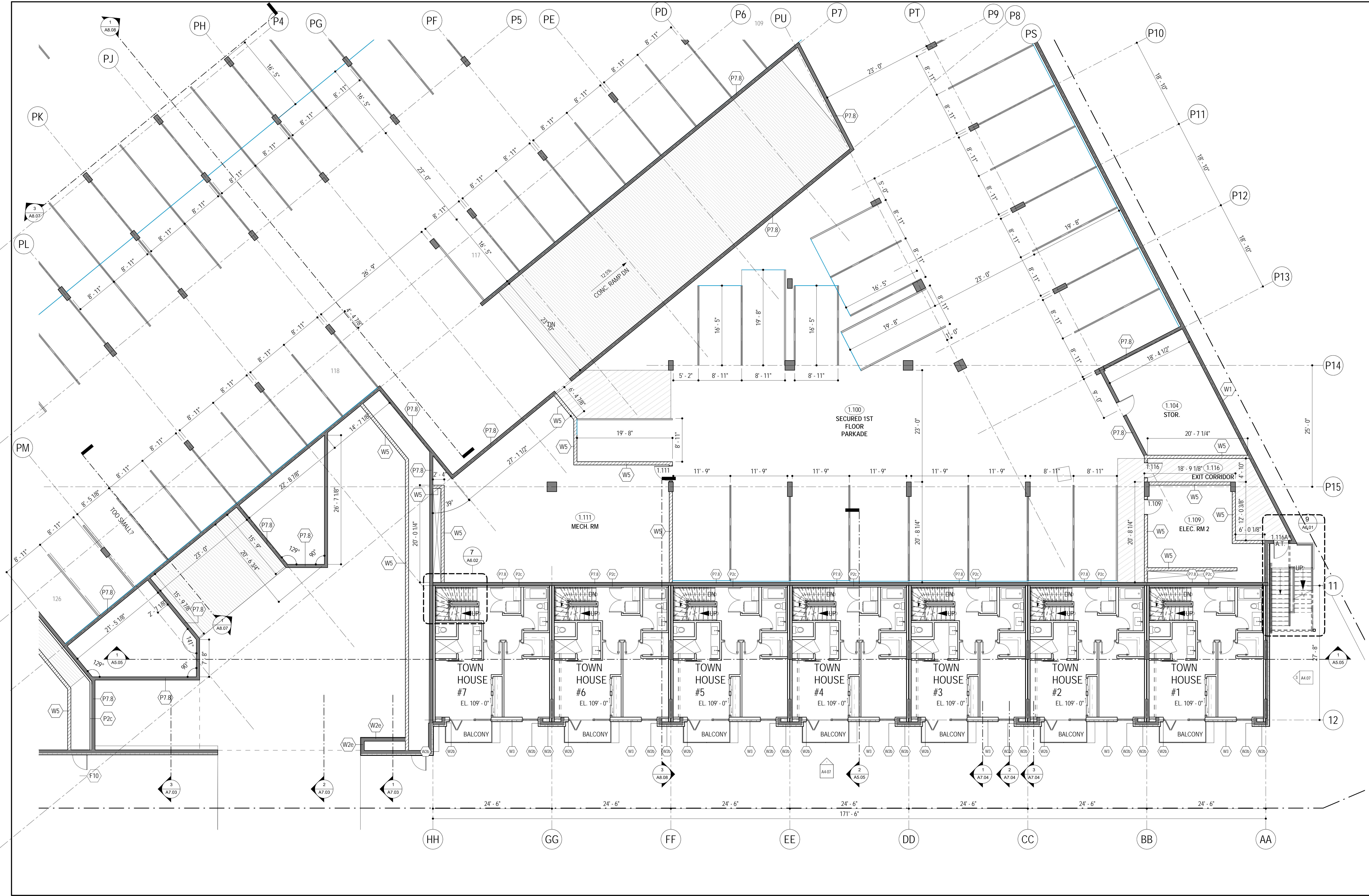
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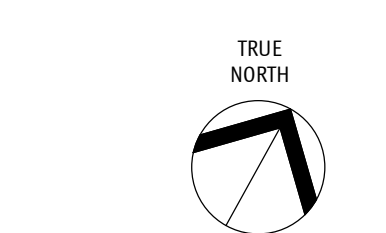
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Job No.	997
Scale	1/8" = 1'-0"
Drawn	CM
Checked	JM

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No.	Date	Revision
01	2018-01-16	OWNER REVIEW
02	2021-01-27	ISSUED FOR DEVELOPMENT PERMIT

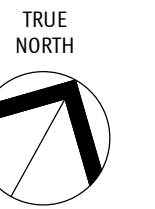
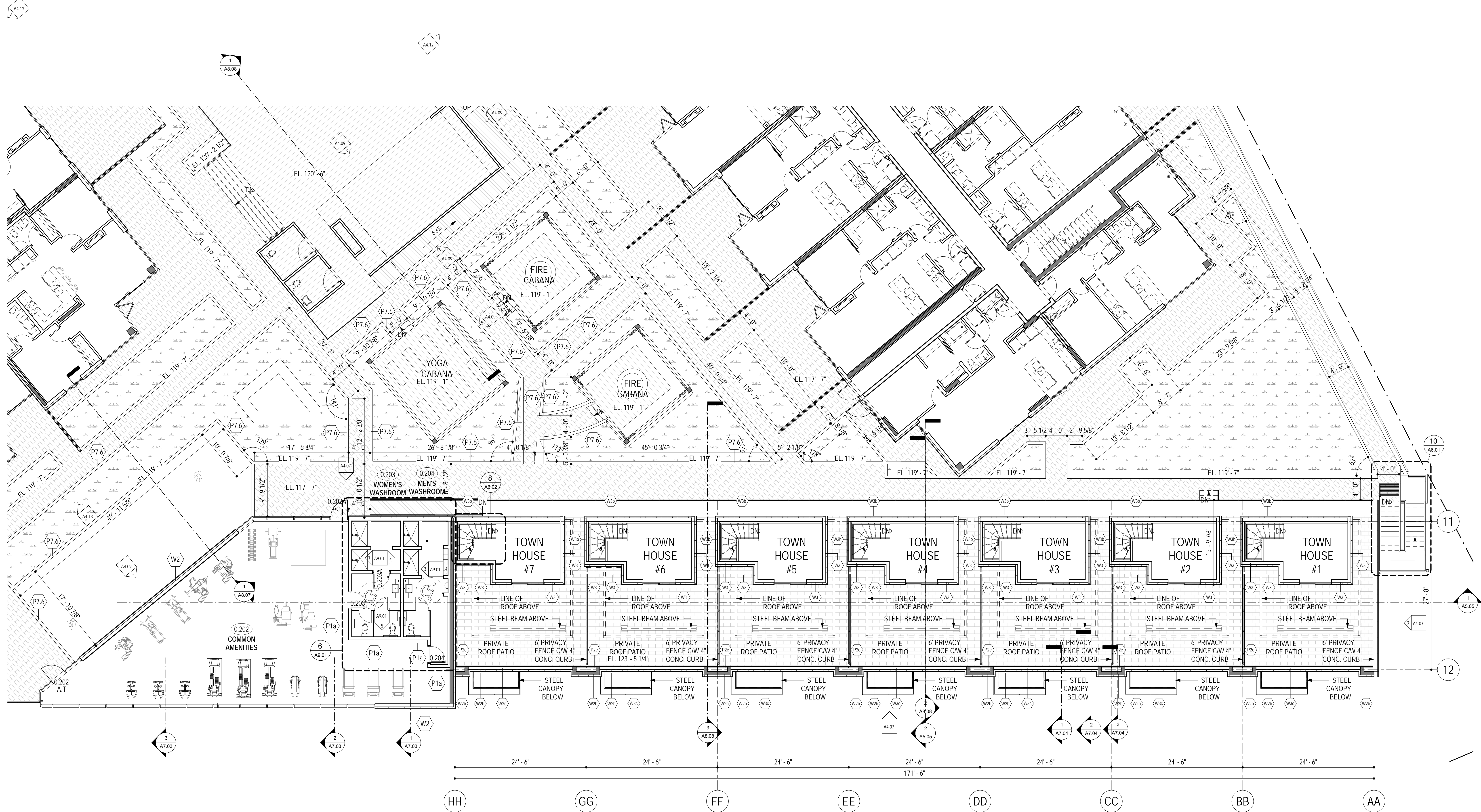
Project Title  
**CABAN MIXED USE DEVELOPMENT**  
 227 - 3421 Lakeshore rd. Kelowna, BC V1Y 1B7

