



2020

VERTICAL COMMUNITY LIVING

1464-1476 BERTRAM ST



INTRODUCTION

As Kelowna grows up rather than out, it achieves massive gains in environmental sustainability, fiscal efficiency, and land use density. At the same time, our City is suffering from decreasing housing affordability driven beyond reach for many by upper market demand and land costs.

2020 is an approach to downtown living that has not been available previously. The difference is the target market includes the ‘Missing Middle’ as well as our most modest income members of our City. The second difference is, we will be asking for $\frac{1}{4}$ of the building to be zoned under the new ‘Rental Only’ category of the downtown C7 land use zone.

Therefore, **2020** is a high-rise unlike any other in Kelowna. The vertical integration of housing for a variety of modest income families is blended with conventional market apartments, rental apartments and co-living homes. Living in **2020** is an integrated social experience supported by a daycare with outdoor play space and interactive social commons on the rooftop and podium terraces. The ground floor commercial is recessed to widen the sidewalk and give **2020** a public realm within the lively future between the ‘Bernard Block’ and the new UBCO.



To deliver a housing option to the missing middle- and modest-income earner, **2020** requires consideration of a variance for building height and an amendment to the Official Community Plan for the same thing. The surrounding ‘Bernard Block’ has buildings of 33, 26 and 17 storeys. **2020** is proposed at 46 storeys and, as with the Bernard Block and all other approved highrises in Kelowna, a height variance has been requested.

THE PROPOSAL

2020 is a 46 storey, narrow footprint, mixed-use development. The Bertram Street frontage is animated with retail and office space focused around a central entry to the residential lobby. Above the ground floor are 4 storeys of internal parking. The podium terrace is landscaped with space for the daycare's outdoor play and resident's passive enjoyment. The amenity concourse is dedicated to social interaction by offering meeting rooms, library, games area and fitness centre. Capping the tower is a rooftop amenity/lounging area with 360° views of the Okanagan Valley.



Figure 1: 2020 Day Care.



Figure 2: Podium Terrace Amenity Area. 2

2020 envisions a housing system that considers wellness and a healthy, resilient and inclusive with a socially interactive community of residents. Seniors, people with disabilities, and those with financial challenges are often left feeling isolated. Depression and loneliness are major mental health concerns. This project offers co-living homes for up to 6 residents. These homes have independent bed/sitting rooms with a private bath along with common living and dining/kitchen as interactive spaces. This type of housing is attractive to students, seniors, and other like-minded friends that choose to live together as an affordable and desirable housing option. The co-living housing option can also offer opportunities for the not-for-profit housing providers to participate in downtown highrise living.

STRATEGIC GOALS

The strategy of providing housing for the missing middle market in a high-rise project is a delicate balance of potential while keeping cost within modest affordable limits. To achieve a significant amount of attainable housing within 2020 required the optimization of zoning potential and minimizing of site cost. Kelowna's downtown zone allows for significant housing density, but the landform has a very poor foundation sub-soil condition.

The extremely high cost of foundation preparations is a major factor in highrise pricing today. One tool to reduce market cost of a highrise is by realizing the optimal housing goals of the zone and build to that goal, thereby reducing the foundation cost per home.

The social goal of this proposal is inclusion. The future residents will likely include many people working in downtown Kelowna. This group will include the working poor and previously excluded. For the first time, downtown employees that are support staff, delivery agents or a single mom making her way, they could call 2020 home.

COMMUNITY AT-A-GLANCE

Community integration into a high-rise tower is done strategically with a broad range of market targets and features. Based on the integration principle, we have created a unique strategy that includes the following "community building block" components:

1) Market "For Sale" Homes

The upper 30 storeys of residential homes will be offered for sale, like many other high rises in Kelowna. Unlike traditional high rises, however, this building will host 54 three-bedroom family-oriented homes (20% of households within the building). This is a paradigm shift in multifamily development in Kelowna; three-bedroom condominium homes have been historically underrepresented, and we aim to change this to open the door for families to return to downtown. The remaining homes on these levels are a variety of studios, 1 bedroom, 2 bedroom, and co-living homes.

2) Rental Homes

The first 10 storeys of residential homes will be dedicated as purpose-built rental units via a proposed “air parcel” zoned C7r. These 10 storeys will be comprised of 70 homes (25% of households within the building) ranging from studios, 1 bedroom, 2 bedroom, and 1800-2000ft² co-living homes for 6 residents each. As dedicated rental homes in perpetuity through zoning, these homes will provide affordable living indefinitely.

3) Co-Living Homes

Co-living is a relatively new concept that is gaining ground in major Canadian urban centres where affordability is a challenge. Co-living homes are designed with a social lifestyle in mind, and each resident is afforded their own private room/washroom with central shared kitchen/living space. These homes will present a new opportunity in Kelowna for groups of friends/seniors/students etc. to share in the equity of home ownerships or split costs in a rental scenario. In addition, these co-living homes will present a more achievable opportunity for smaller non-profit social housing societies to acquire homes for their client base. Smaller non-profits struggle to acquire enough funding to realize stand-alone development projects, so these co-living homes are designed to remove many of the financial/bureaucratic barriers to acquiring social housing. To ensure flexibility for potential purchaser/renters, these co-living homes will be available in both the market and rental portions of the building.

4) Daycare

A 50-child daycare with outdoor play space is located on the podium above the parkade is a feature of 2020. The daycare will serve both the families living within the building, as well as the broader community. It is well known that there is a shortage of daycare spaces within the City, so the inclusion of a childcare facility within the building serves to further welcome families back into the downtown core.

5) Shared Amenities

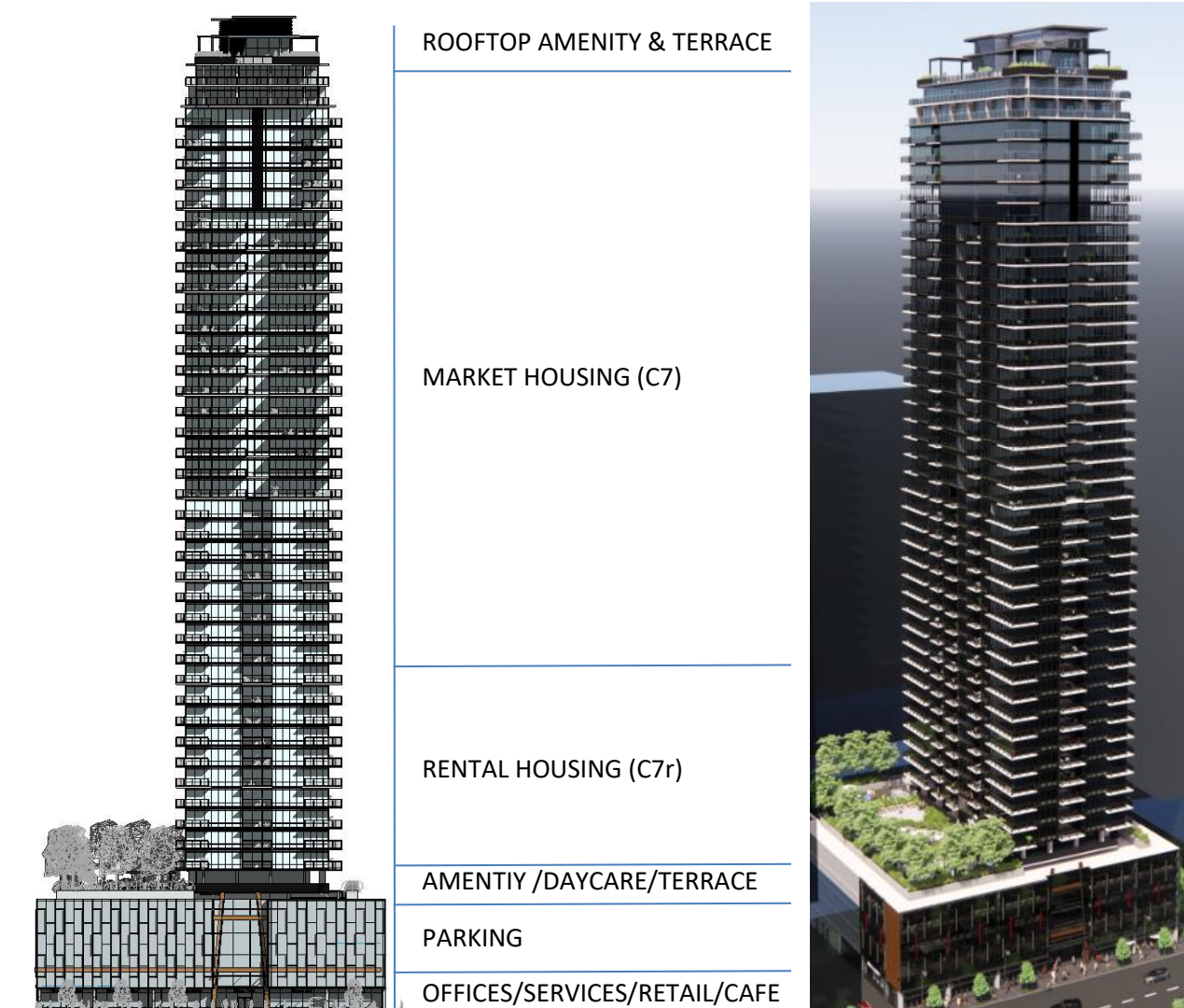
The amenity areas on the rooftop and podium level provide over 15,000ft² of shared community amenity space for people of all ages, all walks of life, and all income levels to mingle and interact. In a time of great societal division, never has it been more important to bring our community together to build sociological resilience and understanding. As a City, we need to ensure these spaces are incorporated into new developments, particularly those of high-density.

