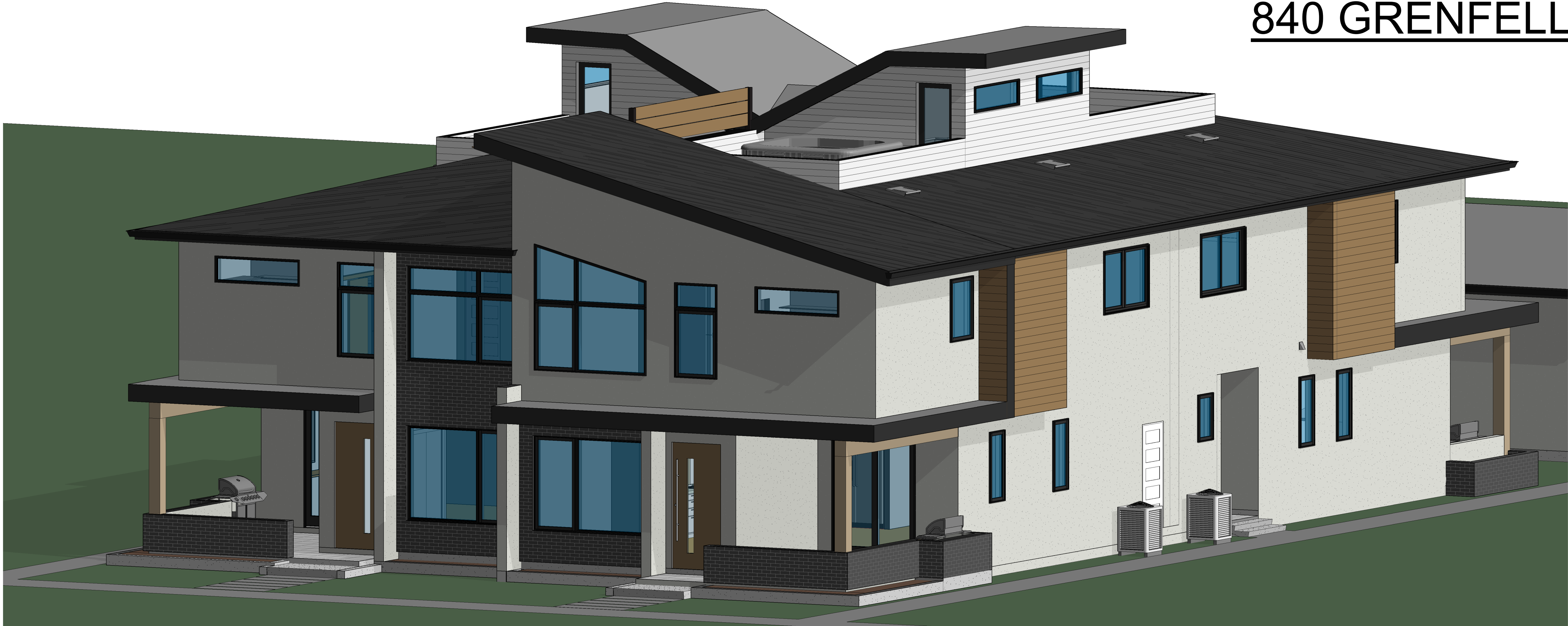


4-PLEX 840 GRENFELL AVE.



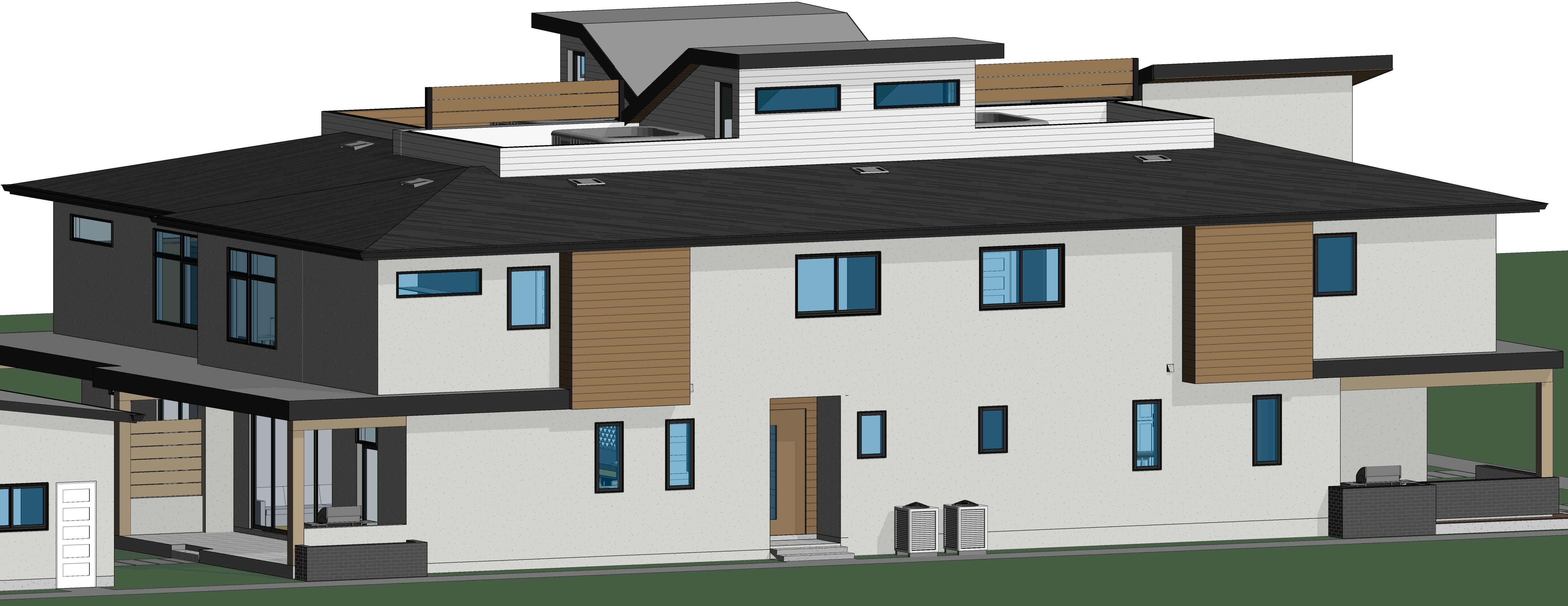
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Issue Schedule		
Issue Number	Description	Date (dd.mm.yy)
1	Prelim Site Calcs	12.03.21
2	Concept Review	23.03.21
3	Development Permit	07.04.21
4	Development Permit	21.04.21



③ Isometric- Front

SHEET LIST		
Sheet Number	Sheet Name	Current Revision Date
A0	TITLE & 3D VIEWS	21.04.21
A0.1	3D VIEWS	21.04.21
A0.2	SITE PLAN	21.04.21
A1.0	ELEVATIONS & SCHEDULES	21.04.21
A1.1	ELEVATIONS	21.04.21
A1.2	GARAGE ELEVATIONS	21.04.21
A2.1	PLANS	21.04.21
A2.2	PLANS	21.04.21
A2.3	PLANS	21.04.21
A2.4	GARAGE PLANS	21.04.21
A3.0	SECTIONS & DETAILS	21.04.21
A3.1	SECTIONS & DETAILS	21.04.21
A3.2	SECTIONS & DETAILS	21.04.21
A3.3	SECTIONS & DETAILS	21.04.21
A3.4	SECTIONS & DETAILS	21.04.21



① Isometric- Rear

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4-Plex

840 Grenfell Ave.
Plan 9138, Lot 5
Kelowna, BC

TITLE & 3D VIEWS

SCALE:
AS NOTED

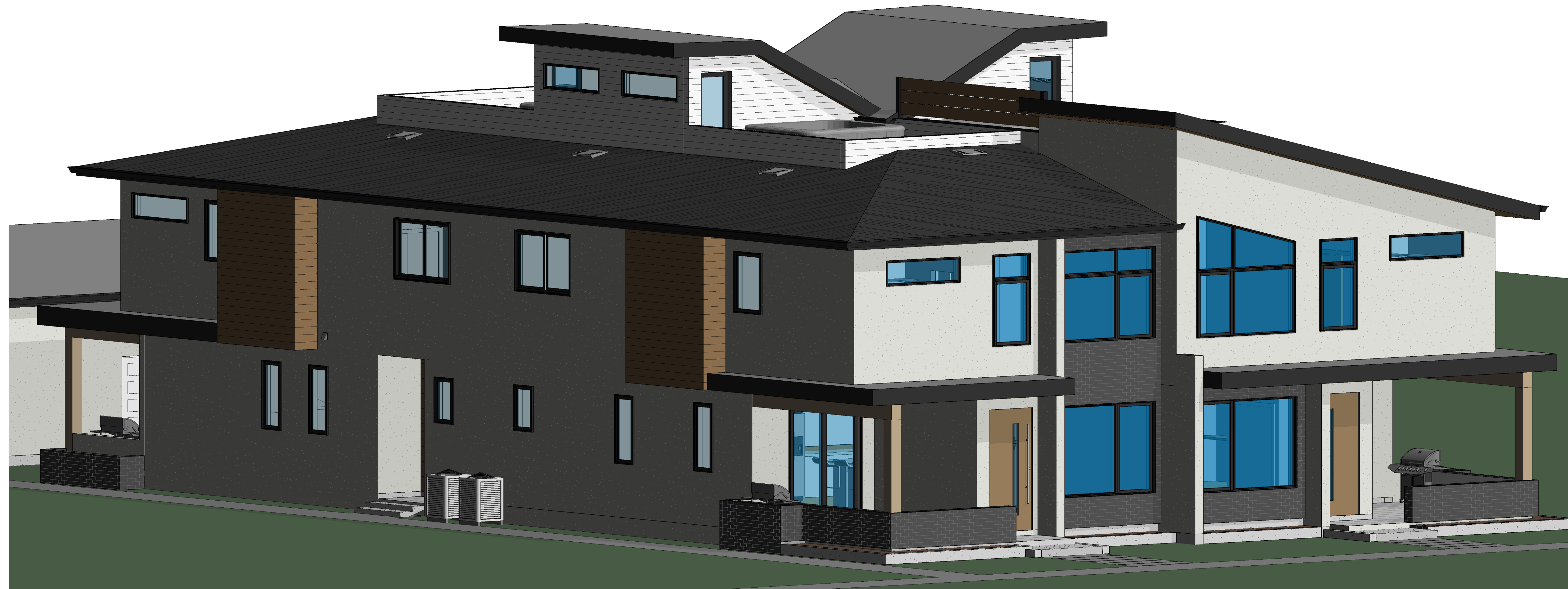
DRAWN BY: BV	CHECKED BY: BV
DATE: 21.04.21	PROJECT: 2018-015