Drawing Number  
**A3.33**

DRAWINGS ARE NOT TO BE SCALED.  
 ALL DIMENSIONS SHALL BE VERIFIED ON JOB

Drawing Title  
**TOWNHOUSE - 2ND FLOOR PLAN**

1/8" = 1'-0"  
 Date: 2018-01-16  
 Job No.: 997  
 Scale: 1/8" = 1'-0"  
 Drawn: CM  
 Checked: JM  
 01\_SAM Projects\01 Caban\01-02-Mixed-FR-24 2021-01-26 16:53:44



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Project Title  
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 227 - 3421 Lakeshore rd. Kelowna, BC V1Y 1B7

Drawing Number  
**A3.35**

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 ALL DIMENSIONS SHALL BE VERIFIED ON JOB

Drawing Title  
**TOWNHOUSE - ROOF DECK PLAN**

1/8" = 1'-0"

Date	2018-01-16
Job No.	997
Scale	1/8" = 1'-0"
Drawn	CM
Checked	JM

D1\_S&M\_Proposed\_CabanMixedUse-FR-24  
 2021-01-26 16:39:44

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Project Title  
**CABAN MIXED USE DEVELOPMENT**  
 227 - 3421 Lakeshore rd. Kelowna, BC V1Y 1B7

Drawing Number

**A4.01**

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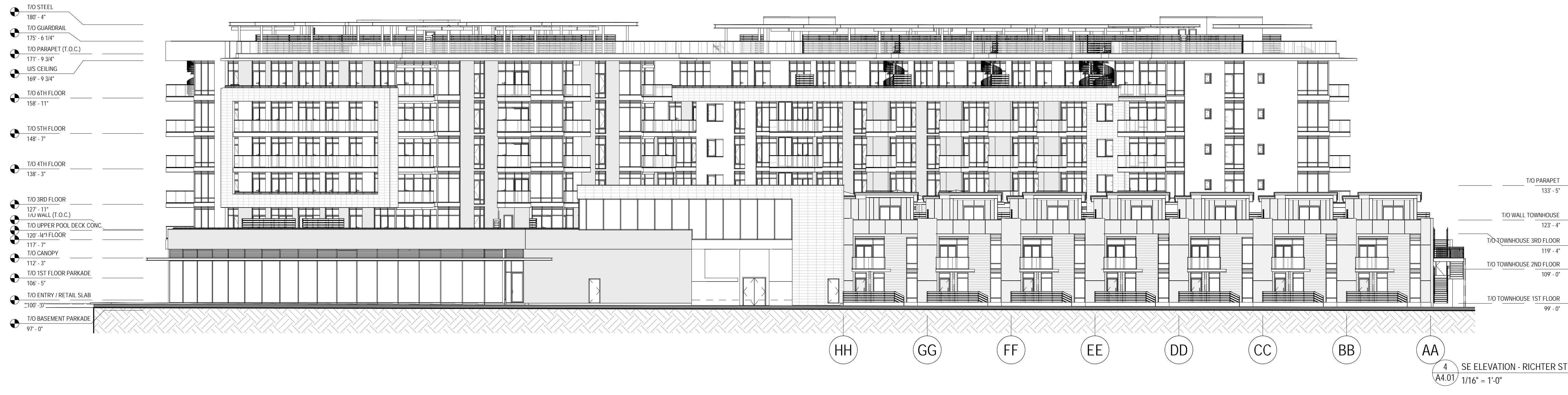
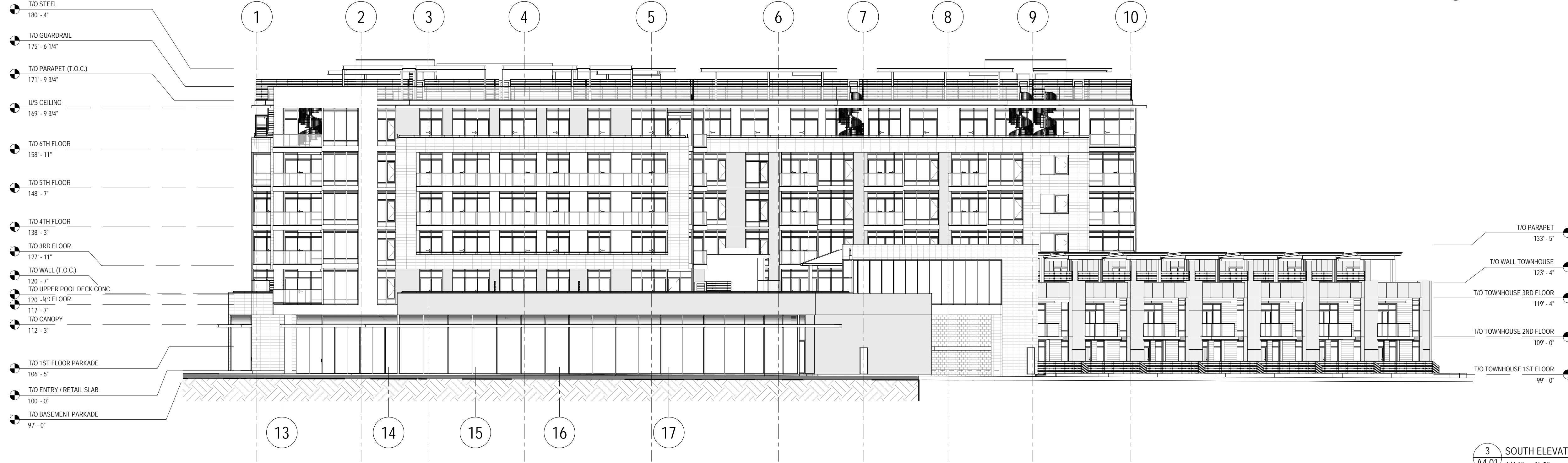
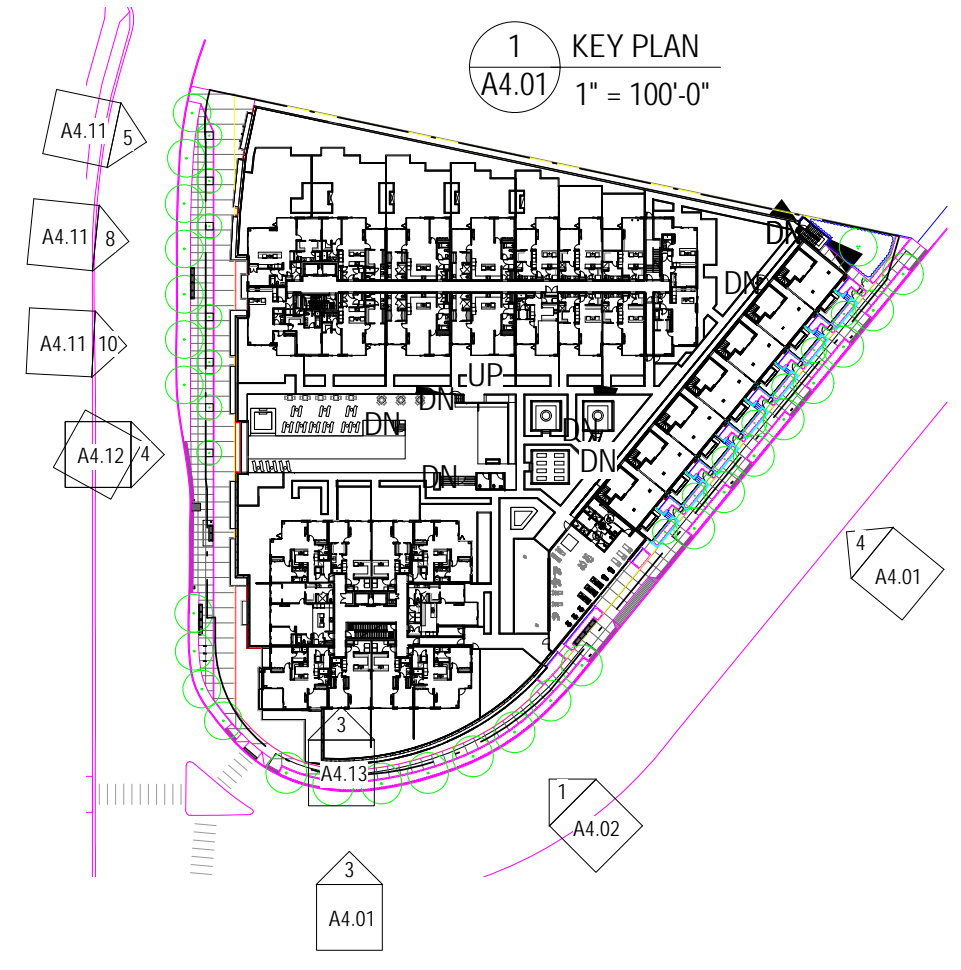
Drawing Title