6) Commercial Businesses

A balanced downtown core has a blend of commercial businesses and residential homes; this building is no different. 9000ft² of street level commercial is incorporated into the podium. This space will bring more jobs into the downtown core and lower the City’s collective carbon footprint.

7) Active Transportation/Decreased Car Dependence

This site boasts a walk score of 86 and a bike score of 95, meaning it is on of the best locations in Kelowna to promote density and alternative transportation options. Increasing the amount of foot/bike traffic within the downtown core will enhance the vibrancy along the many commercial streets and shops. To encourage building residents to utilize these alternative transportation options, multiple bike wash/repair stations have been designed within the parkade levels, with over 400 long term bike parking spaces incorporated into the building. If bicycling does not work for some people, 6 car share vehicles will also be provided to promote reduced car ownership.



SUSTAINING RENTAL HOUSING THROUGH ZONING

ASSURANCE UNDERTAKING & AIR RIGHTS PARCELIZATION

Providing certainty of the intended use of parts of the development for rental and market housing purposes is needed to solidify the ongoing use in perpetuity.

To secure the assurance of ongoing use for purpose built rental housing, an air rights subdivision will be placed on the structure to enable C7r zoning on the rental portion of the building, with C7 zoning on the balance. Registration of the air rights subdivision is a developer's condition prior to release of the Building Permit to assure implementation of the rental use.

OCP AMENDMENT & ZONING

2020 completes the 4th quarter of the existing development planned for the Bertram Block. The requested OCP amendment is to change the MRM designation to MXR. We acknowledge that this is a significant request, but it is warranted given that the property is bound on the South and West sides by existing, C7 zoned neighbours with approved high-rise projects.

Apart from the Future Land Use Designation change, the proposal does meet many other goals and objectives of the OCP. A sample of these objectives include, but are not limited to the following:

Objective 6.2 Improve energy efficiency and reduce community greenhouse gas emissions.

Objective 7.4 Ensure that densification of existing neighborhoods happens in a context of directly contributing to enhanced livability.

Objective 7.7 Reduce peak hour trips and the percentage of trips undertaken by single occupant vehicles, particularly in Urban Centres, in order to reduce or eliminate the expansion of the transportation network and capacity.

Objective 7.11 Implement parking management programs that promote reduced car ownership, reduced car trips and increased use of active modes of transportation.

Objective 10.3 Support the creation of affordable and safe rental, non-market and/or special needs housing.

In addition to the OCP amendment, this application will also amend the present zoning on the 3 Bertram lots from RU6, Two Dwelling Housing, to C7 and C7r, Central Business Commercial. The lots will be consolidated as a condition of zoning approval.

VARIANCE



The present C7 height limit within this sector of downtown is 12 storeys. The narrow 46 storey structure will require a height variance. For context purposes, there are 3 already approved towers on the same block, 2 of which required height variances and are 26 & 33 storeys tall.



CONCLUSION

The time has come for Kelowna to take an inclusive step forward into modern paradigm of housing for all. 2020 offers living that achieves many of the environmental, economic, and cultural objectives put forward in the OCP and the Healthy Housing Strategy. This project will be a leader in community building design and will contribute dramatically to the vibrancy of Downtown. We kindly request support from Staff and Council to move this project forward to approval.



BERTRAM TOWER

1464, 1468, 1476 Bertram Ave, Kelowna, BC

ISSUED for DP
NOVEMBER 02, 2020



ARCHITECTURAL DRAWINGS

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Jack Kosmery, Senior Design Technologist
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jack@newtownservices.net

- A0.0 COVER SHEET
- A0.1 ZONING REVIEW
- A0.2 IMAGES
- A0.3 IMAGES
- A0.4 IMAGES
- A2.0 EXISTING TOPOGRAPHIC SURVEY
- A2.1 CONTEXT PLAN
- A3.0 MAIN FLOOR PLAN / SITE PLAN
- A3.1 LEVEL 2 PARKADE
- A3.2 LEVEL 3-4 PARKADE
- A3.3 LEVEL 5 PARKADE
- A3.4 LOWER ROOFTOP PATIO
- A3.7 TYPICAL FLOOR PLAN LEVELS 39-43
- A3.8 TYPICAL PENTHOUSE LEVEL 44-45
- A3.9 ROOFTOP AMENITY
- A3.10 MECHANICAL LEVEL
- A3.11 ROOF PLAN
- A4.0 ELEVATIONS
- A4.1 ELEVATIONS
- A4.2 MATERIALS
- A5.0 BUILDING SECTIONS
- A5.1 BUILDING SECTIONS

LANDSCAPE DRAWINGS

OUTLAND DESIGN
303-590 KLO rd, Kelowna, B.C. V1Y 7S2
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fiona@outlanddesign.ca

- L1/2 CONCEPTUAL LANDSCAPE PLAN
- L2/2 WATER CONSERVATION/IRRIGATION PLAN



OVERALL CONTEXT



NEIGHBOURHOOD CONTEXT

ALL CONTRACTORS ARE REQUIRED TO PERFORM THEIR WORK AND SUPPLY THEIR PRODUCTS IN COMPLIANCE WITH ALL BUILDING CODES AND LAWS OF THE PROVINCE OF BRITISH COLUMBIA

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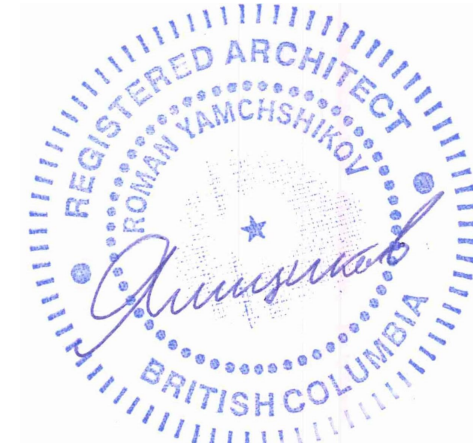
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Revisions

No	Date	Description
1	20-11-02	Issued For DP

project title

BERTRAM TOWER

project address

Bertram Ave, Kelowna, BC

project no.

4112

file no.

drawing title

COVER SHEET

designed

R.Y./JK

scale

12" = 1'-0"

drawn

J.

checked

R.Y.

drawing no.