A0

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Issue Schedule

Issue Number	Description	Date (dd.mm.yy)
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4	Development Permit	21.04.21



① Isometric- Front 2



② Isometric- Rear 2

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840 Grenfell Ave.
Plan 9138, Lot 5
Kelowna, BC

3D VIEWS

SCALE:
AS NOTED

DRAWN BY: BV
CHECKED BY: BV

DATE: 21.04.21
PROJECT: 2018-015

A0.1

- GENERAL NOTES**
- The following notes are to be included as part of the drawings.
 - The General Contractor or the Owner/builder shall verify all dimensions, details, structural materials and conditions shown on the drawings or noted in the specifications.
 - The General Contractor or Owner/builder shall resolve any problems arising out of any variances from the drawings and specifications, or from conditions encountered at the job site. Such resolution shall be the sole responsibility of the General Contractor or Owner/builder.
 - The Designer shall not be responsible for any departure from the drawings and Specifications authorized by any inspection authority during the course of construction.
 - The General Contractor or Owner/builder shall ensure that all work conform to the current Building Code adopted by the authorities having jurisdiction or local Building Codes and By-laws that may take precedence.
 - The General Contractor or Owner/builder shall be responsible for correct placement of this building on the site. Any pre-existing structures must be surveyed prior to construction. The foundation must be surveyed post foundation construction.
 - The Designer shall not be responsible for site conditions such as soil bearing capacity, depths of water tables or buried structures. A geotechnical engineer registered in the province of British Columbia may be required to determine such conditions per the requirements of the authorities having jurisdiction.
 - All work shall be equal in all respects to good building practice.
 - Written dimensions take precedence over scaled drawings.
 - Construction loads on the structure caused by interim storage of materials or use of equipment will not be allowed to exceed the design loads.
 - These drawings are not to be scaled.

- ERRORS AND OMISSIONS**
- The Designer makes every effort to provide complete and accurate home plans. This office assumes no liability for any errors or omissions that may affect construction.
 - Should any discrepancies be found on this set of drawings, please advise our office at your earliest convenience.

- STRUCTURAL DESIGN CRITERIA**
- Assumed roof design snow load (live + dead) = 35 psf (1.68 kN/m²)
 - Assumed soil bearing capacity = 2000 psf (95.76 kN/m²)
 - Concrete foundation walls and slabs-on-grade shall have a minimum compressive strength of 3000 psi (20 MPa) at 28 days.
 - All reinforcing bars shall be billet steel complying with CSA-G30.10.
 - Any Structural Engineer's drawings prepared take precedence over these drawings.
 - The qualified professional engineer must be registered in the province of British Columbia and in good standing with the Engineering Association of BC.
 - If there is a Structural Engineering involved, they must provide schedules for their design and are responsible for their own design and inspections.
 - If there is no Structural Engineering involved, it is the responsibility of the authority having jurisdiction to confirm all structural design criteria.

- FOUNDATION**
- Foundations shall be a minimum of 8" thick insulated concrete (exceptions noted) or ICF on solid undisturbed bearing soil or pre-engineered soil approved by a geotechnical engineer certified in the province of British Columbia and below a frost line of 2'-0" below grade.
 - Basement foundation walls shall not be backfilled until:
 - Concrete has reached its specified 28 day strength.
 - Structural floor framing, including subfloor, required to support the walls is complete and fully nailed and anchored.
 - Foundation wall heights may require adjustment to suit site conditions.
 - All concrete and masonry foundation walls exceeding limits specified in the current Building Code require engineering.
 - All foundation walls 24" (600mm) and higher shall have a minimum of 1- 1/2" (12mm) reinforcing bar centered on wall and located 3" (75mm) from the top of wall.
 - Corner reinforcing to be lapped a minimum 24" (600mm).
 - Provide minimum side clear concrete cover of 1 1/2" (38mm).
 - Provide minimum bottom clear concrete cover of 3" (76mm) cast against soil.
 - The Contractor shall examine all applicable drawings for locations of embedded items before placing concrete.
 - Perimeter drainage shall be installed where required to the approval of local authorities.

- WOOD FRAME CONSTRUCTION:**
- Dimensions are taken from outside face of exterior wall sheathing to centerline of interior wall studs. Face of exterior sheathing to be flush with outside face of foundation wall. Exceptions noted.
 - All studs, plates, backing, blocking and bridging to be No. 2 SPF or better.
 - All joists, rafters, beams and lintels to be No. 2 SPF or better. Exceptions noted.
 - Floor joists shall be doubled under all non-loadbearing partitions parallel to the joists.
 - Joists are to be placed to accommodate heating, plumbing and other services.
 - All lintels to be 2"x10" (2-38x253) or pre-engineered lintels. Exceptions noted.
 - Wood in contact with concrete to be dampproofed with 45 lb tar saturated felt, 6 mil polyethylene.
 - All wood plates are to be anchored to foundation with 12 mm (1/2") anchor bolts with spacing not exceeding 1800 mm or (6'-0") O.C. Unless noted otherwise by the structural engineer of record. Exceptions noted.
 - Exterior wood plates are to be level and sealed at contact with concrete foundation.
 - Cross-bridging for floor joists and roof joists shall be 38x38 (2"x2") diagonal type wherever possible. Use solid blocking with TJI's.
 - Cross-bridging rows shall be installed at mid-span for joist spans exceeding 2100 mm (7'-0") or at 2100 mm (7'-0") maximum, unless strapping or sheathing is applied to the underside of joists.
 - Roof trusses may require an engineer's certificate. For pre-engineered trusses, a certificate must be obtained from the truss fabricator.
 - Caulk under all exterior door & window frames and at both sides of exposed masonry chimneys.
 - Caulk under all base plates at exterior walls.
 - Junctions between the floor to rim joist & rim joist to foundation must be sealed.

- STEEL CONSTRUCTION:**
- All structural steel design & construction must be sealed & approved by a Structural Engineer registered in the province of British Columbia.
 - Fabrication, erection, structural design and detailing of all structural steel and connectors shall be in accordance with CSA-S16-09. Steel decking and metal studs shall be designed, fabricated and installed in accordance with CSA-S16-09 (R2012) and specifications of the manufacturer. Shop drawings shall be sealed by a qualified professional engineer registered in the province of British Columbia.

- DECK AND PORCH CONSTRUCTION:**
- All framing to be No. 2 SPF or better and #1 ACQ pressure treated lumber. Exceptions noted.
 - Girders for floor joists to be a min. 2-ply 2x10 unless noted otherwise. Girders shall be either bolted to posts w/ 1/2" dia. galvanized bolts or anchored into concrete pier.
 - All joists to have blocking at 8'-0" o/c.
 - all ledgers attached to house to have a flashing barrier, lapping behind the siding, between the house and ledger. Ledger shall be bolted to the building with 1/2" dia. galvanized bolts.
 - All footings for posts and piers to be below local frost line. Piers shall extend a minimum of 6" above grade or per plan.
 - All framing material to have appropriate galvanized hangers and anchors.

- INSULATION, VENTILATION, AND SEALING:**
- Minimum effective insulation requirements (HRV not installed):
 - 1.1 Walls above grade: RSI 3.08 (R-17.5)
 - 1.2 Walls below grade: RSI 2.98 (R-16.9)
 - 1.3 Roof & ceiling / [cathedral & flat]: RSI 8.67 (RSI 4.67) (R-50 / [R-28])
 - 1.4 Floors Above Unheated Space RSI 4.67 (R-26.5)
 - 1.5 Under floors above frost line: RSI 1.96 (R-11)
 - 1.6 Heated floors: RSI 2.32 (R-13.2)
 - Minimum effective insulation requirements (HRV installed):
 - 2.1 Walls above grade: RSI 2.29 (R-16.86)
 - 2.2 Walls below grade: RSI 2.98 (R-16.86)
 - 2.3 Roof & ceiling / [cathedral & flat]: RSI 6.91 / [RSI 4.67] (R-39.23 / [R-28])
 - 2.4 Floors Above Unheated Space RSI 4.67 (R-26.5)
 - 2.5 Under floors above frost line: RSI 1.96 (R-11)
 - 2.6 Heated floors: RSI 2.32 (R-13.2)
 - Sealant shall be provided where required to prevent the entry of water into the structure.
 - Sealant shall be provided at vertical joints between different cladding materials unless the joint is suitably lapped or flashed to prevent the entry of rain.
 - 6 mil polyethylene vapour barrier shall be installed on the warm side of insulation.
 - Flexible sheet air barrier materials require all joints to be lapped minimum of 50mm (2"), sealed, structurally supported. All sealants must be non-hardening. Vapour barrier tape is recommended to be applied to all joints additionally, even if not required at joint.
 - Windows, Doors, and Skylights shall be sealed to vapour & air barriers.
 - Sealants shall be applied between window frames or trim and the exterior cladding or masonry per British Columbia Building Code 9.27.4. or an Envelope Engineer specifications.
 - Poly hats are required on exterior walls and ceilings for electrical boxes and pot lights. Which must be sealed to the vapour/air barrier.
 - Attic hatches and all electrical penetrations into the attic space along any gaps, spaces, penetrations, irregularities that could inhibit vapour/air leakage must be sealed.
 - Foundation wall insulation to be 3" XPS (R15) of rigid insulation on outside face of concrete, both sides of ICF or min. 1" EPS rigid insulation between a batt filled furring wall & foundation wall.
 - Ceiling insulation is blown cellulose insulation in attic/flat trusses and Sprayed polyurethane foam, medium density closed cell (CAN/ULC S705.1) in floors/cathedral ceilings.
 - Provide a baffle of air space (equal to soffit venting area) between insulation and roof sheathing at exterior wall line.
 - All walls and ceilings between residential spaces and garages or carports shall be insulated.
 - Insulation requirements may vary with heating systems and with local conditions. Verify with local authorities.

- INSULATION, VENTILATION, AND SEALING:**
- All roof spaces shall be ventilated with soffit, roof or gable vents, or a combination of these equally distributed between the top of roof space and soffits. Unless Sprayed polyurethane foam, medium density closed cell (CAN/ULC S705.1) is used.
 - Venting area for attics and roof spaces shall be a minimum of 1/300 the of attic or roof space area. Unless Sprayed polyurethane foam, medium density closed cell (CAN/ULC S705.1) is used.
 - Vents for unheated crawlspaces shall be closeable, with a minimum total area 1/500 the of the crawlspace area.
- MASONRY, CHIMNEYS AND FIREPLACES:**
- All masonry work shall be in accordance with the current British Columbia Building Code. Chimney and fireplace construction to comply with the applicable sections of Part 9 of the British Columbia Building Code.
 - All chimney and fireplace installations shall be governed, inspected and approved by municipal authorities. A separate permit may be required.
 - Fireplace(s), including hearth and mantle if specified, are to be finished to Owner's specifications.
 - Fireplace flue size to be minimum 1/10 of opening size.
 - Dampers shall be rear hinged and min. 200mm (8") above finished opening.
 - Provide min. 200mm (8") of brick, including firebrick, on all sides of firebox - min. 300mm (12") for stone.
 - Interior wood-frame members to be min. 100mm (4") clear from back of and sides of firebox, and min. (2") 50mm clear from brick chimneys.
 - Exterior wood-frame members to be min. 25mm (1") clear from exterior fireplace and minimum 12mm (1/2) clear from exterior chimney.
 - Zero clearance type metal fireplaces and metal chimneys to be CSA approved and installed to manufacturer's specifications. Metal lining is recommended for chimney chases.