**EXTERIOR ELEVATIONS**

As indicated

Date	2018-01-16
Job No.	997
Scale	As indicated
Drawn	CM
Checked	JM

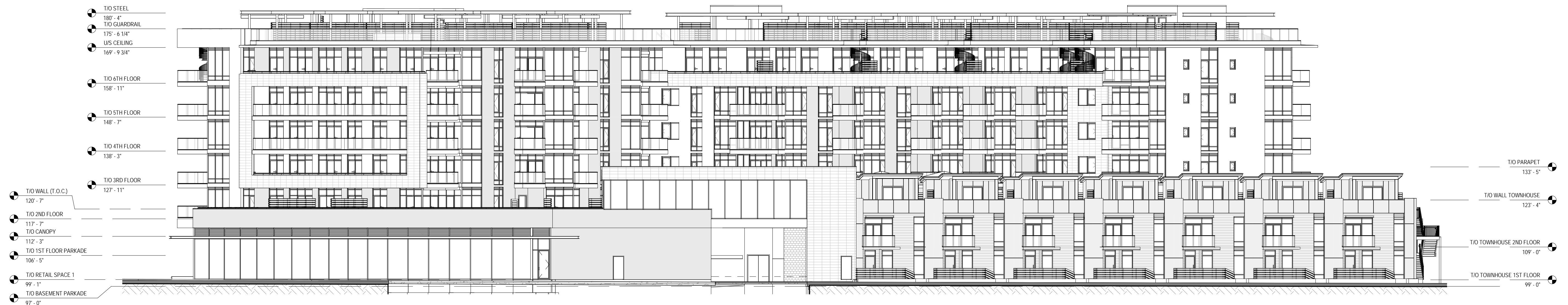
DL\_S&M Projects\01 Caban\01\01 Meikl-F&R-24  
 2021-01-26 9:20:56 AM





- T/O STEEL 180' - 4"
- T/O GUARDRAIL 175' - 6 1/4"
- T/O PARAPET (T.O.C.) 171' - 9 3/4"
- US CEILING 169' - 9 3/4"
- T/O 6TH FLOOR 158' - 11"
- T/O 5TH FLOOR 148' - 7"
- T/O 4TH FLOOR 138' - 3"
- T/O 3RD FLOOR 127' - 11"
- T/O 2ND FLOOR 117' - 7"
- T/O CANOPY 112' - 3"
- T/O 1ST FLOOR PARKADE 106' - 5"
- T/O ENTRY / RETAIL SLAB 100' - 0"

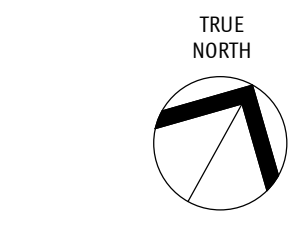
2 NORTH ELEVATION  
 1/16" = 1'-0"



- T/O STEEL 180' - 4"
- T/O GUARDRAIL 175' - 6 1/4"
- US CEILING 169' - 9 3/4"
- T/O 6TH FLOOR 158' - 11"
- T/O 5TH FLOOR 148' - 7"
- T/O 4TH FLOOR 138' - 3"
- T/O 3RD FLOOR 127' - 11"
- T/O WALL (T.O.C.) 120' - 7"
- T/O 2ND FLOOR 117' - 7"
- T/O CANOPY 112' - 3"
- T/O 1ST FLOOR PARKADE 106' - 5"
- T/O RETAIL SPACE 1 99' - 1"
- T/O BASEMENT PARKADE 97' - 0"

- T/O PARAPET 133' - 5"
- T/O WALL TOWNHOUSE 123' - 4"
- T/O TOWNHOUSE 2ND FLOOR 109' - 0"
- T/O TOWNHOUSE 1ST FLOOR 99' - 0"

1 SOUTH EAST  
 1/16" = 1'-0"



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Project Title  
**CABAN MIXED USE DEVELOPMENT**  
 227 - 3421 Lakeshore rd. Kelowna, BC V1Y 1B7

Drawing Number  
**A4.02**

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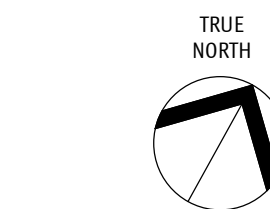
Drawing Title

**EXTERIOR ELEVATIONS**

1/16" = 1'-0"

Date	2018-01-16
Job No.	907
Scale	1/16" = 1'-0"
Drawn	CM
Checked	JM

DL\_S&M Projects\03 Caban\04\01 Caban\04\01-16\04-16-16.dwg  
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No.	Date	Revision
01	2018-01-16	OWNER REVIEW
02	2021-01-27	ISSUED FOR DEVELOPMENT PERMIT

Project Title  
**CABAN MIXED USE DEVELOPMENT**  
 227 - 3421 Lakeshore rd. Kelowna, BC V1Y 1B7

Drawing Number  
**A4.03**

DRAWINGS ARE NOT TO BE SCALED.  
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Drawing Title  
**EXTERIOR ELEVATIONS - TOWER 1**