A0.0

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BUILDING/SITE SUMMARY			
PROPERTY			
CIVIC ADDRESS:		1464, 1468, 1476 BERTRAM AVE, KELOWNA BC. V1Y 2G2	
LEGAL ADDRESS:		PLAN KAP2277 LOT 3 DISTRICT LOT 139 PLAN KAP2277 LOT 2 DISTRICT LOT 139 PLAN KAP2277 LOT 1 DISTRICT LOT 139	
SITE AREA:		2469.45 m²	
PROPOSED NET FLOOR AREA:		22,222.61 m²	
FLOOR AREA RATIO (FAR):		21,931.2 / 2469.45 = 8.88	
46 STOREY TOWER			
MAIN LEVEL COMMERCIAL			
LEVEL 2 -5 PARKADE			
LEVEL 6 AMENITY			
LEVELS 7-24 TYPICAL RESIDENTIAL UNITS			
LEVEL 25-43 TYPICAL RESIDENTIAL UNITS			
LEVELS 44-45 PENTHOUSE			
LEVEL 46 - ROOFTOP AMENITY			
LEVEL 47 - MECHANICAL			
PRIVATE OPEN SPACE SUMMARY:			
STUDIO UNIT (6.0m² EACH)		68 UNITS	= 408.0 m²
1 BEDROOM UNIT (10.0 m² EACH)		60 UNITS	= 600.0 m²
2/3 BERDROOM - LARGER UNITS (15 m² EACH)		148 UNITS	= 2220.0 m²
TOTAL REQUIRED:		276 UNITS	= 3228.0 m²
PRIVATE OPEN SPACE PROPOSED:			
BALCONIES			= 3298.36 m²
ROOFTOP PATIOS			= 1301.21 m²
AMENITY			= 155.0 m²
TOTAL			= 4754.57 m²
PARKING:			
PARKADE: 5 STOREYS ABOVE GRADE (133 REGULAR - 49.5%, 2 van HC+4 HC - 2.2%, 131 SMALL - 48.3% = 270 stalls)			
<u>REQUIRED:</u>			
COMMERCIAL:			
0.9 STALL PER 100m² : (1020m²/100 m²) x 0.9			= 9 STALLS
RESIDENTIAL:			
STUDIO UNITS (0.8 PER UNIT)		68 UNITS	= 54.4 STALLS
1 BEDROOM UNITS (0.9 PER UNIT)		60 UNITS	= 54.0 STALLS
2 BEDROOM UNITS (1.0 PER UNIT)		58 UNITS	= 58.0 STALLS
3 BEDROOM UNITS (1.0 PER UNIT)		54 UNITS	= 54.0 STALLS
CO-LIV UNITS (1.0 PER UNIT)		36 UNITS	= 36.0 STALLS
			= 256.4 STALLS
VISITOR:			
0.14 PER DWELLING UNIT		276 UNITS	= 38.64STALLS
TOTAL REQUIRED PARKING:			304.04 STALLS
PARKING BONUS			
BONUS LONG-TERM BIKE PARKING			- 5.0 STALLS
CAR-SHARE INCENTIVES (PROVIDE 6 CAR SHARE VEHICLES)			- 30.0 STALLS
REQUIRED IN PARKADE:			269.4 STALLS
TOTAL PROVIDED			270.0 STALLS
NUMBER OF BICYCLE PARKING SPACE :			
COMMERCIAL SPACE		LONG-TERM : 1 PER 500m²	1020m² = 2.00
		SHORT-TERM : 2 PER ENTRANCE	1 ENTRANCE = 2.00
RESIDENTIAL SPACE			
BONUS LONG-TERM:			
STUDIO UNITS (1.0 PER UNIT)		68 UNITS	= 68.0
1 BEDROOM UNITS (1.0 PER UNIT)		60 UNITS	= 60.0
2 BERDROOM UNITS (1.5 PER UNIT)		58 UNITS	= 87.0
3 BEDROOM UNITS (2.0 PER UNIT)		54 UNITS	= 108.0
CO-LIV UNITS (2.0 PER UNIT)		36 UNITS	= 72.0
SHORT-TERM:			
6 PER ENTRANCE PLUS 1 FOR EVERY			
5 UNITS OVER 70 UNITS		6 + ((276-70)/5)	= 47.0
TOTAL:		LONG-TERM:	= 395.0
		SHORT-TERM:	= 47.0
PROVIDED:			
		LONG-TERM:	= 413.0
		SHORT-TERM:	= 60.0

ZONING BYLAW SUMMARY		
SITE:	REQUIRED	PROPOSED
MINIMUM SITE AREA:	200m²	2469.45 m²
SITE WIDTH:	6m	49.20m
SITE DEPTH:	30m	50.90m
TOTAL NUMBER OF UNITS & TYPES	NA	68 - STUDIO UNITS
	NA	60 - 1 BEDROOM UNITS
	NA	58 - 2 BEDROOM UNITS
	NA	54 - 3 BEDROOM UNITS
	NA	36 - CO-LIVING UNITS
TOTAL UNITS:		276 UNITS
ZONE:	C7	C7
MAXIMUM FLOOR AREA RATIO:	9.00	9.00
MAXIMUM BUILDING FOOTPRINT BELOW 16m HEIGHT	NA	2350 m²
MAXIMUM BUILDING FOOTPRINT ABOVE 16m HEIGHT	697m² OR LESS	695 m²
SEPARATION FROM THE NEIGHBOURING TOWERS	30.5m MIN	>31m
MAXIMUM HEIGHT: VARIANCE REQ'D	37m/12 STOREYS	137.048m OR 46 STOREYS
BUILDINGS SETBACK		
SIDE:		
MINIMUM SOUTH SETBACK - UP TO 16M	0.0 m	0.0 m
MINIMUM SOUTH SETBACK - OVER 16M	4.0 m	21.0 m
FRONT:		
MINIMUM EAST SETBACK - UP TO 16M	0.0 m	0.0 m
MINIMUM EAST SETBACK - OVER 16M	3.0 m	4.1 m
SIDE:		
MINIMUM NORTH SETBACK - UP TO 16M	0.0 m	0.0 m
MINIMUM NORTH SETBACK - OVER 16M	4.0 m	8.0 m
REAR:		
MINIMUM WEST SETBACK - UP TO 16M	0.0 m	0.0 m
MINIMUM WEST SETBACK - OVER 16M	3.0 m	10.7m

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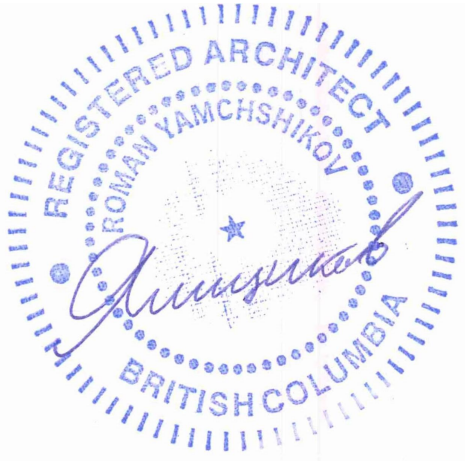
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Revisions		
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project address	
Bertram Ave, Kelowna, BC	
project no.	4112
file no.	
drawing title	
ZONING REVIEW	
designed	R.Y./JK
drawn	J.
checked	R.Y.
drawing no.	A0.1
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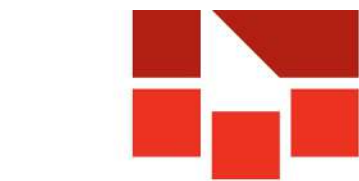
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project no. 4112

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IMAGES

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R.Y.