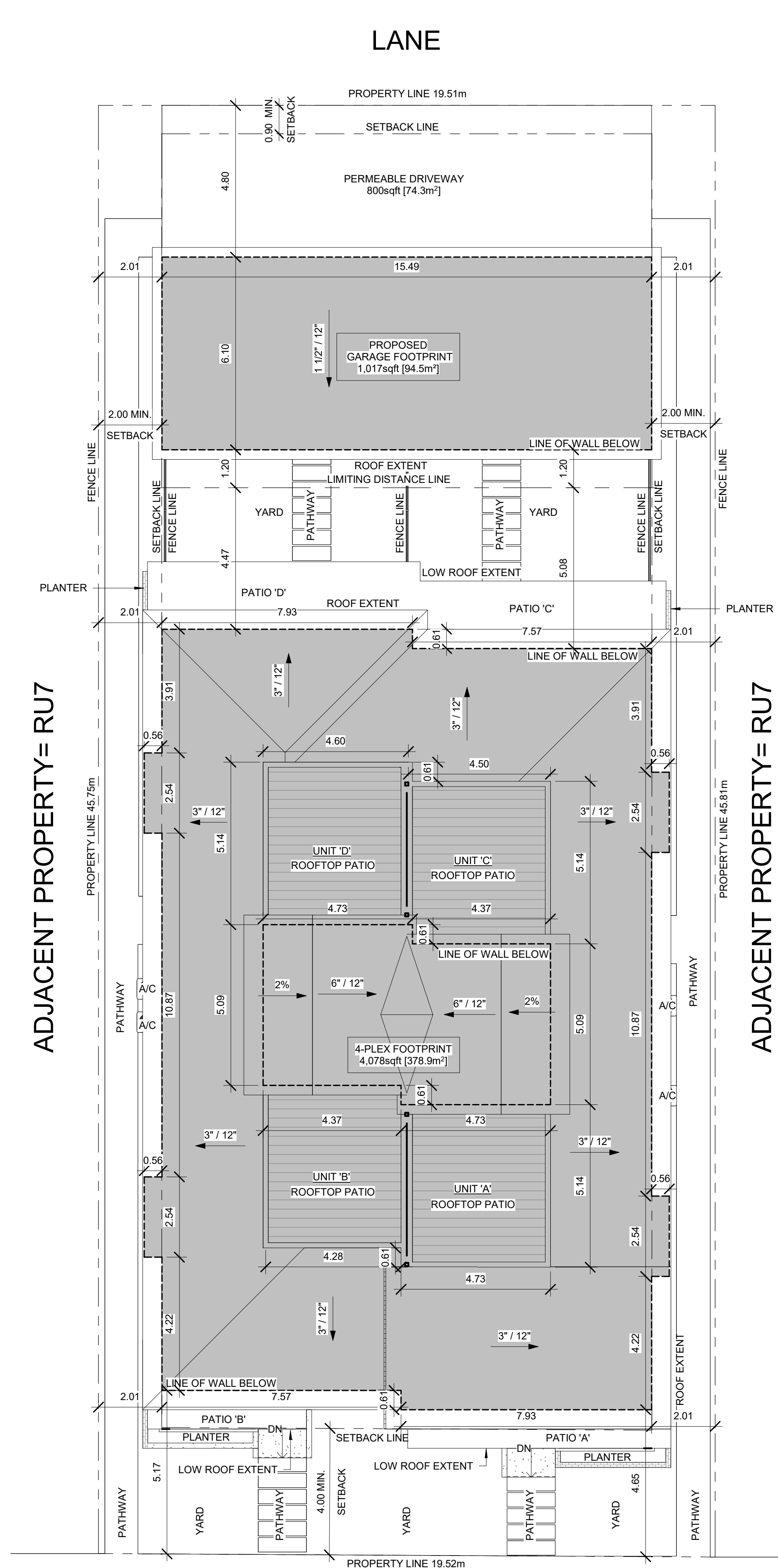
- FINISHING:**
- All interior and exterior finishes shown on the drawings shall be confirmed by the Owner & Contractor.
 - Exterior doors shall be solid core and weather-stripped.
 - All exterior doors with flush/recessed threshold to have built-in drain in sill or have grate drain and flashing below on the exterior side of the door.
 - Garage doors to dwelling area to be solid core, weather-stripped and self-closing.
 - Any Structural Engineer's drawings prepared take precedence over these drawings. Offsets in cladding may compromise the drainage of moisture from behind the exterior finish above.
 - Flashing to be installed over all unprotected exterior openings.
 - Sliding glass doors shall have safety glass.
 - Window sizes are shown in foot and inches.
 - Door Sizes are shown in feet and inches.
 - Openings in partitions shown without doors are to be full height unless shown as an arch, door opening, or noted otherwise.
 - Lintels at archways are to be framed 2075mm (6'-11") high. Exceptions noted.
 - Coat and clothes closets shall have one rod and shelf. Linen closets shall have 5 adjustable shelves where possible. Broom closets shall have one shelf (unless shown/noted otherwise).
 - All bathrooms shall have a wall medicine cabinet or one lockable cabinet drawer.

- HEATING:**
- Installation of entire heating system, whether electric, forced warm air or hot water, must comply with manufacturer's directions (where applicable) and conform to requirements of local codes and regulations in all respects.
 - Gas connection will require separate permit and inspection.
 - All supply air ducts to be installed overhead in basement unless specified otherwise.
 - All return air intakes and registers to be located and installed for maximum efficiency by a qualified heating contractor.

- PLUMBING:**
- All materials, equipment and methods of installation shall be in accordance with requirements outlined in Part 7 of the most current British Columbia Building Code and applicable local regulations.
 - When the Owner's property is not located on a municipal sewer system, wells and septic disposal systems are to be located and constructed in accordance with health authorities having jurisdiction.
 - All plumbing materials in contact with soils shall be corrosion resistant.
 - All water closets to be low flush (water efficient) water closets. Unless noted otherwise.
 - All plumbing fixtures are to be low flow (water efficient) fixtures. Unless noted otherwise.

- ELECTRICAL:**
- Installation of electrical items must comply with the most current British Columbia Electrical Code and with the local electrical supplier in all respects.
 - Outlet locations must comply with or exceed current minimum requirements outlined in the British Columbia Building Code. The minimum requirements are to be used as a guide only, and may be adjusted according to the Owner's and/or local authority's specific requirements beyond the minimum.
 - All lights to be light emitting diode (LED) lights. Unless Noted Otherwise.

ABBREVIATIONS	
AC.	Acoustic
ABV.	Above
ALT.	Alternate
AW.	Awning
B.C.B.C.	B.C. Building Code
BD.	Board
B.F.	Bifold door
BM	Beam
BTWN.	Between
B.U.	Built-up
CEIL.	Ceiling
COL.	Column
CONC.	Concrete
CONC. BLK	Concrete block
CONT.	Continuous
C.S.	Crawlspace
CW	Complete with
DIA.	Diameter
DN.	Down
D.	Dryer
D.W.	Dishwasher
ELECT.	Electrical
ELEV.	Elevation
EQ.	Equipment
EW	Each Way
F.	Refrigerator
F.D.	Floor drain
FLR.	Floor
F.E.P.	From Existing Plans
FN.D.	Foundation
FRZR.	Freezer
FTG.	Footing
FUR.	Furnace
GA.	Gauge
G.R.	Guard Rail
GW.B.	Gypsum board
H.B.	Hose bib
HORIZ.	Horizontal
HP	Heat Pump
HT.	Height
HW.	Hot Water Tank
I.H.W.	Instant Hot Water Heater
INSUL.	Insulation
LDRY.	Laundry
LN.	Linen
LINO.	Linoeum
LOUV.	Louvered
MAX.	Maximum
M.C.	Medicine cabinet
MFR. SPEC'S	Manufacturer's Specifications
MIN.	Minimum
MIR.	Mirror
MW.	Microwave
N/A	Not Applicable
N.B.C	National Building Code
N.T.S	Not to scale
OBSC.	Obscure
O.C	On centre
OH	Overhead
OH.	Overhang
PKT	Pocket Door
P.L.A.	Point Load Above
PLYWD	Plywood
R.	Range
REQ'D	Required
R.C.	Rubber cover
R. & S.	Rod & Shaft
RM.	Room
R.O.	Rough opening
R/W	Reinforced with
S.	Sink
S/C	Solid core
SH.	Shower
S.O.G.	Slab on grade
SUSP.	Suspended
T/O	Top of
TYP.	Typical
T.B.C	To be confirmed
U/S	Underside
V.B.	Vapour Barrier
VERT.	Vertical
V.H.	Vent Hood
W.	(Clothes) Washer
w/	With
W.C.	Water Closet
WD.	Wood
W.P.	Weatherproof
W.W.M.	Welded wire mesh
U.N.O.	Unless Noted Otherwise





LANE

PROPERTY LINE 19.51m

PERMEABLE DRIVEWAY 800sqft [74.3m²]

PROPOSED GARAGE FOOTPRINT 1,017sqft [94.5m²]

PROPERTY LINE 19.52m

GRENFELL AVE

1 SITE PLAN
1/8" = 1'-0"

MAIN FLOOR GEODEDIC ELEVATION (0'-0") = 347.00m

BUILDING NOTES
GENERAL ZONING AND SITE INFORMATION
- CIVIC ADDRESS: 840 GRENFELL AVE.
- LEGAL: PLAN 9138, LOT 5
- ZONE: RUT - INFILL HOUSING
- AUTHORITY: CITY OF KELLOWNA
- TOTAL LOT AREA: 9,632sqft [894.8m²]

SITE COVERAGE
- MAX. SITE COVERAGE (55%): 5,298sqft [492.2m²]
- PROPOSED 4-PLEX COVERAGE: 4,078sqft [378.9m²]
- PROPOSED GARAGE COVERAGE: 1,017sqft [94.5m²]
= TOTAL PROPOSED SITE COVERAGE: 5,095sqft [473.3m²] (52.9%)