As indicated

Date	2018-01-16
Job No.	907
Scale	As indicated
Drawn	CM
Checked	JM

DL\_S&M Projects\01 Caban\04\03 Tower 1\01-16-18.dwg  
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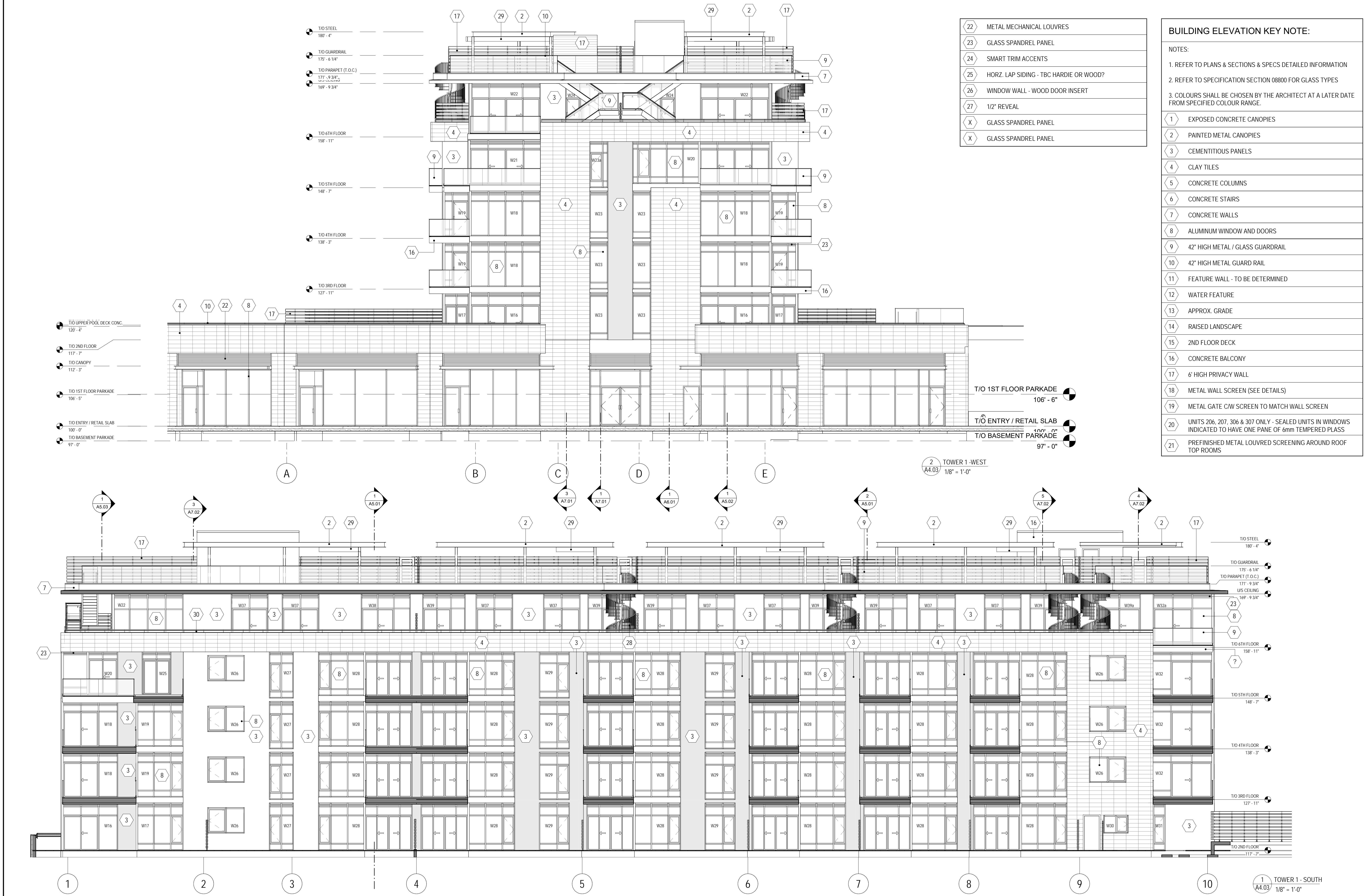
22	METAL MECHANICAL LOUVRES
23	GLASS SPANDREL PANEL
24	SMART TRIM ACCENTS
25	HORZ. LAP SIDING - TBC HARDIE OR WOOD?
26	WINDOW WALL - WOOD DOOR INSERT
27	1/2" REVEAL
X	GLASS SPANDREL PANEL
X	GLASS SPANDREL PANEL

**BUILDING ELEVATION KEY NOTE:**

NOTES:

- REFER TO PLANS & SECTIONS & SPECS DETAILED INFORMATION
- REFER TO SPECIFICATION SECTION 08800 FOR GLASS TYPES
- COLOURS SHALL BE CHOSEN BY THE ARCHITECT AT A LATER DATE FROM SPECIFIED COLOUR RANGE.

1	EXPOSED CONCRETE CANOPIES
2	PAINTED METAL CANOPIES
3	CEMENTITIOUS PANELS
4	CLAY TILES
5	CONCRETE COLUMNS
6	CONCRETE STAIRS
7	CONCRETE WALLS
8	ALUMINUM WINDOW AND DOORS
9	42" HIGH METAL / GLASS GUARDRAIL
10	42" HIGH METAL GUARD RAIL
11	FEATURE WALL - TO BE DETERMINED
12	WATER FEATURE
13	APPROX. GRADE
14	RAISED LANDSCAPE
15	2ND FLOOR DECK
16	CONCRETE BALCONY
17	6' HIGH PRIVACY WALL
18	METAL WALL SCREEN (SEE DETAILS)
19	METAL GATE C/W SCREEN TO MATCH WALL SCREEN
20	UNITS 206, 207, 306 & 307 ONLY - SEALED UNITS IN WINDOWS INDICATED TO HAVE ONE PANE OF 6mm TEMPERED PLASS
21	PREFINISHED METAL LOUVRED SCREENING AROUND ROOF TOP ROOMS





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Project Title

**CABAN MIXED USE DEVELOPMENT**  
 227 - 3421 Lakeshore rd. Kelowna, BC V1Y 1B7

Drawing Number

**A4.04**

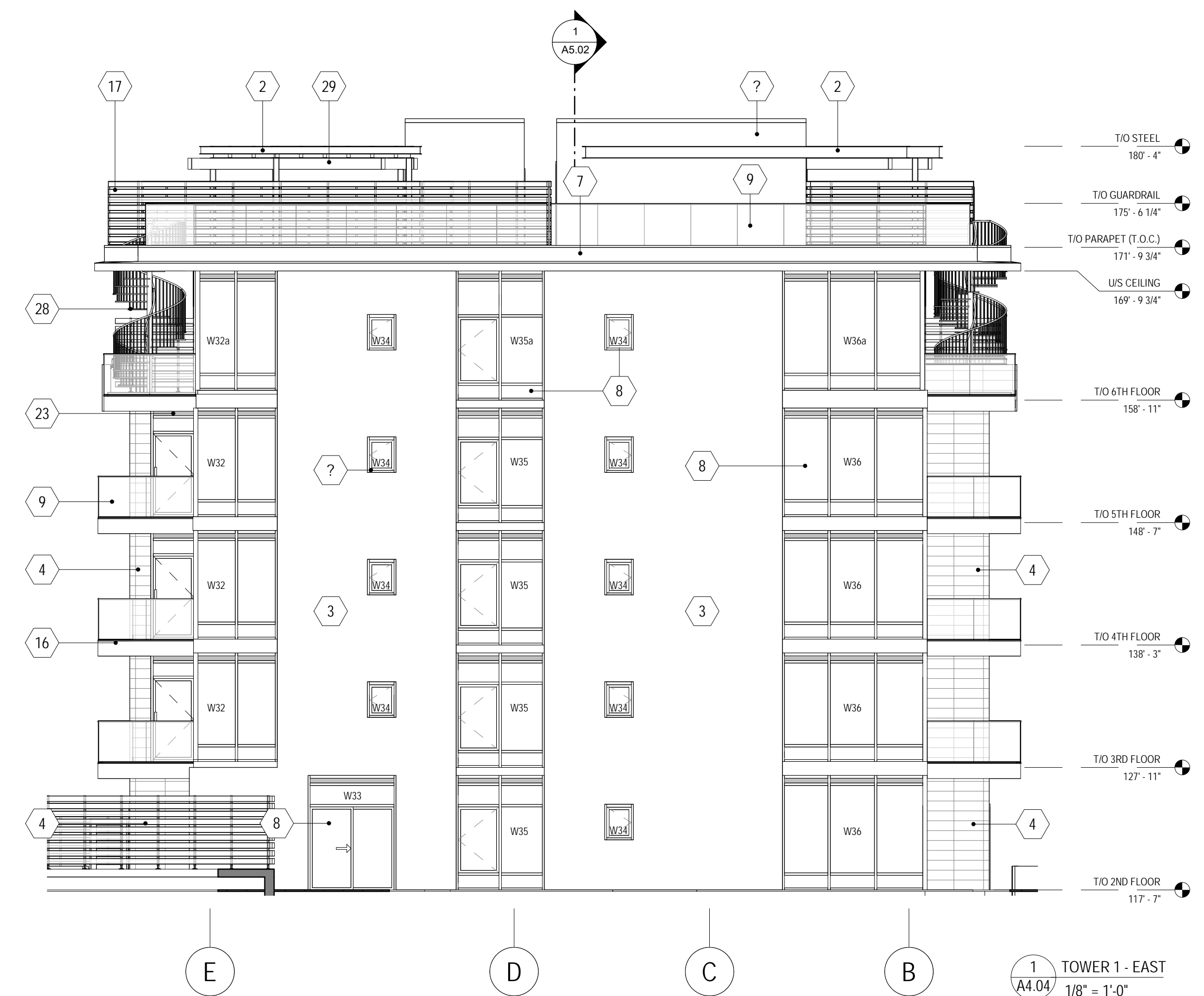
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Drawing Title