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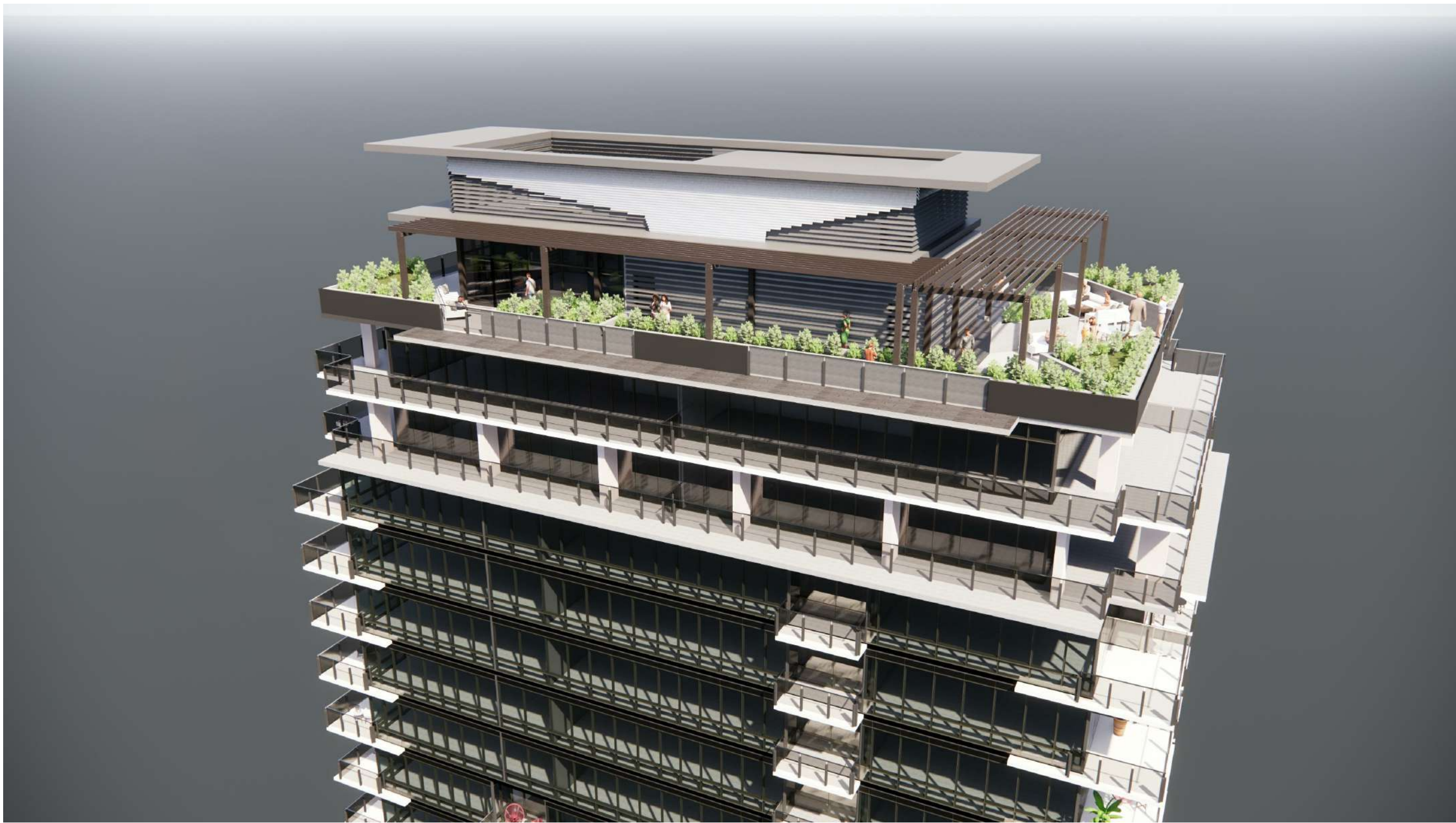
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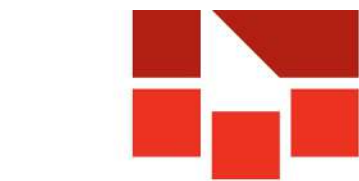
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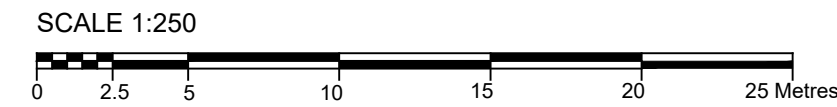
SITE PLAN OF LOT 1, 2 AND 3
DISTRICT LOT 139 OSOYOOS DIVISION
YALE DISTRICT PLAN 2277

PID: 011-048-069 (LOT 1)
007-353-677 (LOT 2)
002-509-067 (LOT 3)
CLIENT: 1090396 BC LTD.
CIVIC ADDRESS: 1464, 1468, 1476 BERTRAM STREET

HORIZONTAL COORDINATE SYSTEM: UTM 11 NAD83(CSRS)
VERTICAL DATUM: CGVD28

DATE OF FIELD SURVEY: JUNE 8, 2020

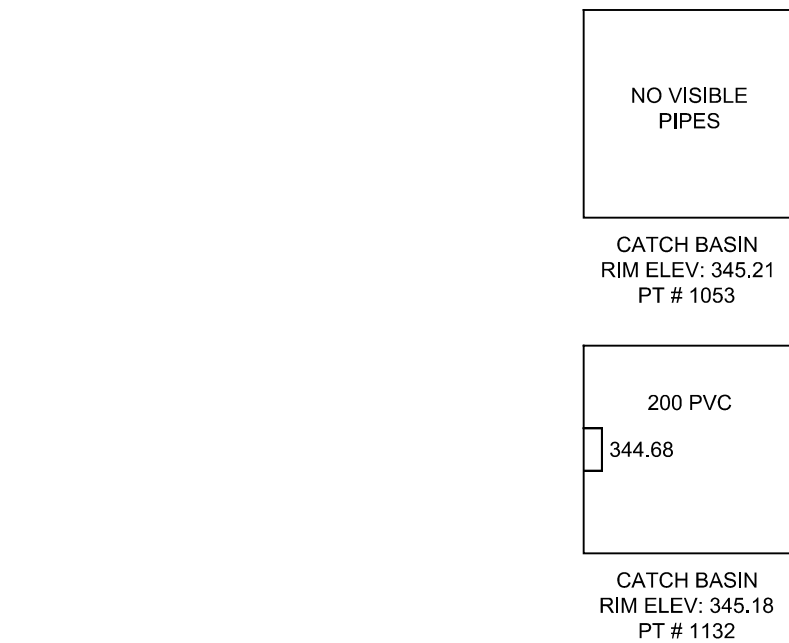
REFER TO THE CURRENT STATE OF TITLE FOR CHARGES,
LIENS, AND INTERESTS AFFECTING THIS LAND.



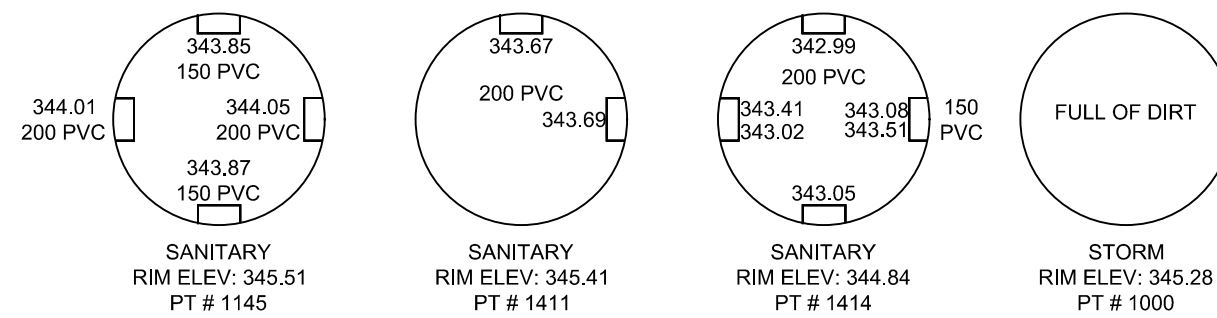
LEGEND

- Subject Property
- Major Contour (0.5m)
- Minor Contour (0.1m)
- Fence
- Power Pole
- Water Valve
- Fire Hydrant
- Lamp Standard
- Catch Basin
- Communication Manhole
- Sanitary Manhole
- Drainage Manhole
- Sign
- Asphalt
- Junction Box
- Vault
- Transformer
- Pedestal
- Clean Out
- Curb Stop