- INCL. DRIVEWAY COVERAGE: 800sqft [74.3m²] (61.2%)

FLOOR AREAS
- MAX. NET FLOOR AREA (FAR 0.8): 7,706sqft [714.8m²]
- FRONT YARD SETBACK: 3,644sqft [338.5m²]
- UPPER FLOOR NET FLOOR AREA: 3,798sqft [352.8m²]
- TOTAL NET FLOOR AREA: 7,442sqft [691.4m²] (FAR 0.77)

TOTAL NET FLOOR AREA PER UNIT
UNIT A: 1,854sqft [172.2m²]
UNIT B: 1,870sqft [173.7m²]
UNIT C: 1,858sqft [172.6m²]
UNIT D: 1,860sqft [172.8m²]

ZONING RESTRICTIONS
- MAX. HEIGHT OF 4-PLEX: 8.0m (2 STOREYS)
- MAX. HEIGHT OF GARAGE: 4.8m

MINIMUM YARD SETBACK
- FRONT YARD SETBACK: 4.0m
- REAR YARD SETBACK: 0.9m
- SIDE YARD SETBACK: 2.0m

Issue Schedule

Issue Number	Description	Date (dd.mm.yy)
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4-Plex

840 Grenfell Ave.
Plan 9138, Lot 5
Kelowna, BC

SITE PLAN

SCALE:
AS NOTED

DRAWN BY: BV	CHECKED BY: BV
DATE: 21.04.21	PROJECT: 2018-015

A0.2

Issue Schedule		
Issue Number	Description	Date (dd.mm.yy)
1	Prelim Site Calcs	12.03.21
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4-Plex

840 Grenfell Ave.
Plan 9138, Lot 5
Kelowna, BC

ELEVATIONS &
SCHEDULES

SCALE:
AS NOTED

DRAWN BY:
BV

CHECKED BY:
BV

DATE:
21.04.21

PROJECT:
2018-015

A1.0

DOOR SCHEDULE					
Door Type	Count	Type	Width	Height	Comments
1	2	144" x 96" Exterior 4-Panel Sliding Temp. Gl.	12' - 0"	8' - 0"	
2	4	96" x 96" Garage O/H	8' - 0"	8' - 0"	
3	2	72" x 96" Exterior Sliding Temp. Gl.	6' - 0"	8' - 0"	
4	4	42" x 96" Exterior Swing w/ Frosted Lite	3' - 6"	8' - 0"	
5	2	36" x 80" Exterior Swing- Full Gl.	3' - 0"	6' - 8"	
6	5	32" x 80" Exterior Swing	2' - 8"	6' - 8"	
7	4	30" x 80" Exterior Swing- Full Gl.	2' - 6"	6' - 8"	
8	2	72" x 80" Interior Sliding Closet	6' - 0"	6' - 8"	
9	11	60" x 80" Interior Double Swing	5' - 0"	6' - 8"	
10	2	48" x 80" Interior Double Swing	4' - 0"	6' - 8"	
11	8	36" x 80" Interior Sliding Barn	3' - 0"	6' - 8"	
12	4	30" x 80" Interior Sliding Barn	2' - 6"	6' - 8"	
13	4	34" x 80" Interior Swing	2' - 10"	6' - 8"	
14	9	32" x 80" Interior Swing	2' - 8"	6' - 8"	
15	20	30" x 80" Interior Swing	2' - 6"	6' - 8"	
Grand total: 83					

WINDOW SCHEDULE					
Window Type	Count	Type	Width	Height	Comments
1	1	96" x 72" Combination PP/PC- 3/12 Pitch	8' - 0"	6' - 0"	Height Varies
2	1	96" x 72" Combination PP/PC	8' - 0"	6' - 0"	
3	2	96" x 72" Combination PC	8' - 0"	6' - 0"	
4	2	84" x 72" Combination PP/PC	7' - 0"	6' - 0"	
5	2	36" x 72" Combination P/C	3' - 0"	6' - 0"	
6	4	72" x 48" Slider	6' - 0"	4' - 0"	ALT.- Double Casement Window
7	4	60" x 36" Slider	5' - 0"	3' - 0"	ALT.- Double Casement Window
8	8	72" x 20" Picture	6' - 0"	1' - 8"	
9	4	36" x 48" Casement	3' - 0"	4' - 0"	
10	8	24" x 52" Casement	2' - 0"	4' - 6"	
11	3	24" x 36" Casement- Frosted	2' - 0"	3' - 0"	
12	2	36" x 16" Transom	3' - 0"	1' - 4"	
Grand total: 41					

EXTERIOR FINISH SCHEDULE	
A	ASPHALT SHINGLES
B	2 LAYERS SBS ROOFING
C	STUCCO SIDING
D	6" HORIZ. T&G PVC SIDING (WHITE WOODGRAIN)
E	6" HORIZ. T&G PVC SIDING (BROWN WOODGRAIN)
F	ALUMINUM SOFFIT (VENTED, BLACK)
G	BRICK & MORTAR SIDING
H	HEAVY TIMBER WOOD COLUMN/ BEAM (STAINED)
J	8" SMARTBOARD TRIM
K	12" SMARTBOARD TRIM
L	6" HORIZ. T&G PVC SOFFIT (VENTED, WOODGRAIN)
M	12" ALUMINUM TRIM
N	ALUMINUM EAVESTROUGH (BLACK)
P	ALUMINUM FLASHING ABOVE WINDOWS & DOORS
Q	CONCRETE PARGING OR PROTECTION BOARD
R	WOOD SLAT PARTITION
S	ROOF VENT AS REQ'D
T	DRYER VENT
U	1x12 STAINED WOOD PRIVACY SCREEN ON HSS POSTS (PAINTED BLACK)

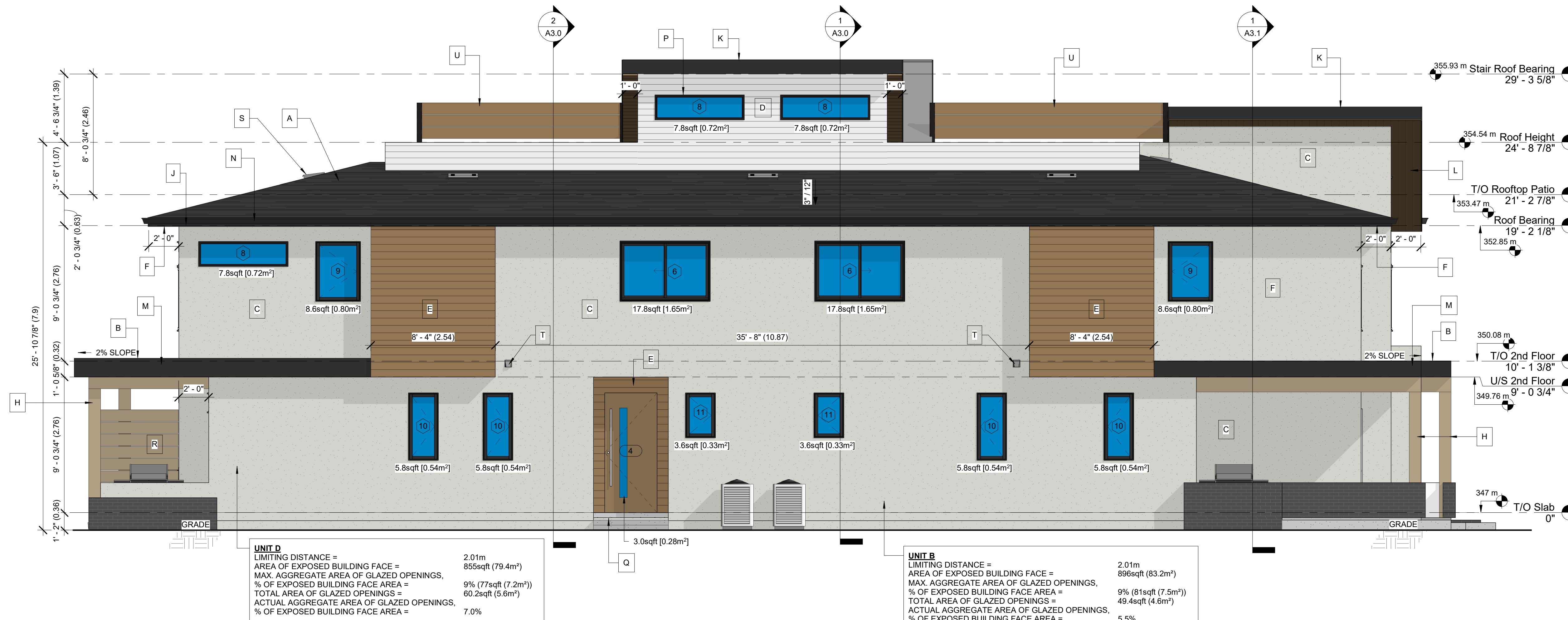
NOTES:
- ALL FINISHINGS TO BE NEW MATERIALS.
- EXTERIOR NOTES TYPICAL



UNIT C
LIMITING DISTANCE = 5.08m
TOTAL AREA OF EXPOSED BUILDING FACE = 660sqft (61.3m²)
MAX. AGGREGATE AREA OF GLAZED OPENINGS, % OF EXPOSED BUILDING FACE AREA = 26.1% (172.3sqft(16.0m²))
TOTAL AREA OF GLAZED OPENINGS = 151.2sqft (14.0m²)
ACTUAL AGGREGATE AREA OF GLAZED OPENINGS, % OF EXPOSED BUILDING FACE AREA = 22.9%
(*) INTERPOLATED FROM BCBC 2018 TABLE 9.10.15.4