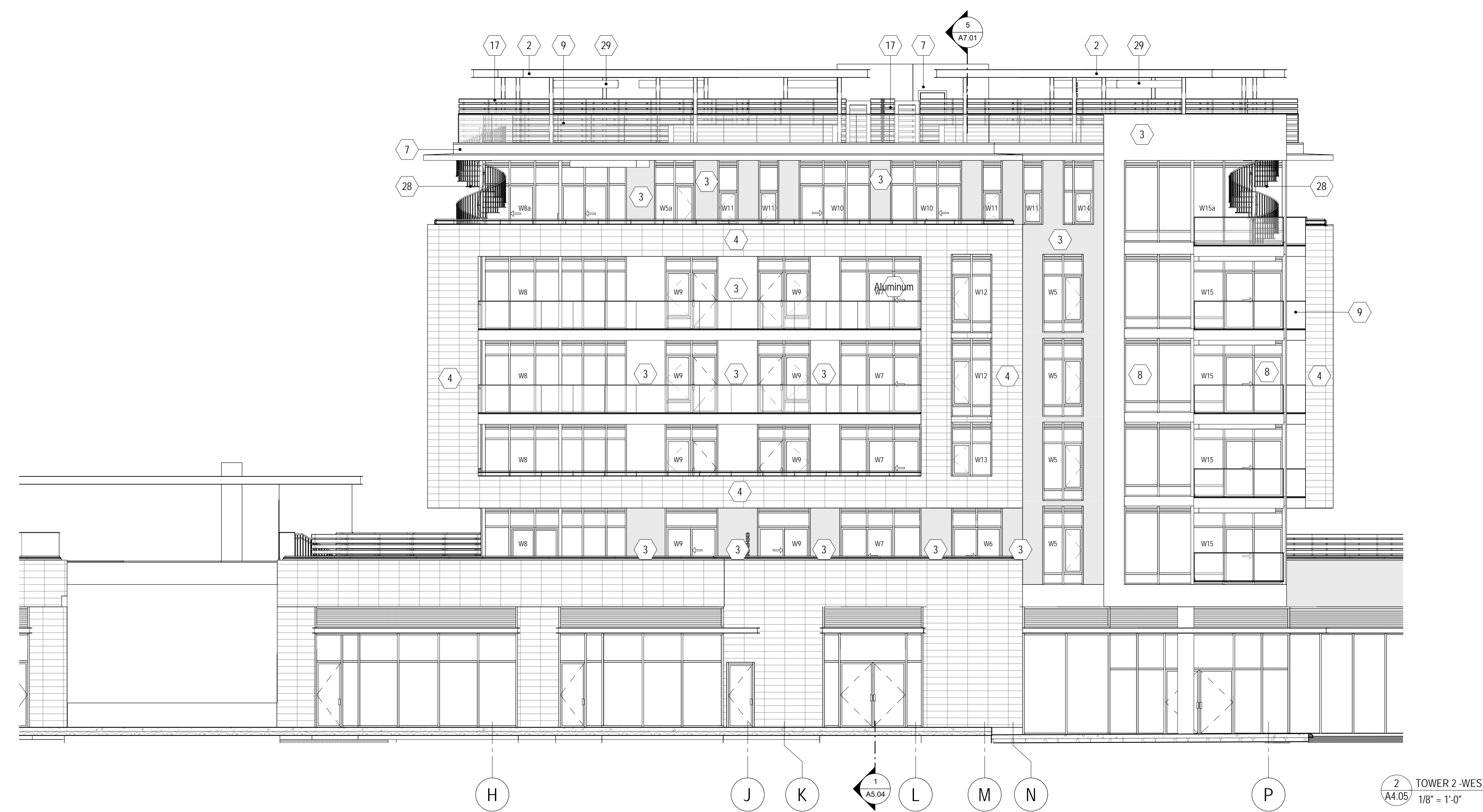
**EXTERIOR ELEVATIONS - TOWER 1**

1/8" = 1'-0"

Date	2018-01-16
Job No.	997
Scale	1/8" = 1'-0"
Drawn	CM
Checked	JM

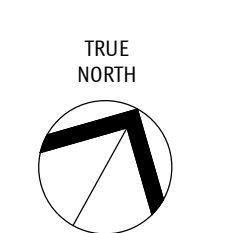






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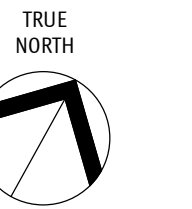
No.	Date	Revision
01	2018-01-16	OWNER REVIEW
02	2021-01-27	ISSUED FOR DEVELOPMENT PERMIT

Project Title  
**CABAN MIXED USE DEVELOPMENT**  
 227 - 3421 Lakeshore rd. Kelowna, BC V1Y 1B7

Drawing Number  
**A4.05**

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Drawing Title  
**EXTERIOR ELEVATIONS - TOWER 2**  
 1/8" = 1'-0"  
 Date: 2018-01-16  
 Job No.: 997  
 Scale: 1/8" = 1'-0"  
 Drawn: CM  
 Checked: JM  
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No.	Date	Revision
01	2018-01-16	OWNER REVIEW
02	2021-01-27	ISSUED FOR DEVELOPMENT PERMIT