Point #	Top Nut Elevation
1052	344.10
1139	345.58
1413	343.75



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SURVEY**

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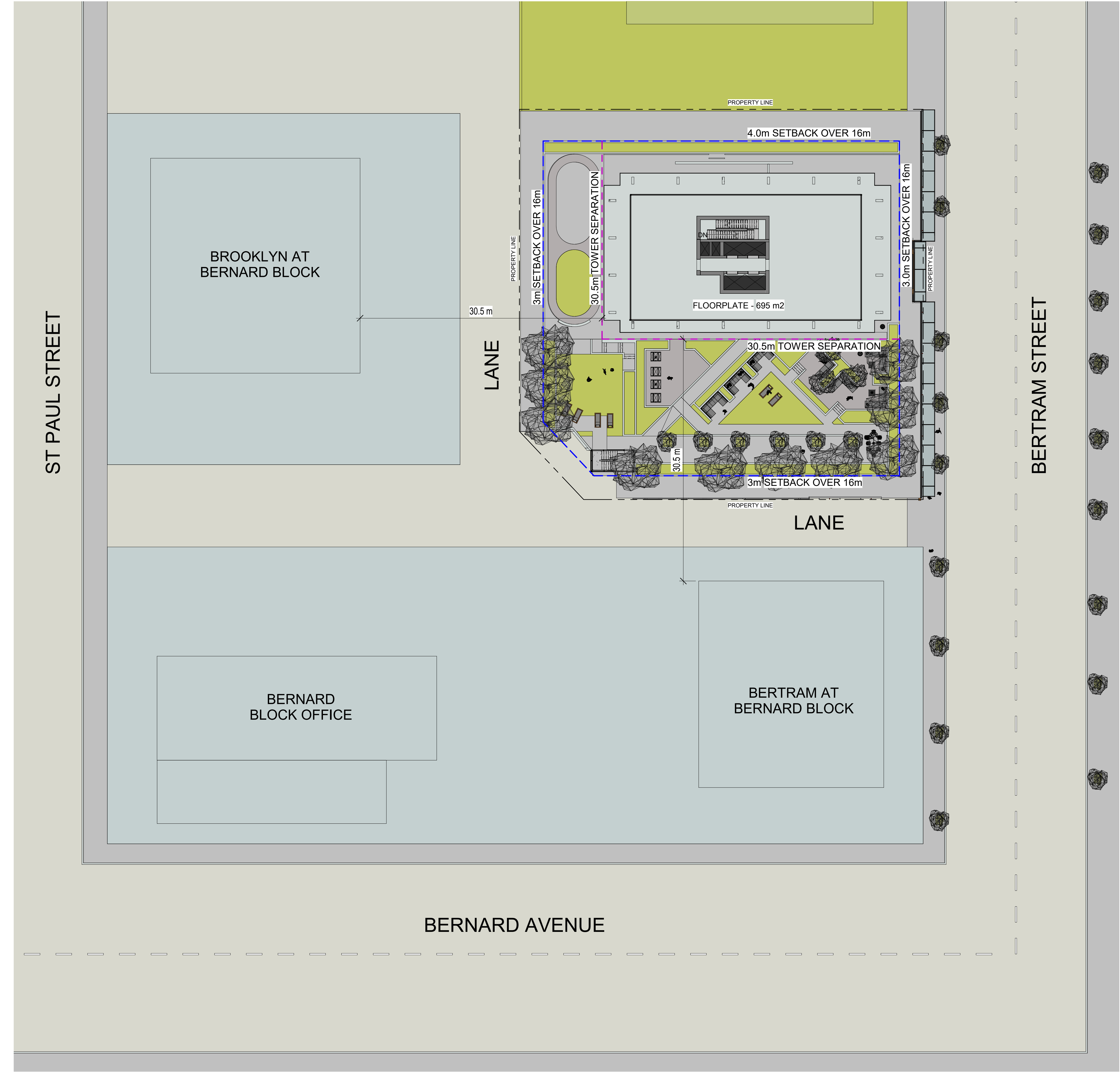
checked

R.Y.

drawing no.

A2.0

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① SITE PLAN
1 : 250

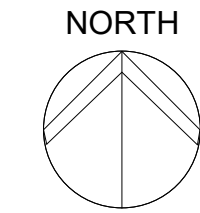
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No	Date	Description
1	20-11-02	Issued For DP

project title
BERTRAM TOWER

project address
Bertram Ave, Kelowna, BC

project no. 4112

file no.

drawing title
CONTEXT PLAN

designed R.Y./JK scale 1 : 250

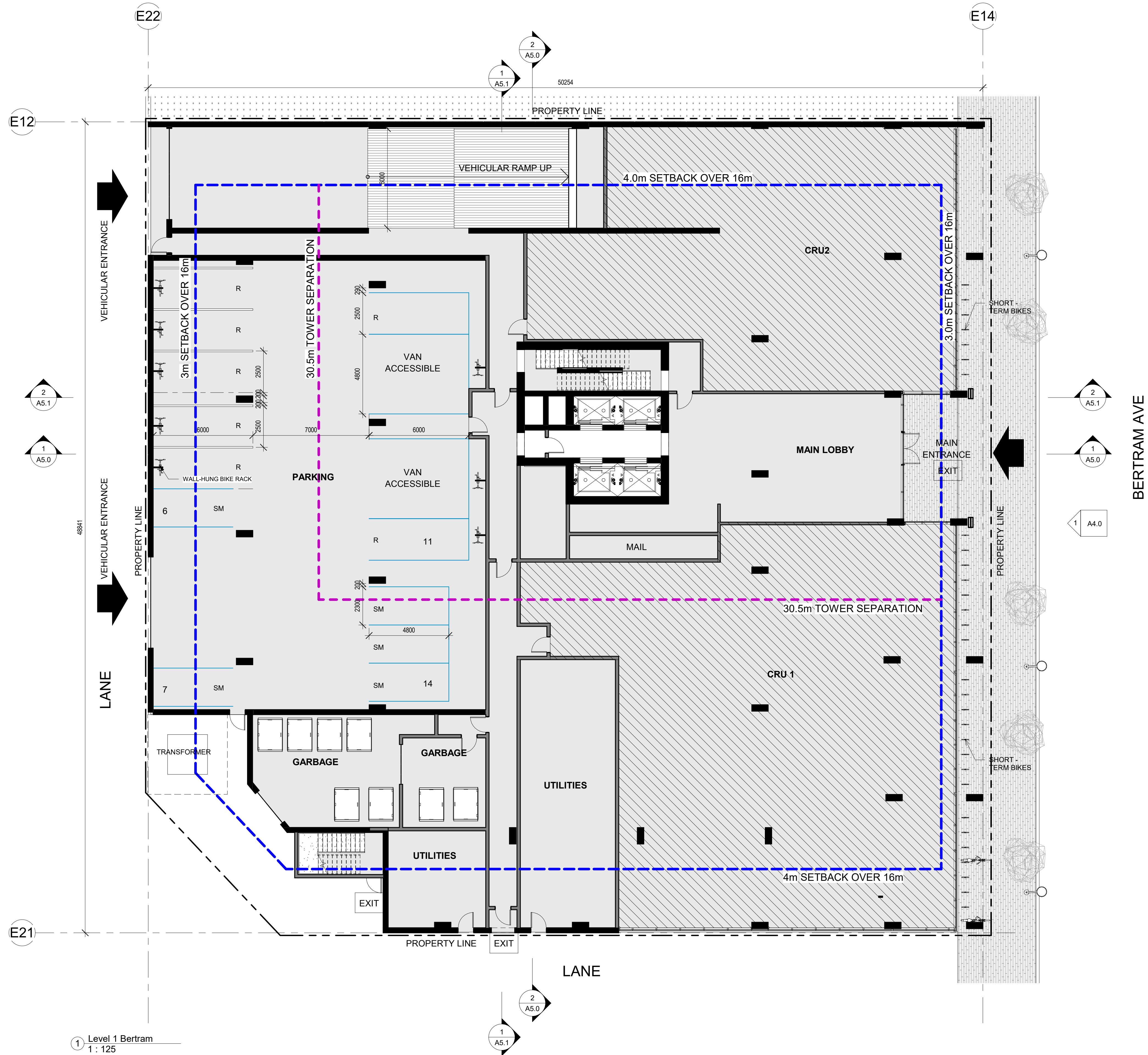
drawn J.

checked R.Y.

drawing no.

A2.1

plotted 02/11/2020 10:47:27 AM



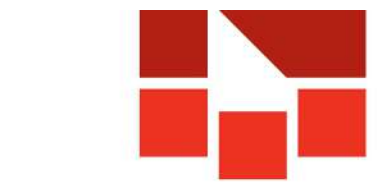
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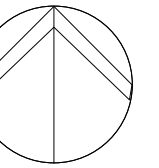
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Revisions

No	Date	Description
1	20-11-02	Issued For DP

project title

BERTRAM TOWER

project address

Bertram Ave, Kelowna, BC

project no.

4112

file no.

drawing title

**MAIN FLOOR
PLAN / SITE
PLAN**

designed

R.Y./JK

scale

1 : 125

drawn

J.