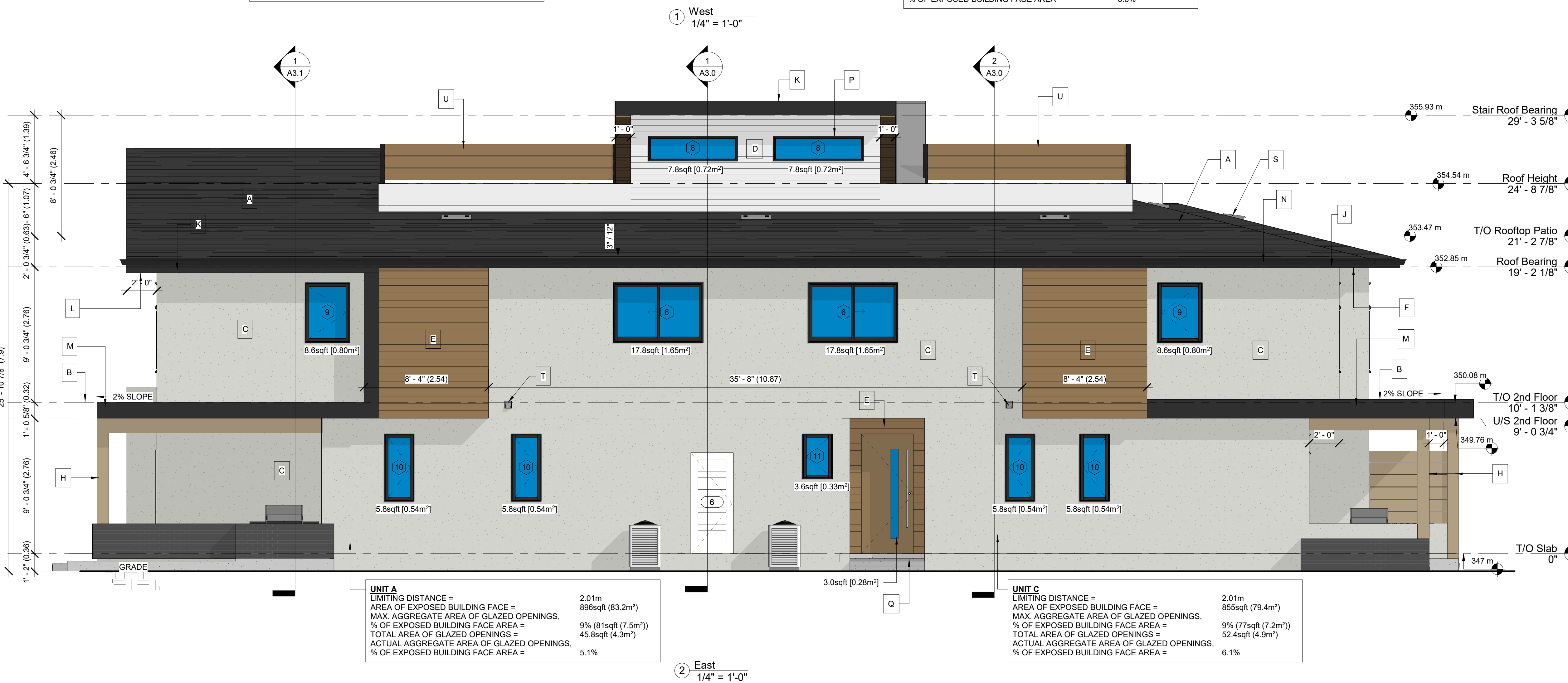
UNIT D
LIMITING DISTANCE = 4.47m
TOTAL AREA OF EXPOSED BUILDING FACE = 660sqft (61.3m²)
MAX. AGGREGATE AREA OF GLAZED OPENINGS, % OF EXPOSED BUILDING FACE AREA = 21.8% (144sqft(13.4m²))
TOTAL AREA OF GLAZED OPENINGS = 143.4sqft (13.3m²)
ACTUAL AGGREGATE AREA OF GLAZED OPENINGS, % OF EXPOSED BUILDING FACE AREA = 21.7%
(*) INTERPOLATED FROM BCBC 2018 TABLE 9.10.15.4

Issue Schedule		
Issue Number	Description	Date (dd.mm.yy)
1	Prelim Site Calcs	12.03.21
2	Concept Review	23.03.21
3	Development Permit	07.04.21
4	Development Permit	21.04.21



EXTERIOR FINISH SCHEDULE	
A	ASPHALT SHINGLES
B	2 LAYERS SBS ROOFING
C	STUCCO SIDING
D	6" HORIZ. T&G PVC SIDING (WHITE WOODGRAIN)
E	6" HORIZ. T&G PVC SIDING (BROWN WOODGRAIN)
F	ALUMINUM SOFFIT (VENTED, BLACK)
G	BRICK & MORTAR SIDING
H	HEAVY TIMBER WOOD COLUMN/ BEAM (STAINED)
J	8" SMARTBOARD TRIM
K	12" SMARTBOARD TRIM
L	6" HORIZ. T&G PVC SOFFIT (VENTED, WOODGRAIN)
M	12" ALUMINUM TRIM
N	ALUMINUM EAVESTROUGH (BLACK)
P	ALUMINUM FLASHING ABOVE WINDOWS & DOORS
Q	CONCRETE PARGING OR PROTECTION BOARD
R	WOOD SLAT PARTITION
S	ROOF VENT AS REQ'D
T	DRYER VENT
U	1x12 STAINED WOOD PRIVACY SCREEN ON HSS POSTS (PAINTED BLACK)

NOTES:
- ALL FINISHINGS TO BE NEW MATERIALS.
- EXTERIOR NOTES TYPICAL



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4-Plex

840 Grenfell Ave.
Plan 9138, Lot 5
Kelowna, BC

ELEVATIONS

SCALE:
AS NOTED

DRAWN BY: BV	CHECKED BY: BV
DATE: 21.04.21	PROJECT: 2018-015

A1.1

Issue Schedule		
Issue Number	Description	Date (dd.mm.yy)
1	Prelim Site Calcs	12.03.21
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GARAGE ELEVATIONS

SCALE:
AS NOTED

DRAWN BY: BV
CHECKED BY: BV

DATE: 21.04.21
PROJECT: 2018-015

A1.2

DOOR SCHEDULE					
Door Type	Count	Type	Width	Height	Comments
1	2	144" x 96" Exterior 4-Panel Sliding Temp. Gl.	12' - 0"	8' - 0"	
2	4	96" x 96" Garage O/H	8' - 0"	8' - 0"	
3	2	72" x 96" Exterior Sliding Temp. Gl.	6' - 0"	8' - 0"	
4	4	42" x 96" Exterior Swing w/ Frosted Lite	3' - 6"	8' - 0"	
5	2	36" x 80" Exterior Swing- Full Gl.	3' - 0"	6' - 8"	
6	5	32" x 80" Exterior Swing	2' - 8"	6' - 8"	
7	4	30" x 80" Exterior Swing- Full Gl.	2' - 6"	6' - 8"	
8	2	72" x 80" Interior Sliding Closet	6' - 0"	6' - 8"	
9	11	60" x 80" Interior Double Swing	5' - 0"	6' - 8"	
10	2	48" x 80" Interior Double Swing	4' - 0"	6' - 8"	
11	8	36" x 80" Interior Sliding Barn	3' - 0"	6' - 8"	
12	4	30" x 80" Interior Sliding Barn	2' - 6"	6' - 8"	
13	4	34" x 80" Interior Swing	2' - 10"	6' - 8"	
14	9	32" x 80" Interior Swing	2' - 8"	6' - 8"	
15	20	30" x 80" Interior Swing	2' - 6"	6' - 8"	

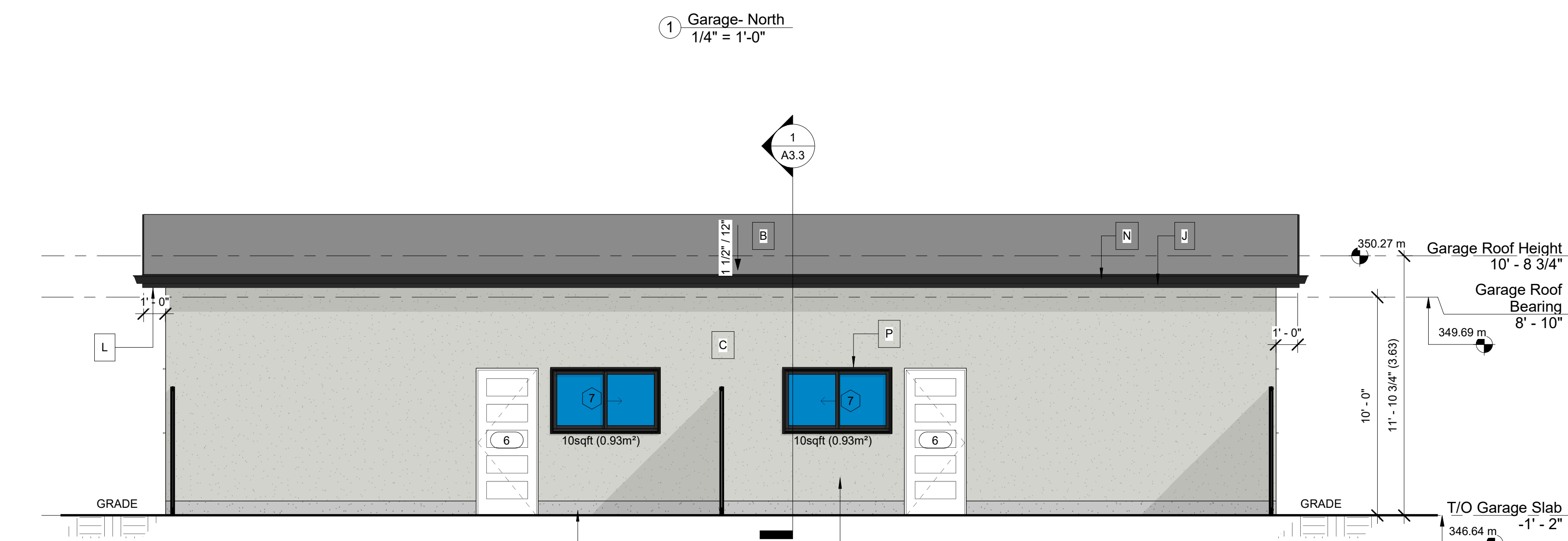
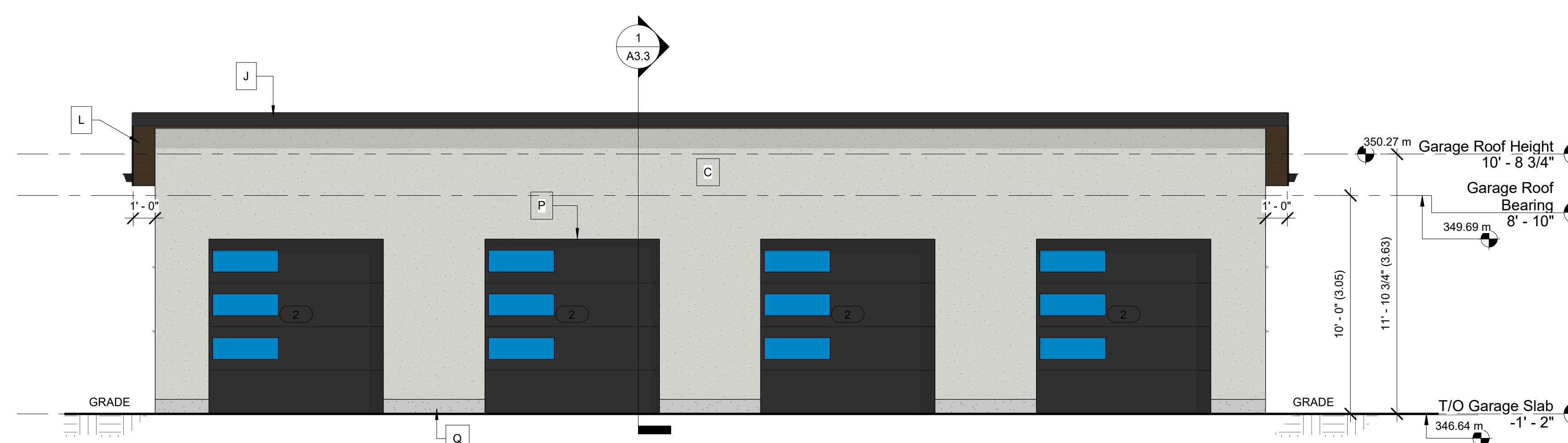
Grand total: 83