Project Title

**CABAN MIXED  
 USE  
 DEVELOPMENT**  
 227 - 3421 Lakeshore rd. Kelowna, BC V1Y 1B7

Drawing Number

**A4.06**

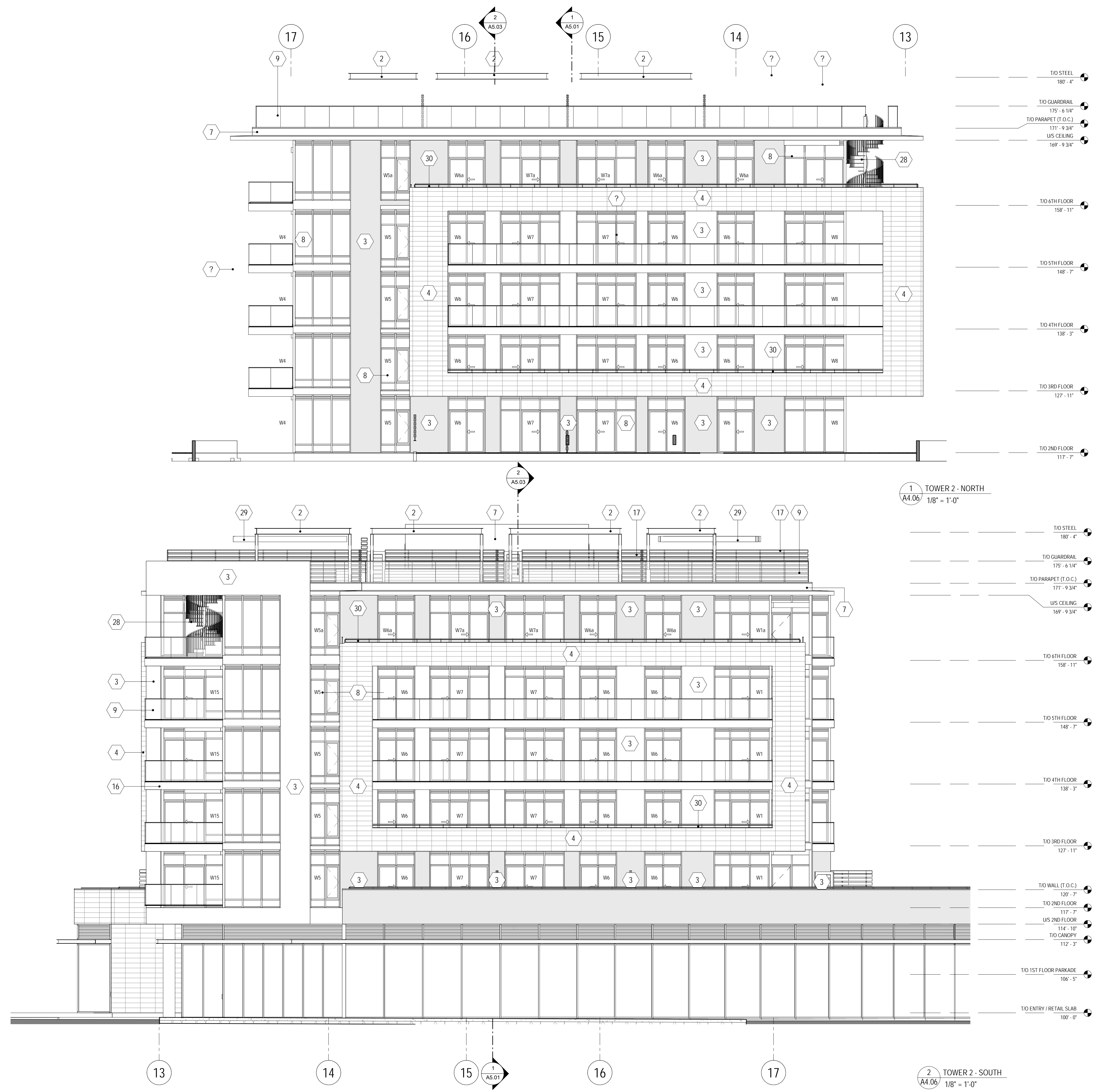
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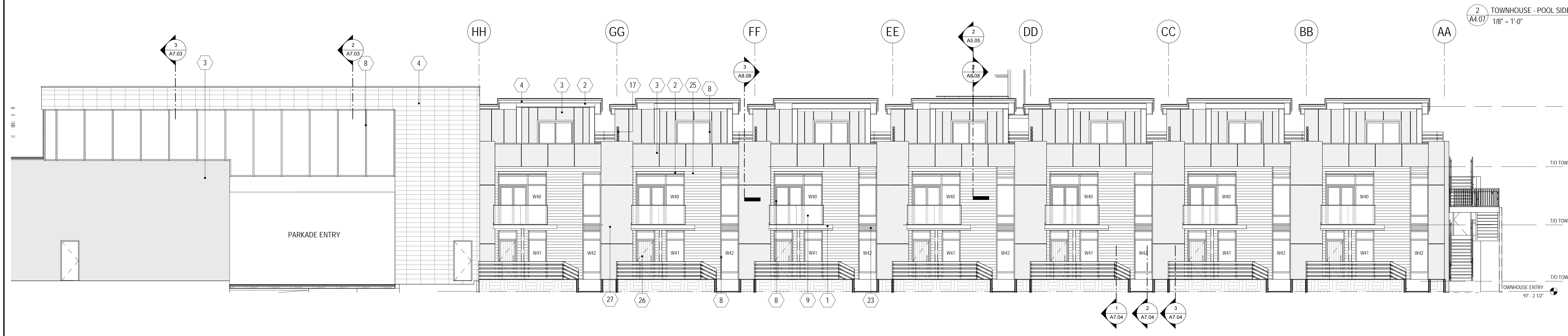
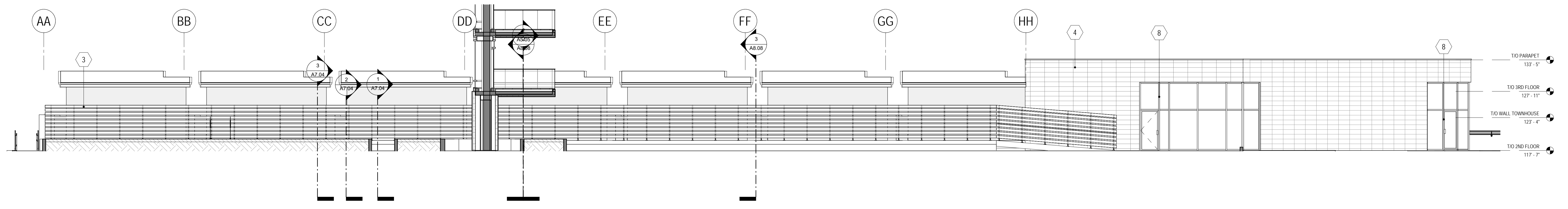
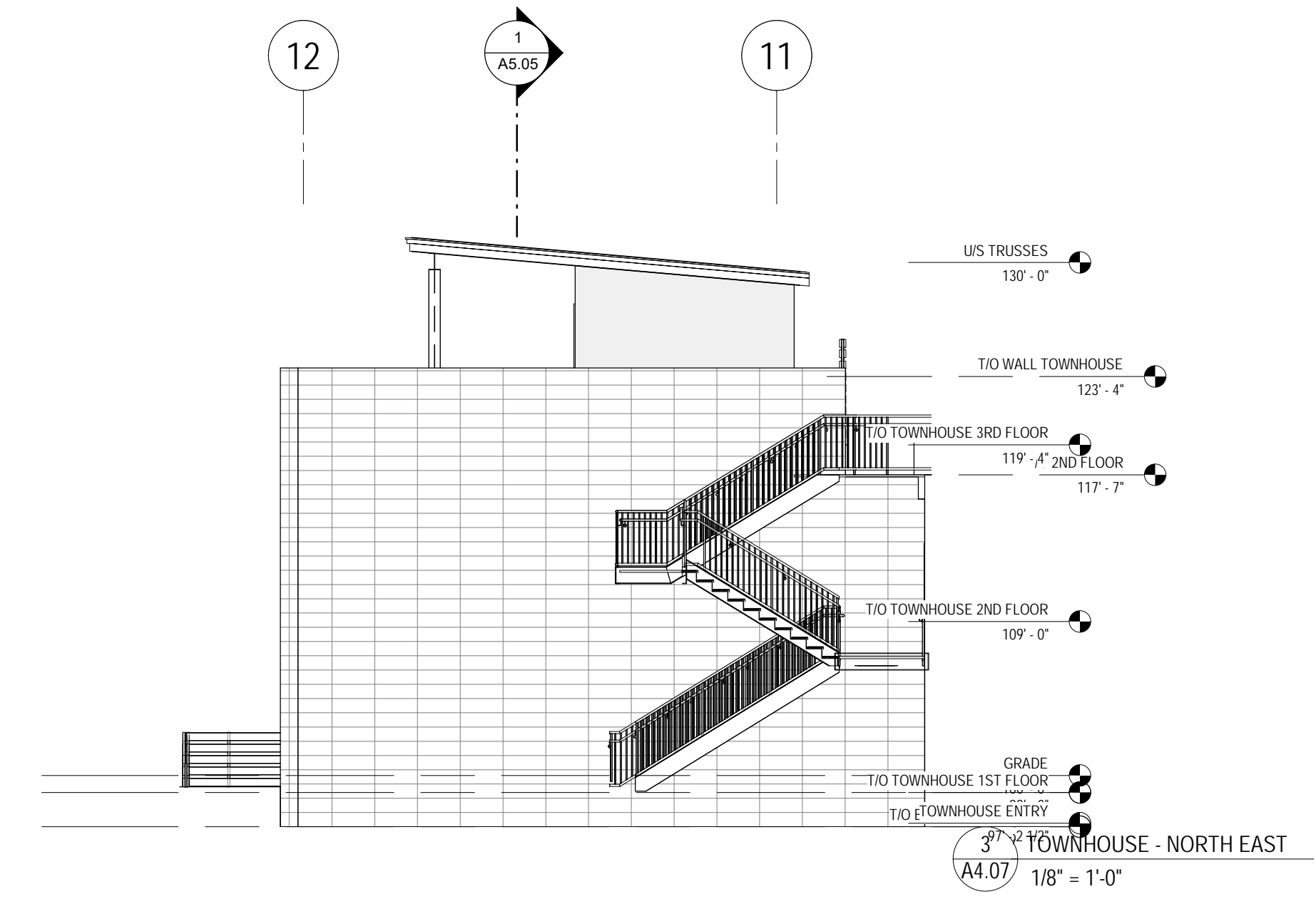
Drawing Title

**EXTERIOR ELEVATIONS -  
 TOWER 2**

1/8" = 1'-0"

Date	2018-01-16
Job No.	997
Scale	1/8" = 1'-0"
Drawn	CM
Checked	JM





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Drawing Number  
**A4.07**

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**EXTERIOR ELEVATIONS - TOWNHOUSE**

1/8" = 1'-0"  
 Date: 2018-01-16  
 Job No.: 997  
 Scale: 1/8" = 1'-0"  
 Drawn: CM  
 Checked: JM