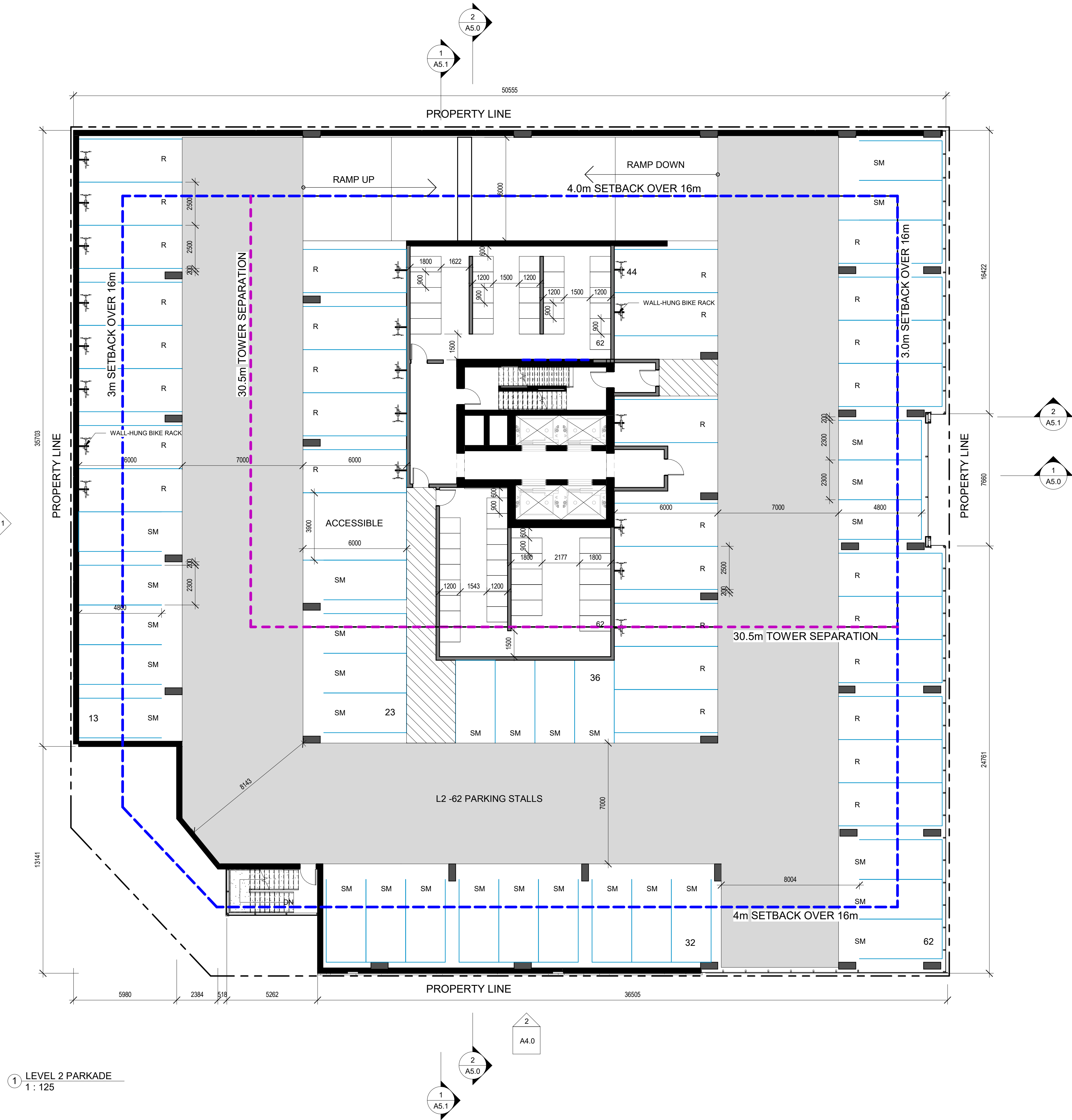
checked

R.Y.

drawing no.

A3.0

plotted 02/11/2020 10:47:30 AM



1 LEVEL 2 PARKADE
1 : 125

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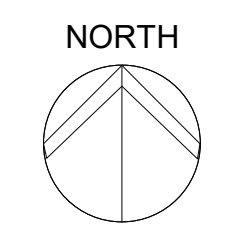
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BERTRAM TOWER

project address
Bertram Ave, Kelowna, BC

project no. 4112

drawing title
**LEVEL 2
PARKADE**

designed R.Y./JK scale 1 : 125

drawn J.

checked R.Y.

drawing no.

A3.1

plotted 02/11/2020 10:47:33 AM

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A circle with a vertical diameter. Two chords are drawn symmetrically from the top of the diameter to the circle's circumference, forming a triangle with the diameter.

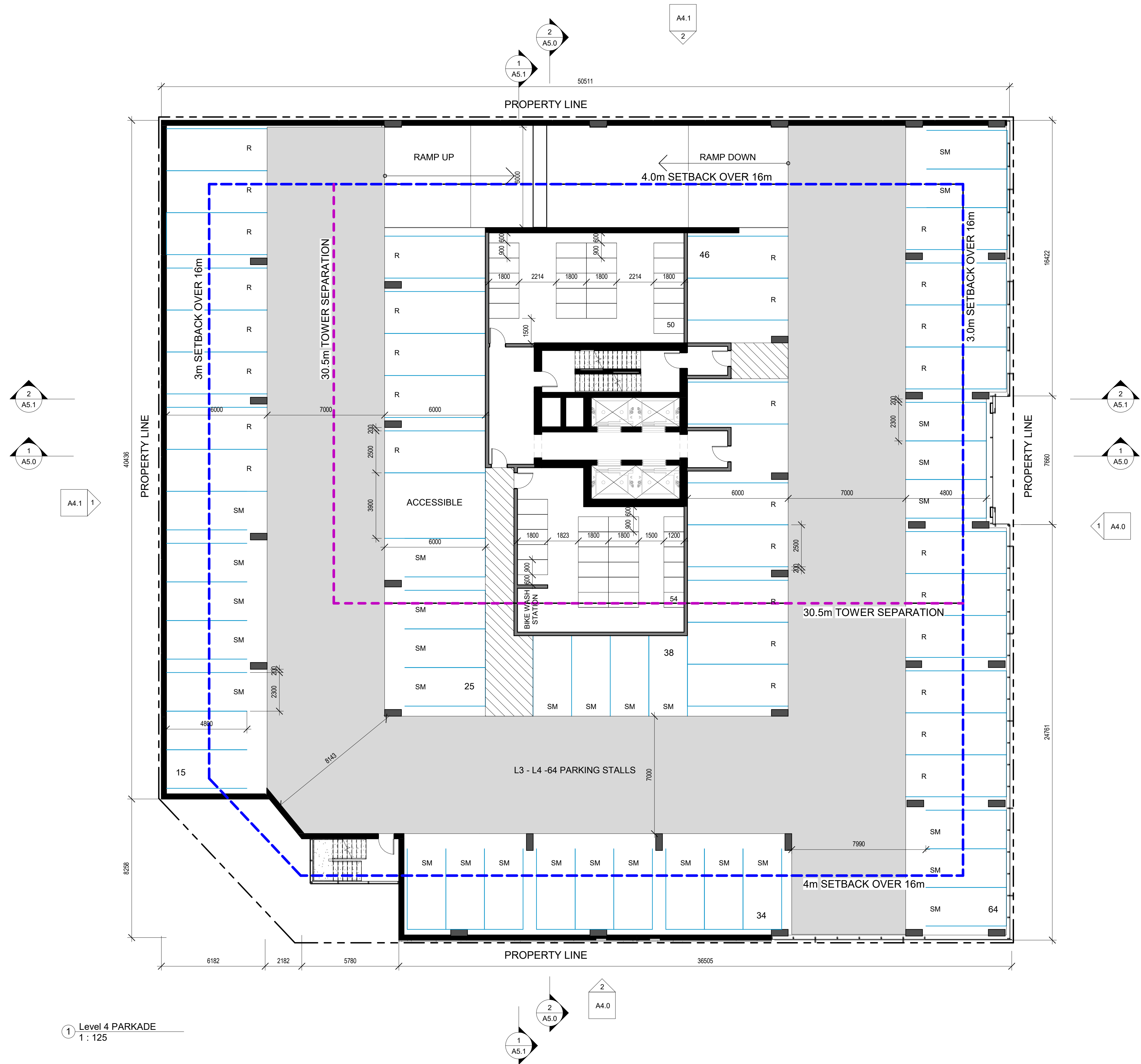
[illegible]