WINDOW SCHEDULE					
Window Type	Count	Type	Width	Height	Comments
1	1	96" x 72" Combination PP/PC- 3/12 Pitch	8' - 0"	6' - 0"	Height Varies
2	1	96" x 72" Combination PP/PC	8' - 0"	6' - 0"	
3	2	96" x 72" Combination PC	8' - 0"	6' - 0"	
4	2	84" x 72" Combination PP/PC	7' - 0"	6' - 0"	
5	2	36" x 72" Combination P/C	3' - 0"	6' - 0"	
6	4	72" x 48" Slider	6' - 0"	4' - 0"	ALT.- Double Casement Window
7	4	60" x 36" Slider	5' - 0"	3' - 0"	ALT.- Double Casement Window
8	8	72" x 20" Picture	6' - 0"	1' - 8"	
9	4	36" x 48" Casement	3' - 0"	4' - 0"	
10	8	24" x 52" Casement	2' - 0"	4' - 6"	
11	3	24" x 36" Casement- Frosted	2' - 0"	3' - 0"	
12	2	36" x 16" Transom	3' - 0"	1' - 4"	

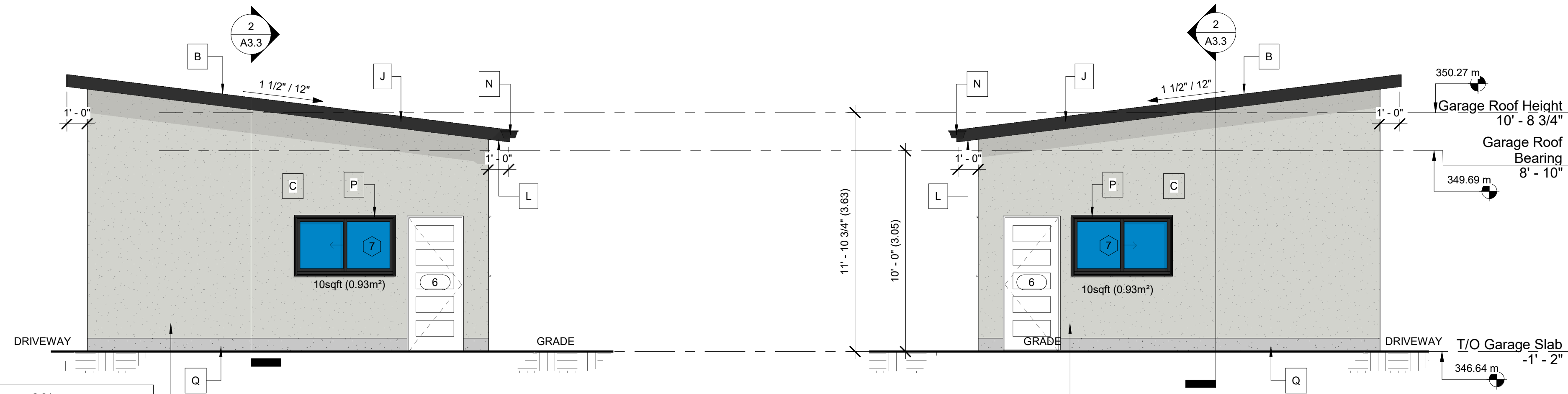
Grand total: 41

EXTERIOR FINISH SCHEDULE	
A	ASPHALT SHINGLES
B	2 LAYERS SBS ROOFING
C	STUCCO SIDING
D	6" HORIZ. T&G PVC SIDING (WHITE WOODGRAIN)
E	6" HORIZ. T&G PVC SIDING (BROWN WOODGRAIN)
F	ALUMINUM SOFFIT (VENTED, BLACK)
G	BRICK & MORTAR SIDING
H	HEAVY TIMBER WOOD COLUMN/ BEAM (STAINED)
J	8" SMARTBOARD TRIM
K	12" SMARTBOARD TRIM
L	6" HORIZ. T&G PVC SOFFIT (VENTED, WOODGRAIN)
M	12" ALUMINUM TRIM
N	ALUMINUM EAVESTROUGH (BLACK)
P	ALUMINUM FLASHING ABOVE WINDOWS & DOORS
Q	CONCRETE PARGING OR PROTECTION BOARD
R	WOOD SLAT PARTITION
S	ROOF VENT AS REQ'D
T	DRYER VENT
U	1x12 STAINED WOOD PRIVACY SCREEN ON HSS POSTS (PAINTED BLACK)

NOTES:
- ALL FINISHINGS TO BE NEW MATERIALS.
- EXTERIOR NOTES TYPICAL



LIMITING DISTANCE = 1.2m
TOTAL AREA OF EXPOSED BUILDING FACE = 508sqft (5.39m²)
MAX. AGGREGATE AREA OF GLAZED OPENINGS, 7% (32sqft (3.0m²))
% OF EXPOSED BUILDING FACE AREA = 20sqft (1.86m²)
TOTAL AREA OF GLAZED OPENINGS = 3.9%
ACTUAL AGGREGATE AREA OF GLAZED OPENINGS, 3.9%
% OF EXPOSED BUILDING FACE AREA =



LIMITING DISTANCE = 2.01m
TOTAL AREA OF EXPOSED BUILDING FACE = 200sqft (18.6m²)
MAX. AGGREGATE AREA OF GLAZED OPENINGS, 12% (24sqft (2.2m²))
% OF EXPOSED BUILDING FACE AREA = 20sqft (1.86m²)
TOTAL AREA OF GLAZED OPENINGS = 10%
ACTUAL AGGREGATE AREA OF GLAZED OPENINGS, 10%
% OF EXPOSED BUILDING FACE AREA =

LIMITING DISTANCE = 2.01m
TOTAL AREA OF EXPOSED BUILDING FACE = 200sqft (18.6m²)
MAX. AGGREGATE AREA OF GLAZED OPENINGS, 12% (24sqft (2.2m²))
% OF EXPOSED BUILDING FACE AREA = 20sqft (1.86m²)
TOTAL AREA OF GLAZED OPENINGS = 10%
ACTUAL AGGREGATE AREA OF GLAZED OPENINGS, 10%
% OF EXPOSED BUILDING FACE AREA =

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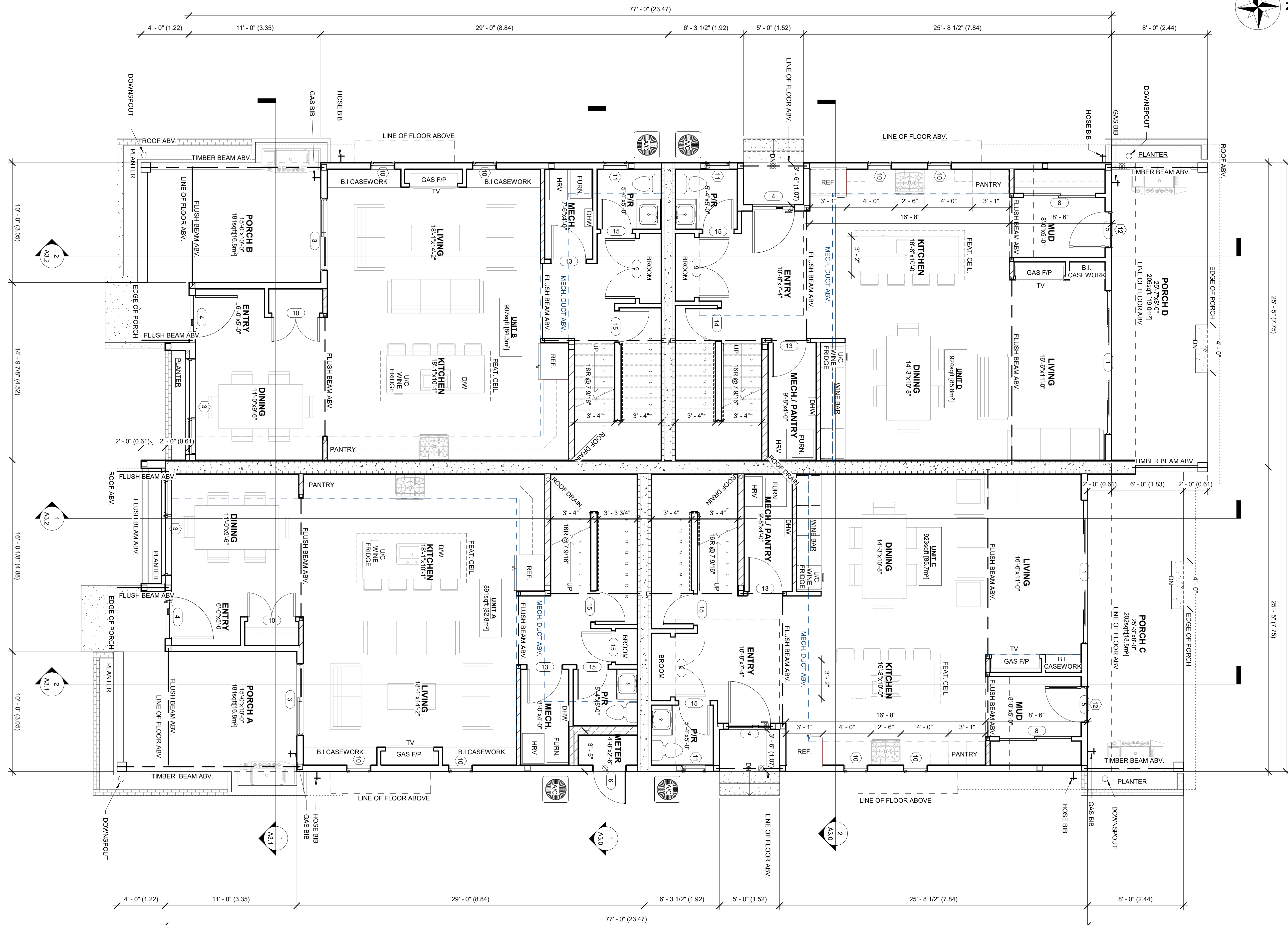
840 Grenfell Ave.
Plan 9138, Lot 5
Kelowna, BC

PLANS

SCALE:
AS NOTED

DRAWN BY: BV	CHECKED BY: BV
DATE: 21.04.21	PROJECT: 2018-015

A2.1

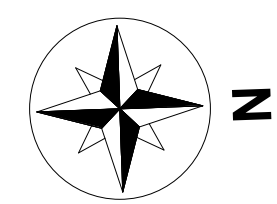


JOIST SCHEDULE:
J1- 11 7/8" FLOOR I-JOISTS BY SUPPLIER

TOTAL NET FLOOR AREA: 3,644sqft [338.5m²]
TOTAL NET PORCH AREA: 747sqft [69.4m²]
CEILING HEIGHT: 9'-0 1/2", TYP. U.N.O.