# CABAN MIXED-USE DEVELOPMENT

## KELOWNA, BC

### LANDSCAPE DRAWINGS:

- L-0 COVER PAGE
- L-1 LANDSCAPE PLAN
- L-2 HYDROZONE PLAN
- L-3 STREETScape ELEVATIONS & SITE FEATURE IMAGES

### DEVELOPMENT PERMIT NOTES:

- A PLANT MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO MINIMUM STANDARDS ESTABLISHED IN THE LATEST EDITION OF THE CANADIAN LANDSCAPE STANDARDS, PUBLISHED BY C.L.N.A. AND C.S.L.A., AS WELL AS THE CITY OF KELOWNA LANDSCAPE STANDARDS IN BYLAW 7900.
- B THE LANDSCAPE DESIGN DESIGNATED HEREIN IS CONCEPTUAL BUT REFLECTS THE MINIMUM CITY OF KELOWNA'S FORM AND CHARACTER REQUIREMENTS.
- C PLANT MATERIAL SELECTIONS ARE CONCEPTUAL ONLY. FINAL PLANTING SELECTIONS MAY VARY DEPENDING UPON AVAILABILITY AT THE TIME OF CONSTRUCTION.
- D TREES SHALL BE INSTALLED IN DEFINED SOIL PITS OR PLANTING BED AREAS. ADEQUATE SOIL VOLUME SHALL BE PROVIDED BASED ON THE SPECIFIED TREE SPECIES AND LOCATION.
- E ALL PLANTING BEDS SHALL HAVE A MIN. OF 450mm (18") IMPORTED GROWING MEDIUM AND 75mm (3") OF COMPOSTED MULCH OR APPROVED EQUAL.
- F DECORATIVE ROCK AREAS SHALL HAVE A MIN. OF 100mm (4") OF DECORATIVE CRUSHED ROCK. COMMERCIAL GRADE LANDSCAPE FABRIC SHALL BE INSTALLED BELOW ALL DECORATIVE ROCK AREAS.
- G A HIGH EFFICIENCY IRRIGATION SYSTEM SHALL BE INSTALLED FOR ALL ORNAMENTAL LANDSCAPE AREAS AND SHALL CONFORM TO THE CITY OF KELOWNA'S IRRIGATION STANDARDS IN BYLAW 7900.

### PLANT LIST:

TREES			
Botanical Name	Common Name	Size/Spacing	Root
<i>Acer rubrum</i> 'Frank Jr.'	Redpointe maple	6cm Cal.	B&B
<i>Cercis canadensis f. alba</i> 'Royal White'	Royal White redbud	1.8m Ht. Multi-stem	B&B
<i>Ginkgo biloba</i> 'The President'	Presidential gold ginkgo	6cm Cal.	B&B
<i>Gymnocladus dioica</i> 'Espresso'	Espresso Kentucky coffee tree	6cm Cal.	B&B
<i>Maackia amurensis</i> 'Summertime'	Summertime amur maackia	6cm Cal.	B&B
<i>Magnolia</i> 'Butterflies'	Butterflies magnolia	6cm Cal.	B&B
SHRUBS			
Botanical Name	Common Name	Size/Spacing	Root
<i>Erica carnea</i> 'Myretoun Ruby'	Myretoun Ruby winter heather	#01 Cont./0.6m O.C.	Potted
<i>Ilex crenata</i> 'Northern Beauty'	Northern Beauty Japanese holly	#03 Cont./1.2m O.C.	Potted
<i>Yucca filamentosa</i> 'Excalibur'	Excalibur yucca	#01 Cont./0.9m O.C.	Potted
PERENNIALS			
Botanical Name	Common Name	Size/Spacing	Root
<i>Acanthus spinosus</i>	Bear's beeches	#01 Cont./0.9m O.C.	Potted
<i>Agastache rupestris</i>	Threadleaf giant hyssop	#01 Cont./0.45m O.C.	Potted
<i>Alchemilla mollis</i>	Lady's mantle	#01 Cont./0.75m O.C.	Potted
<i>Anemone x 'Honorine Jobert'</i>	Honorine Jobert windflower	#01 Cont./0.6m O.C.	Potted
<i>Echinacea pallida</i>	Pale purple coneflower	#01 Cont./0.45m O.C.	Potted
<i>Heuchera micrantha</i>	Coral bells	#01 Cont./0.45m O.C.	Potted
<i>Perovskia atriplicifolia</i> 'Little Spire'	Little Spire Russian sage	#01 Cont./0.6m O.C.	Potted
<i>Satureja montana</i>	Winter savory	#01 Cont./0.45m O.C.	Potted
GRASSES			
Botanical Name	Common Name	Size/Spacing	Root
<i>Bouteloua gracilis</i>	Blue gramma grass	#01 Cont./0.6m O.C.	Potted
<i>Calamagrostis brachytricha</i>	Reed grass	#01 Cont./0.9m O.C.	Potted
<i>Hakonechloa macra</i> 'Nicolae'	Japanese forest grass	#01 Cont./0.6m O.C.	Potted
<i>Sesleria autumnalis</i>	Autumn moor grass	#01 Cont./0.45m O.C.	Potted
BULBS			
Botanical Name	Common Name	Size/Spacing	Root
<i>Allium sphaerocephalon</i>	Drumstick allium	0.45m O.C.	Bulbs
<i>Narcissus</i> 'Geranium'	Geranium tazetta daffodil	0.3m O.C.	Bulbs
<i>Narcissus</i> 'Gigantic Star'	Gigantic Star large-cupped daffodil	0.15m O.C.	Bulbs
<i>Narcissus</i> 'Mt. Hood'	Mount Hood trumpet daffodil	0.15m O.C.	Bulbs
<i>Narcissus</i> 'Pink Parasol'	Pink Parasol trumpet daffodil	0.15m O.C.	Bulbs
<i>Narcissus</i> 'Rijnveld's Early Sensation'	Rijnveld's Early Sensation trumpet daffodil	0.15m O.C.	Bulbs



- LEGEND:**
- ▲ STREET LEVEL PUBLIC ENTRY / EXIT
  - ▲ STREET LEVEL PRIVATE ENTRY / EXIT
  - ▲ STREET LEVEL PARKADE ENTRY / EXIT
  - C.I.P. CONCRETE PAVING
  - CONCRETE UNIT PAVERS (TYPE 1)
  - CONCRETE UNIT PAVERS (TYPE 2)
  - ROCK MULCH MAINTENANCE EDGE
  - DECIDUOUS TREE PLANTING
  - ORNAMENTAL PLANTING AREA



L1



- LEGEND:**
- MEDIUM WATER USE
  - UNWATERED PERVIOUS AREAS (ROCK MULCH)