plotted 02/11/2020 10:47:36 AM

A3.2

plotted 02/11/2020 10:47:36 AM

NOT FOR CONSTRUCTION



① Level 4 PARKADE
1 : 125



1 Level 5 PARKADE
1 : 125

NOT FOR CONSTRUCTION

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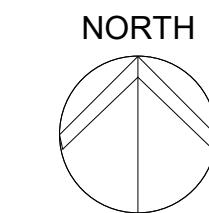
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BERTRAM TOWER

project address
Bertram Ave, Kelowna, BC

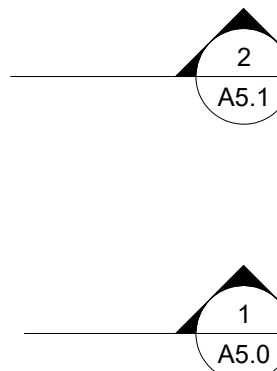
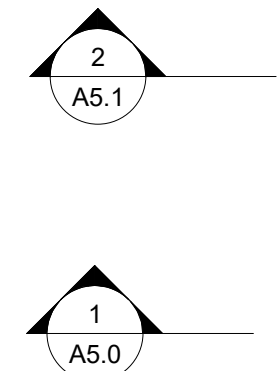
project no. 4112

drawing title
**LEVEL 5
PARKADE**

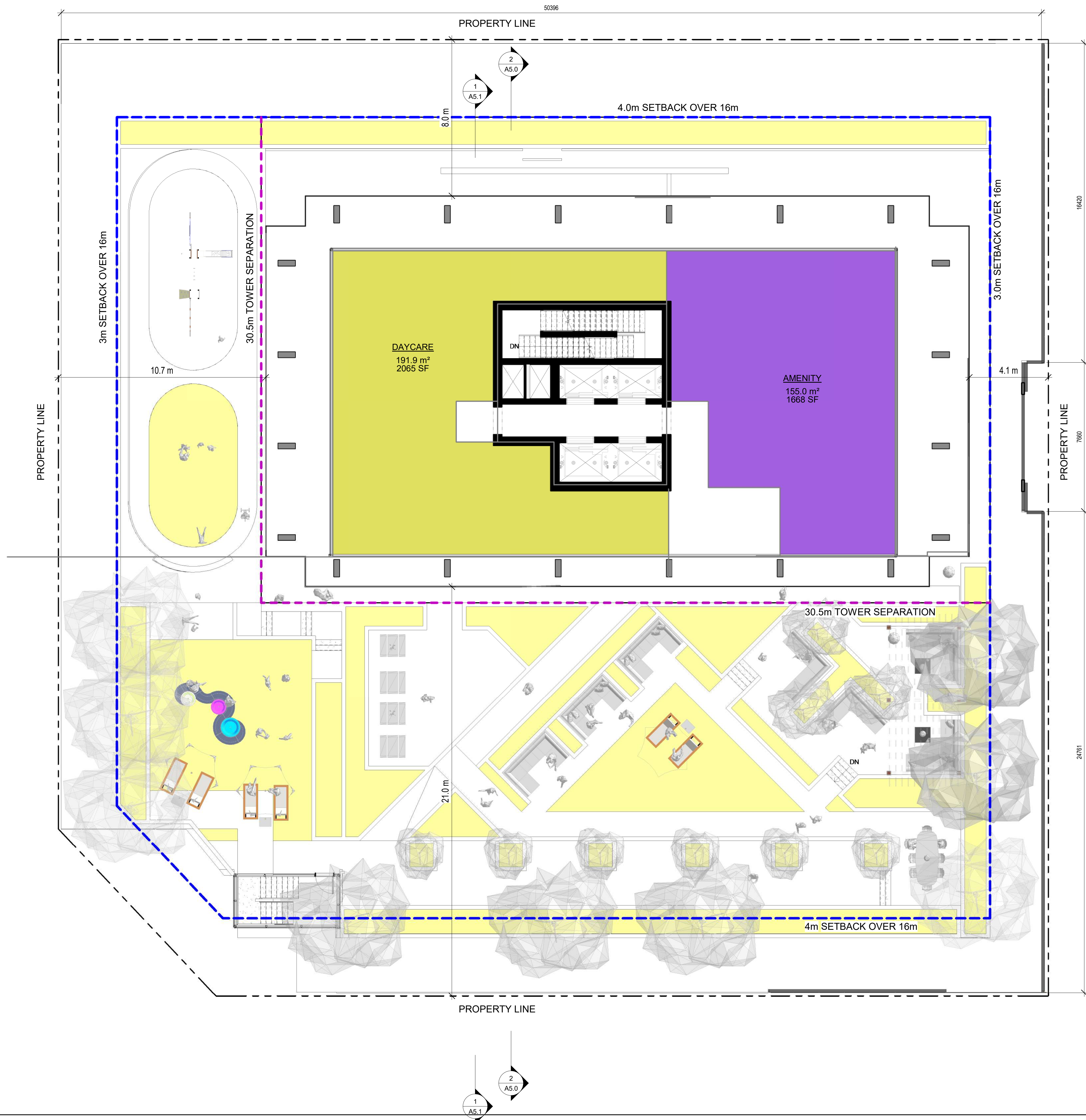
designed R.Y./JK scale 1 : 125
drawn J.
checked R.Y.
drawing no.

A3.3

plotted 02/11/2020 10:47:39 AM



① Level 6
1 : 100



NOT FOR CONSTRUCTION

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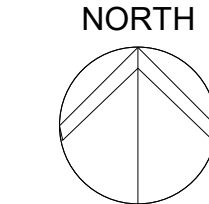
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No	Date	Description
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project title
BERTRAM TOWER

project address
Bertram Ave, Kelowna, BC

project no. 4112

drawing title
**LOWER
ROOFTOP
PATIO**

designed R.Y./JK scale 1 : 100
drawn J.
checked R.Y.
drawing no.