MAIN FLOOR PLAN
1/4" = 1'-0"

- GENERAL CONSTRUCTION NOTES:
- 1/2 WALL STAIR GUARDS TO BE 42" HIGH OR AS PER PLAN.
 - PROVIDE MIN 2" FRONT ENTRY STEP.
 - ALL BATHROOMS TO BE MECHANICALLY VENTILATED TO PROVIDE AT LEAST 1 AIR CHANGE PER HOUR.
 - 2" X 2" INSULATED WEATHER STRIPPED ATTIC ACCESS HATCH W/ INSULATION SHAFT
 - PROVIDE 2" (MIN.) CLEARANCE AROUND MECHANICAL FLUES TO ALL COMBUSTIBLE CONSTRUCTION.
 - PROVIDE FLASHING ABOVE EXTERIOR DOORS AND WINDOW OPENINGS WHERE REQUIRED
 - NON-HARDENING EXTERIOR CAULKING COMPOUND TO BE USED OVER & AROUND ALL EXTERIOR OPENINGS / IE. SERVICE ELECT., ETC.
 - ALL EXTERIOR/ INTERIOR LOAD BEARING LINTELS TO BE 2-PLY 2x10 U.N.O.
 - ALL EXTERIOR SIDING/ STUCCO FINISHES TO BE 8" MIN. ABOVE FINISHED GRADE
 - ALL WORKMANSHIP AND MILLWORK TO CONFORM TO THE STANDARDS OF GOOD BUILDING PRACTICES, & CURRENT LOCAL BUILDING CODES WITH ALL RESPECTS
 - WHERE THERE IS A DISCREPANCY BETWEEN THE PLANS AND THE BUILDING CODE, THE BUILDING CODE SHALL TAKE PRECEDENCE.



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blue.vision@hotmail.com

Issue Schedule		
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1	Prelim Site Calcs	12.03.21
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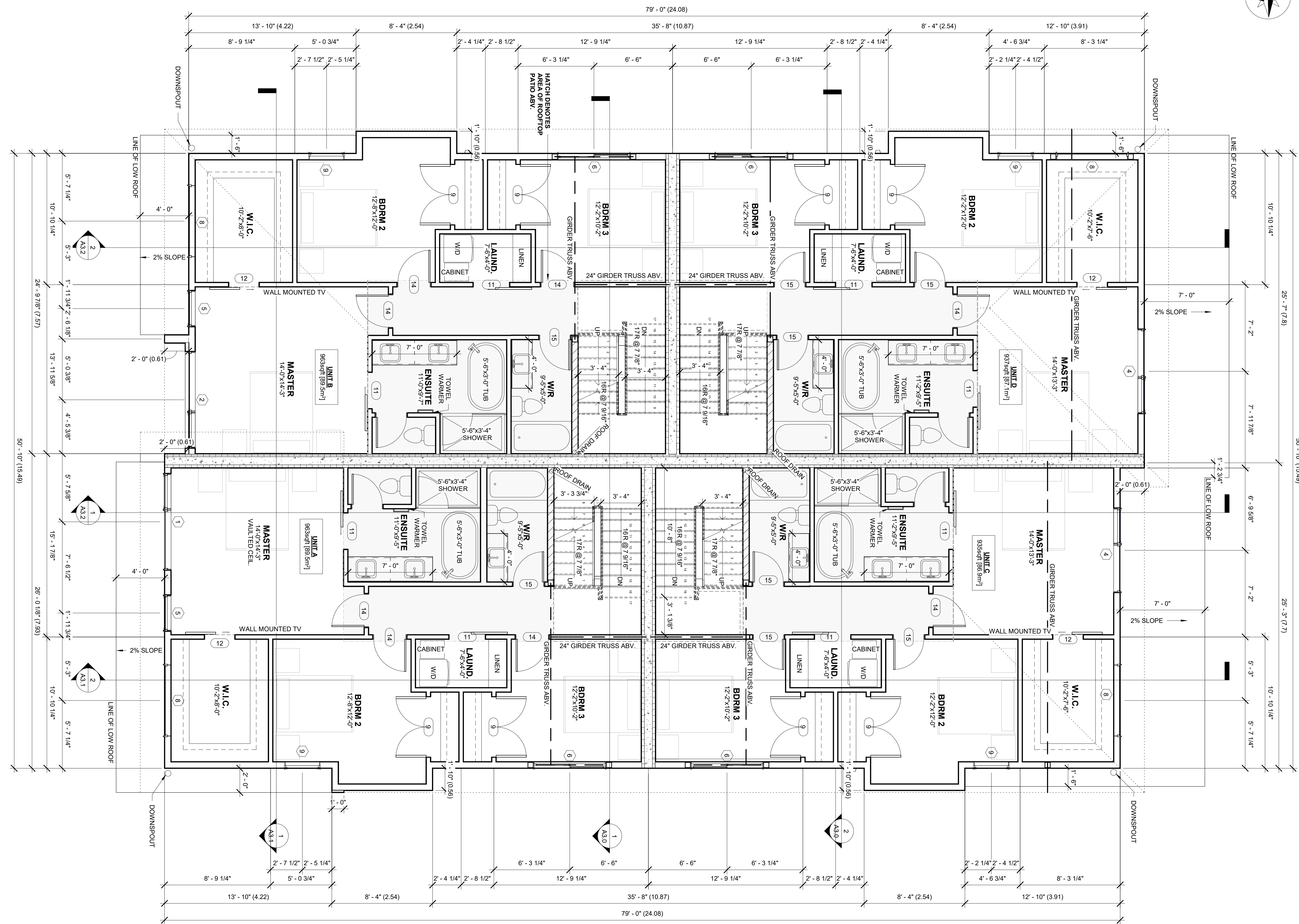
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A2.2



TOTAL NET FLOOR AREA: 3,798sqft [352.8m²]
CEILING HEIGHT: 9'-0 3/4", TYP. U.N.O.

SECOND FLOOR PLAN
1/4" = 1'-0"

- GENERAL CONSTRUCTION NOTES:
- 1/2 WALL STAIR GUARDS TO BE 42" HIGH OR AS PER PLAN.
 - PROVIDE MIN 2" FRONT ENTRY STEP.
 - ALL BATHROOMS TO BE MECHANICALLY VENTILATED TO PROVIDE AT LEAST 1 AIR CHANGE PER HOUR.
 - 2"X2" INSULATED WEATHER STRIPPED ATTIC ACCESS HATCH W/ INSULATION SHAFT
 - PROVIDE 2" (MIN.) CLEARANCE AROUND MECHANICAL FLUES TO ALL COMBUSTIBLE CONSTRUCTION.
 - PROVIDE FLASHING ABOVE EXTERIOR DOORS AND WINDOW OPENINGS WHERE REQUIRED
 - NON-HARDENING EXTERIOR CAULKING COMPOUND TO BE USED OVER & AROUND ALL EXTERIOR OPENINGS / IE. SERVICE ELECT., ETC.
 - ALL EXTERIOR/ INTERIOR LOAD BEARING LINTELS TO BE 2-PLY 2x10 U.N.O.
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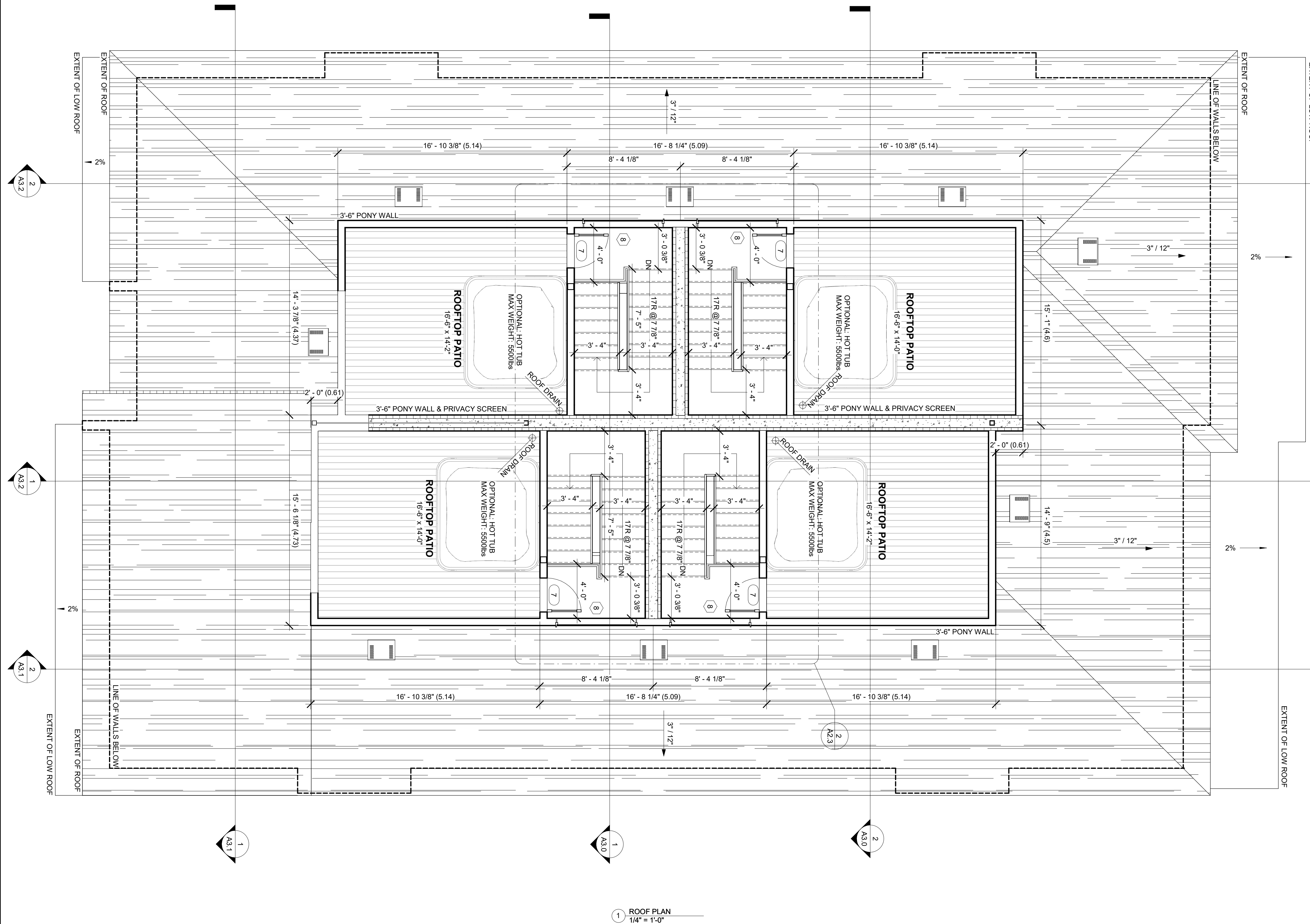
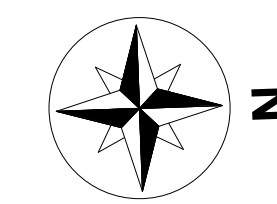
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PLANS