L2

**HYDROZONE PLAN**

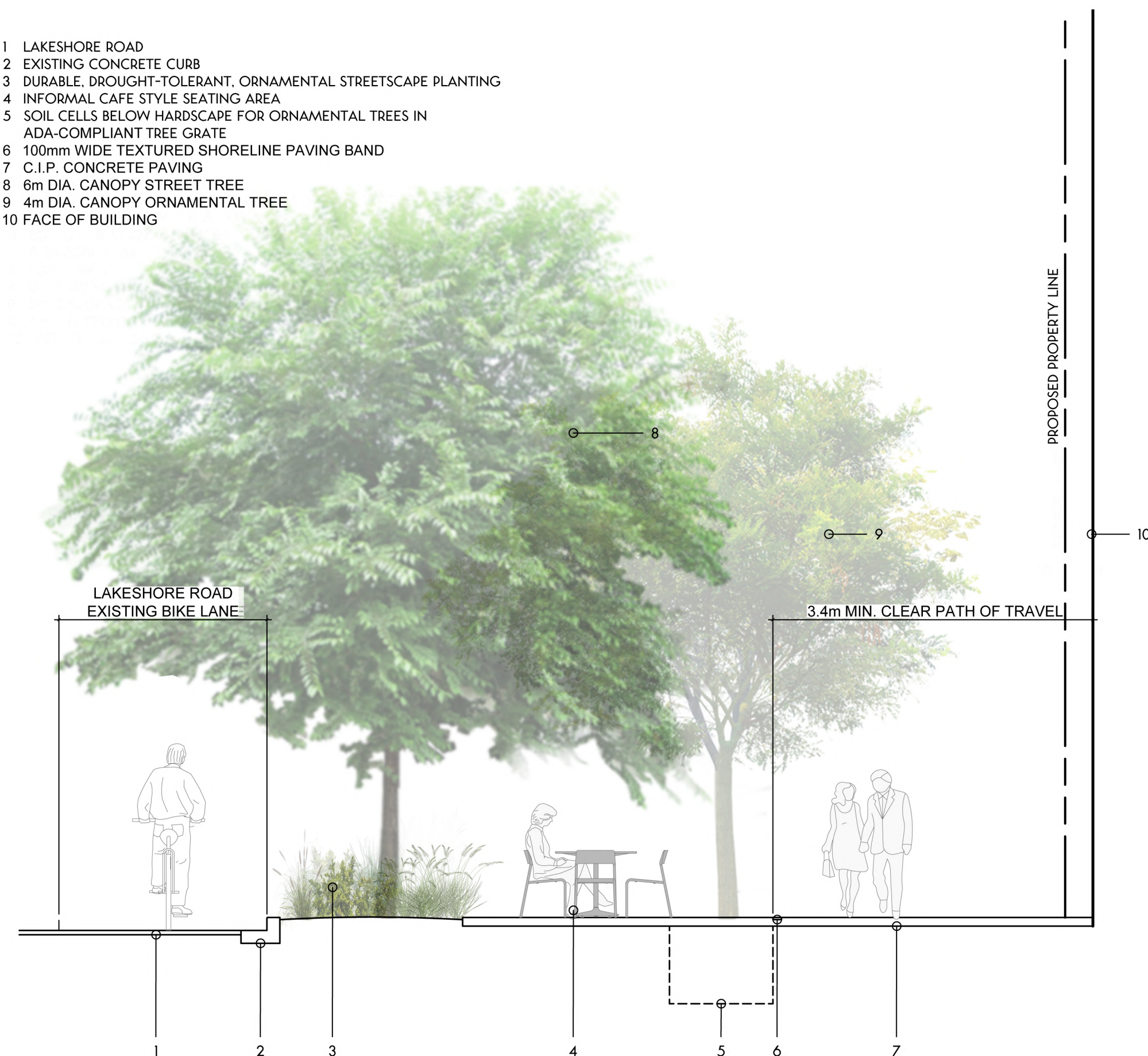
CABAN MIXED-USE DEVELOPMENT | KELOWNA, BC

NOT FOR CONSTRUCTION

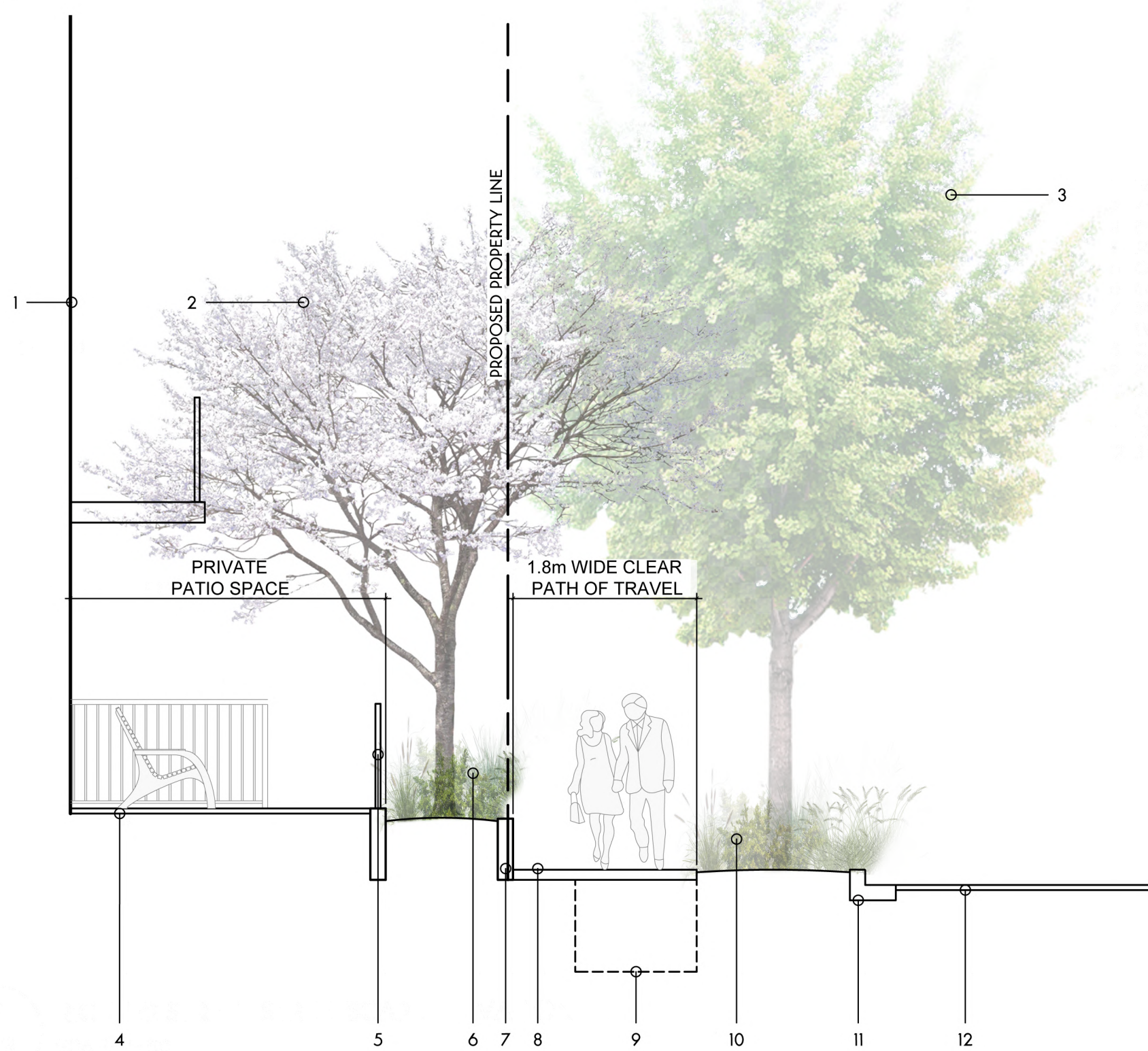
ISSUED FOR DEVELOPMENT PERMIT APPLICATION JANUARY 22, 2021



- 1 LAKESHORE ROAD
- 2 EXISTING CONCRETE CURB
- 3 DURABLE, DROUGHT-TOLERANT, ORNAMENTAL STREETSCAPE PLANTING
- 4 INFORMAL CAFE STYLE SEATING AREA
- 5 SOIL CELLS BELOW HARDSCAPE FOR ORNAMENTAL TREES IN ADA-COMPLIANT TREE GRATE
- 6 100mm WIDE TEXTURED SHORELINE PAVING BAND
- 7 C.I.P. CONCRETE PAVING
- 8 8m DIA. CANOPY STREET TREE
- 9 4m DIA. CANOPY ORNAMENTAL TREE
- 10 FACE OF BUILDING



1 LAKESHORE ROAD STREETSCAPE ELEVATION  
L-3 SCALE 1:50



- 1 FACE OF BUILDING
- 2 4m DIA. MULTI-STEM DECIDUOUS TREE
- 3 8m DIA. CANOPY STREET TREE
- 4 CONCRETE UNIT PAVERS (TYPE I)
- 5 GUARDRAIL
- 6 ORNAMENTAL PLANTING
- 7 500mm HEIGHT C.I.P. CONCRETE PLANTER WALL
- 8 C.I.P. CONCRETE SIDEWALK
- 9 SOIL CELLS BELOW HARDSCAPE
- 10 DURABLE, DROUGHT-TOLERANT, ORNAMENTAL STREETSCAPE PLANTING
- 11 EXISTING CONCRETE CURB
- 12 RICHTER STREET

2 RICHTER STREET STREETSCAPE ELEVATION  
L-3 SCALE 1:50

SITE FEATURE IMAGES:



LANDSCAPE FORMS MULTIPLICITY BIKE RACK



LANDSCAPE FORMS MULTIPLICITY BENCH



ADA - COMPLIANT TREE GRATE TO MATCH PANDOSY VILLAGE STANDARD



PANDOSY VILLAGE STANDARD PAVING PATTERN