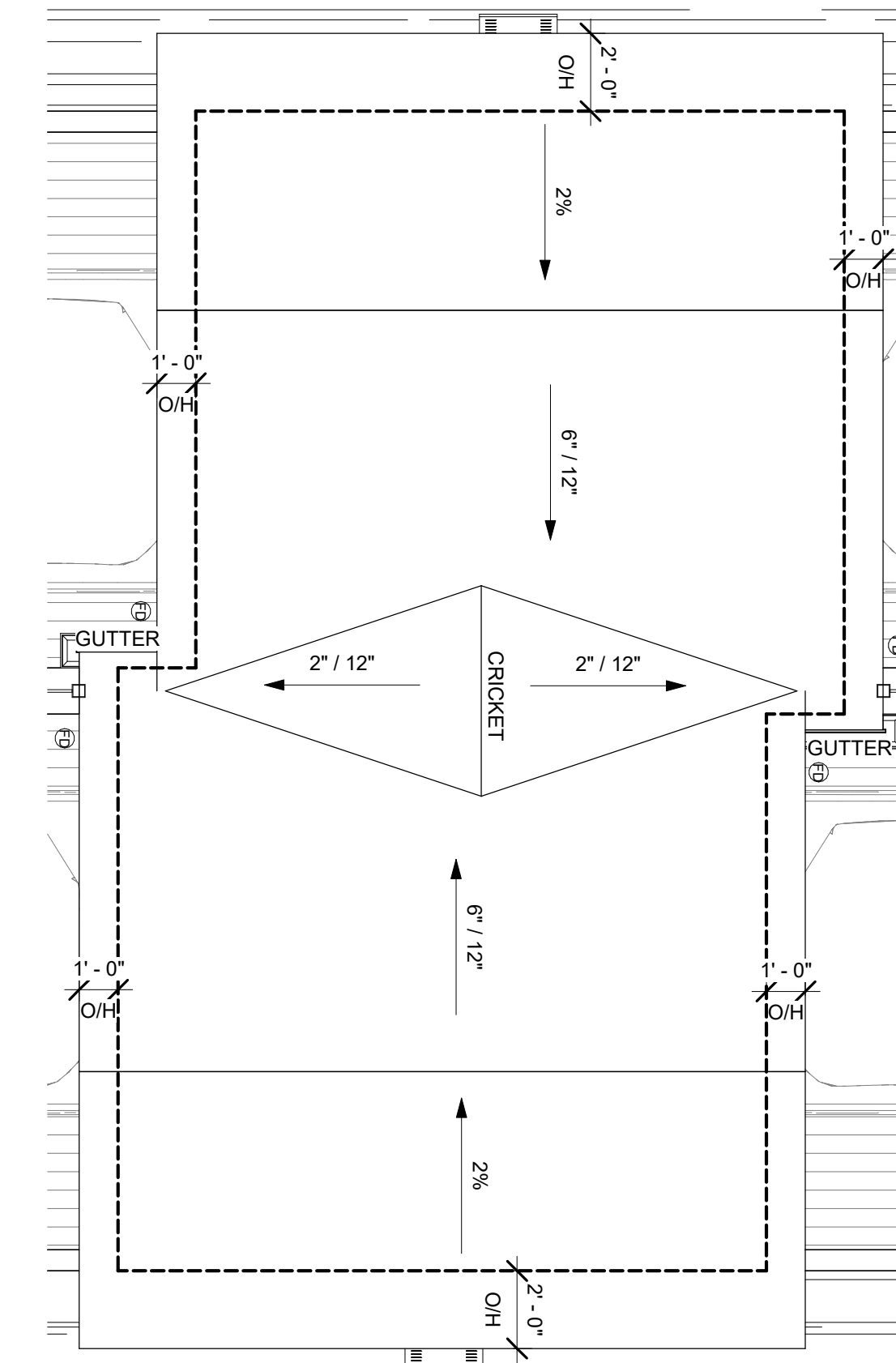
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DATE: 21.04.21	PROJECT: 2018-015

A2.3



1 ROOF PLAN
1/4" = 1'-0"



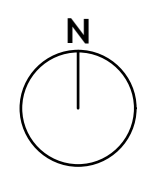
2 STAIRWELL ROOF PLAN
1/4" = 1'-0"

- GENERAL CONSTRUCTION NOTES:
- 1/2 WALL STAIR GUARDS TO BE 42" HIGH OR AS PER PLAN.
 - PROVIDE MIN 2" FRONT ENTRY STEP.
 - ALL BATHROOMS TO BE MECHANICALLY VENTILATED TO PROVIDE AT LEAST 1 AIR CHANGE PER HOUR.
 - 20"x28" INSULATED WEATHER STRIPPED ATTIC ACCESS HATCH W/ INSULATION SHAFT
 - PROVIDE 2" (MIN.) CLEARANCE AROUND MECHANICAL FLUES TO ALL COMBUSTIBLE CONSTRUCTION.
 - PROVIDE FLASHING ABOVE EXTERIOR DOORS AND WINDOW OPENINGS WHERE REQUIRED
 - NON-HARDENING EXTERIOR CAULKING COMPOUND TO BE USED OVER & AROUND ALL EXTERIOR OPENINGS / IE. SERVICE ELECT., ETC.
 - ALL EXTERIOR/ INTERIOR LOAD BEARING LINTELS TO BE 2-PLY 2x10 U.N.O.
 - ALL EXTERIOR SIDING/ STUCCO FINISHES TO BE 8" MIN. ABOVE FINISHED GRADE
 - ALL WORKMANSHIP AND MILLWORK TO CONFORM TO THE STANDARDS OF GOOD BUILDING PRACTICES, & CURRENT LOCAL BUILDING CODES WITH ALL RESPECTS
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OUTLAND DESIGN
LANDSCAPE ARCHITECTURE

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PROJECT TITLE

840 GRENFELL AVENUE

Kelowna, BC

DRAWING TITLE

**CONCEPTUAL
LANDSCAPE PLAN**

ISSUED FOR / REVISION

NO.	DATE	REVISION
1	21-04-14	Review
2		
3		
4		
5		

PROJECT NO. 21-021
DESIGN BY FB
DRAWN BY IK
CHECKED BY FB
DATE APR. 14, 2021
SCALE 1:100
PAGE SIZE 24x36"

SEAL



DRAWING NUMBER

L1/2

NOTES

1. PLANT MATERIAL AND CONSTRUCTION METHODS SHALL MEET OR EXCEED THE CANADIAN LANDSCAPE STANDARD. ALL OFF-SITE LANDSCAPE WORKS TO MEET CITY OF KELOWNA BYLAW 7900 STANDARDS.
2. ALL SOFT LANDSCAPE AREAS SHALL BE WATERED BY A FULLY AUTOMATIC TIMED UNDERGROUND IRRIGATION SYSTEM.
3. TREE AND SHRUB BEDS TO BE DRESSED IN A MINIMUM 75mm WOOD MULCH. DO NOT PLACE WEED MAT UNDERNEATH TREE AND SHRUB BEDS.
4. TREE AND SHRUB BEDS TO RECEIVE A MINIMUM 300mm DEPTH TOPSOIL PLACEMENT. TURF TO RECEIVE A MINIMUM OF 150mm DEPTH TOPSOIL PLACEMENT.
5. TURF AREAS FROM SOD SHALL BE NO. 1 GRADE GROWN FROM CERTIFIED SEED OF IMPROVED CULTIVARS REGISTERED FOR SALE IN B.C. AND SHALL BE TOLERANT OF DROUGHT CONDITIONS. TURF AREAS SHALL MEET EXISTING GRADES AND HARD SURFACES FLUSH.
6. SITE GRADING AND DRAINAGE WILL ENSURE THAT ALL STRUCTURES HAVE POSITIVE DRAINAGE AND THAT NO WATER OR LOOSE IMPEDIMENTS WILL BE DISCHARGED FROM THE LOT ONTO ADJACENT PUBLIC, COMMON, OR PRIVATE PROPERTIES.

PLANT LIST

BOTANICAL NAME	COMMON NAME	QTY	SIZE/SPACING & REMARKS
TREES			
LIQUIDAMBAR STYRACIFLUA 'ROTUNDILOBA'	ROTUNDILOBA SWEETGUM	5	6cm CAL.
SHRUBS			
BERBERIS THUNBERGII 'GENTRY'	ROYAL BURGUNDY BARBERRY	6	#02 CONT. /1.2M O.C. SPACING
PICEA ABIES 'LITTLE GEM'	LITTLE GEM NORWAY SPRUCE	16	#01 CONT. /0.75M O.C. SPACING
SPIRAEA JAPONICA 'GOLDMOUND'	GOLDMOUND SPIREA	9	#01 CONT. /1.0M O.C. SPACING
PERENNIALS & GRASSES			
ASTILBE JAPONICA 'PEACH BLOSSOM'	PEACH BLOSSOM ASTILBE	4	#01 CONT. /0.9M O.C. SPACING
CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	3	#01 CONT. /1.0M O.C. SPACING
HOSTA 'STRIPEASE'	STRIPEASE HOSTA	4	#01 CONT. /0.9M O.C. SPACING
LAVANDULA ANGUSTIFOLIA 'HIDCOTE'	HIDCOTE ENGLISH LAVENDER	6	#01 CONT. /0.75M O.C. SPACING
RUDBECKIA FULGIDA 'GOLDSTURM'	GOLDSTURM CONEFLOWER	6	#01 CONT. /0.75M O.C. SPACING

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