A3.4

plotted 02/11/2020 10:47:45 AM

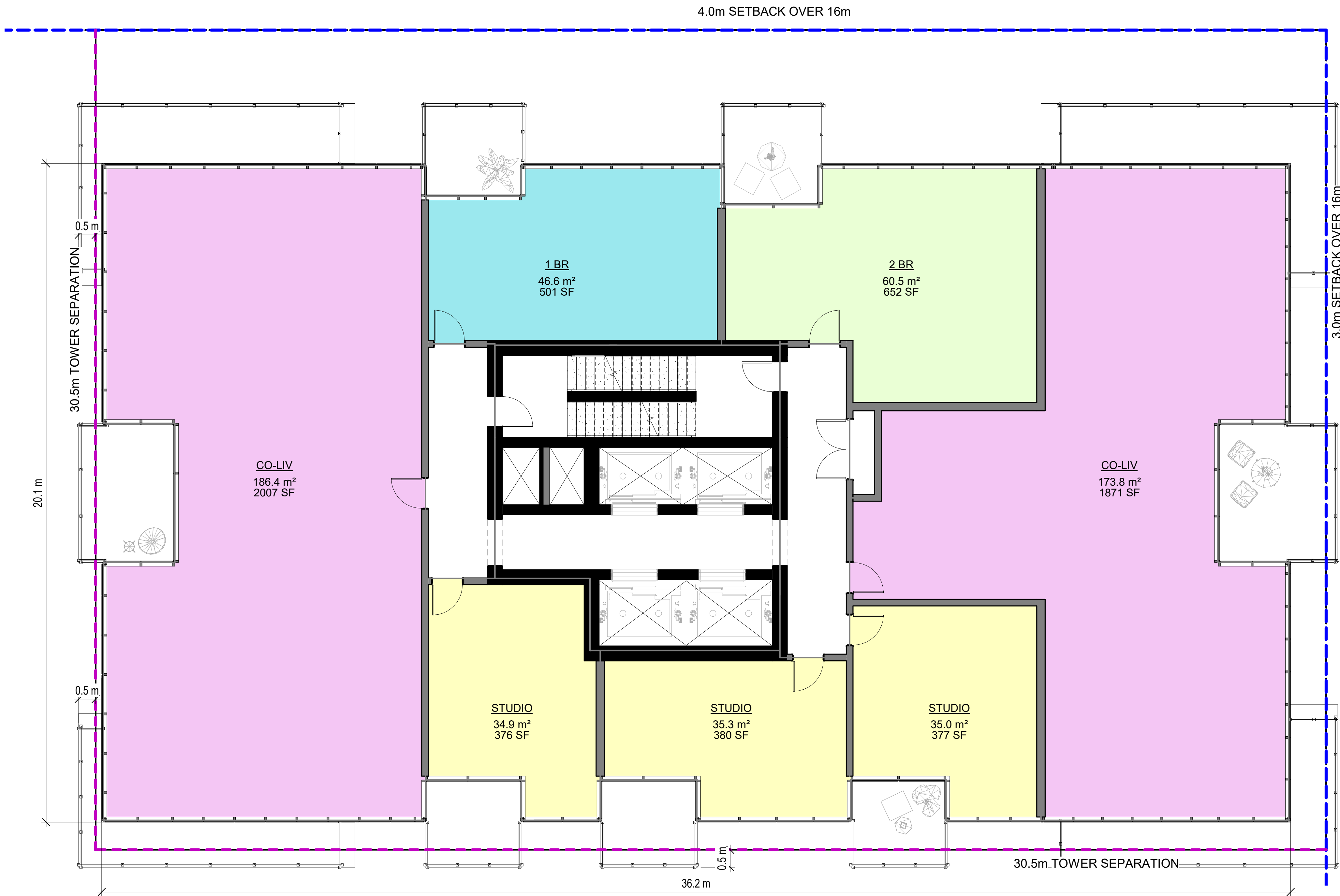
UNIT AREA SCHEDULE

1 BR	- 1 UNIT
2 BR	- 1 UNIT
CO-LIV	- 2 UNITS
STUDIO	- 3 UNITS
TOTAL	- 7 UNITS

LEVEL 7-24
TOTAL 18 LEVELS - 126 UNITS

MAX. FLOOR PLATE AREA = 697m²

FLOOR PLATE AREA = 691m²



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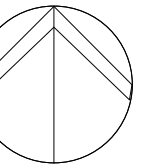
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Revisions

No	Date	Description

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BERTRAM TOWER

project address

Bertram Ave, Kelowna, BC

project no.

4112

file no.

drawing title

**TYPICAL
FLOOR PLAN
LEVELS 7-24**

designed

R.Y./J.K.

scale

1 : 75

drawn

J.

checked

R.Y.

drawing no.

A3.5

plotted 02/11/2020 10:47:48 AM

UNIT AREA SCHEDULE

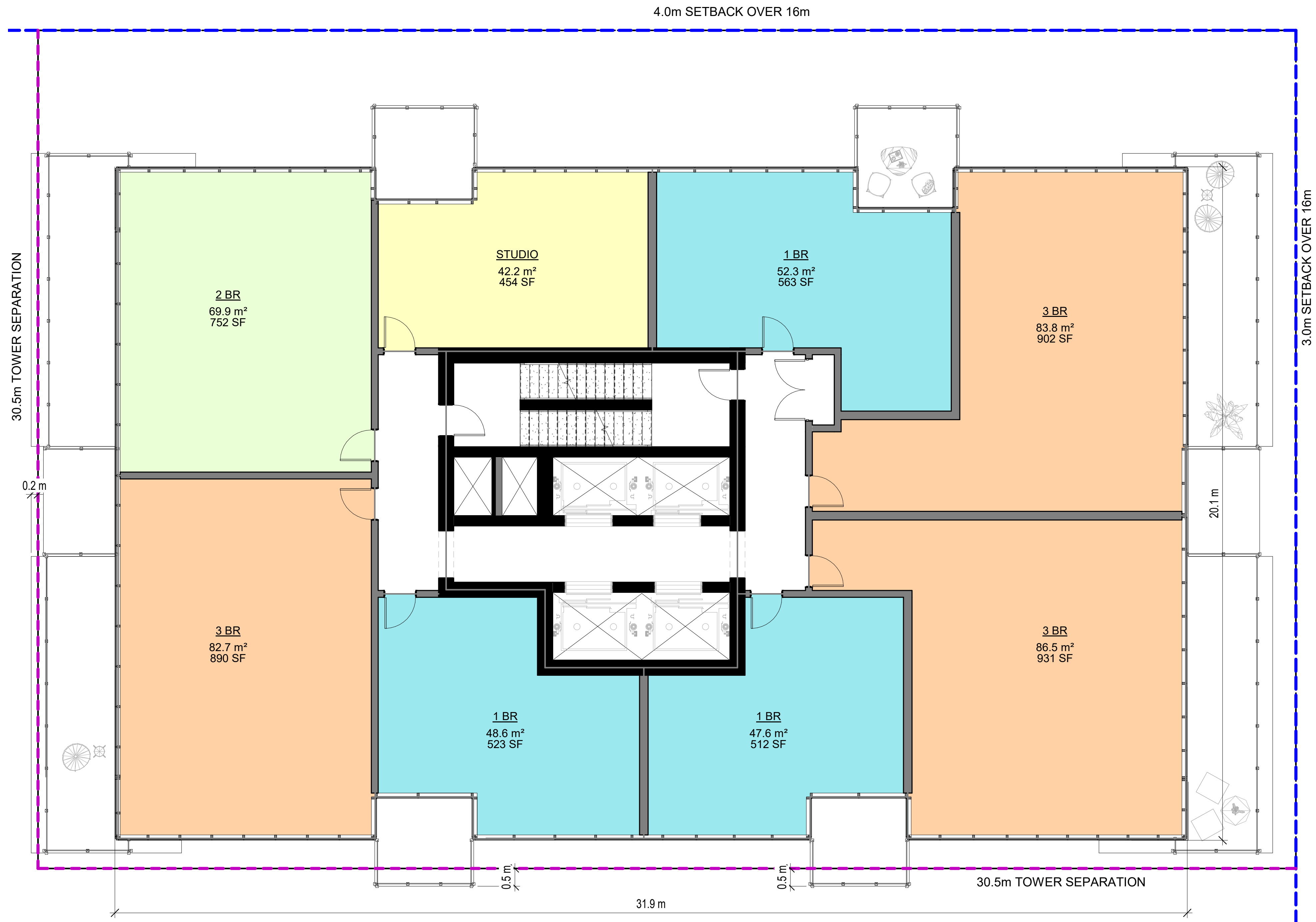
- 1 BR - 3 UNITS
- 2 BR - 1 UNIT
- 3 BR - 3 UNITS
- STUDIO - 1 UNIT

TOTAL - 8 UNITS

LEVEL 25-36
TOTAL 14 LEVELS - 112 UNITS

MAX. FLOOR PLATE AREA = 697m²

FLOOR PLATE AREA = 626m²



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project no.

4112

file no.

drawing title

**TYPICAL
FLOOR PLAN
LEVELS 25-38**

designed

R.Y./JK

scale

1 : 75

drawn

J.

checked

R.Y.

drawing no.

A3.6

plotted 02/11/2020 10:47:51 AM

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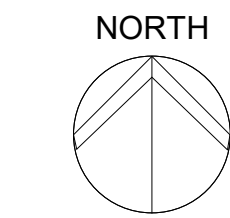
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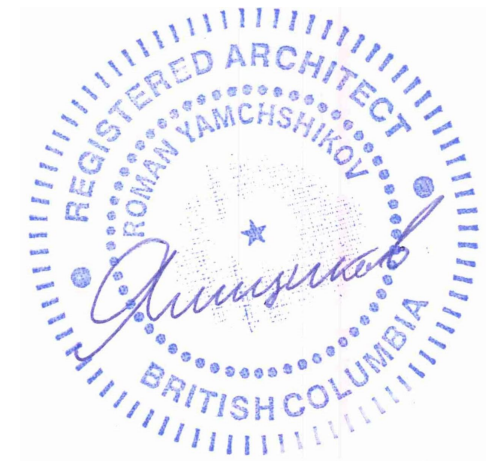
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project address

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file no.

drawing title

**TYPICAL
FLOOR PLAN
LEVELS 39-43**

designed R.Y./JK

scale 1 : 75

drawn J.

checked R.Y.

drawing no.

A3.7

plotted 02/11/2020 10:47:54 AM

UNIT AREA SCHEDULE

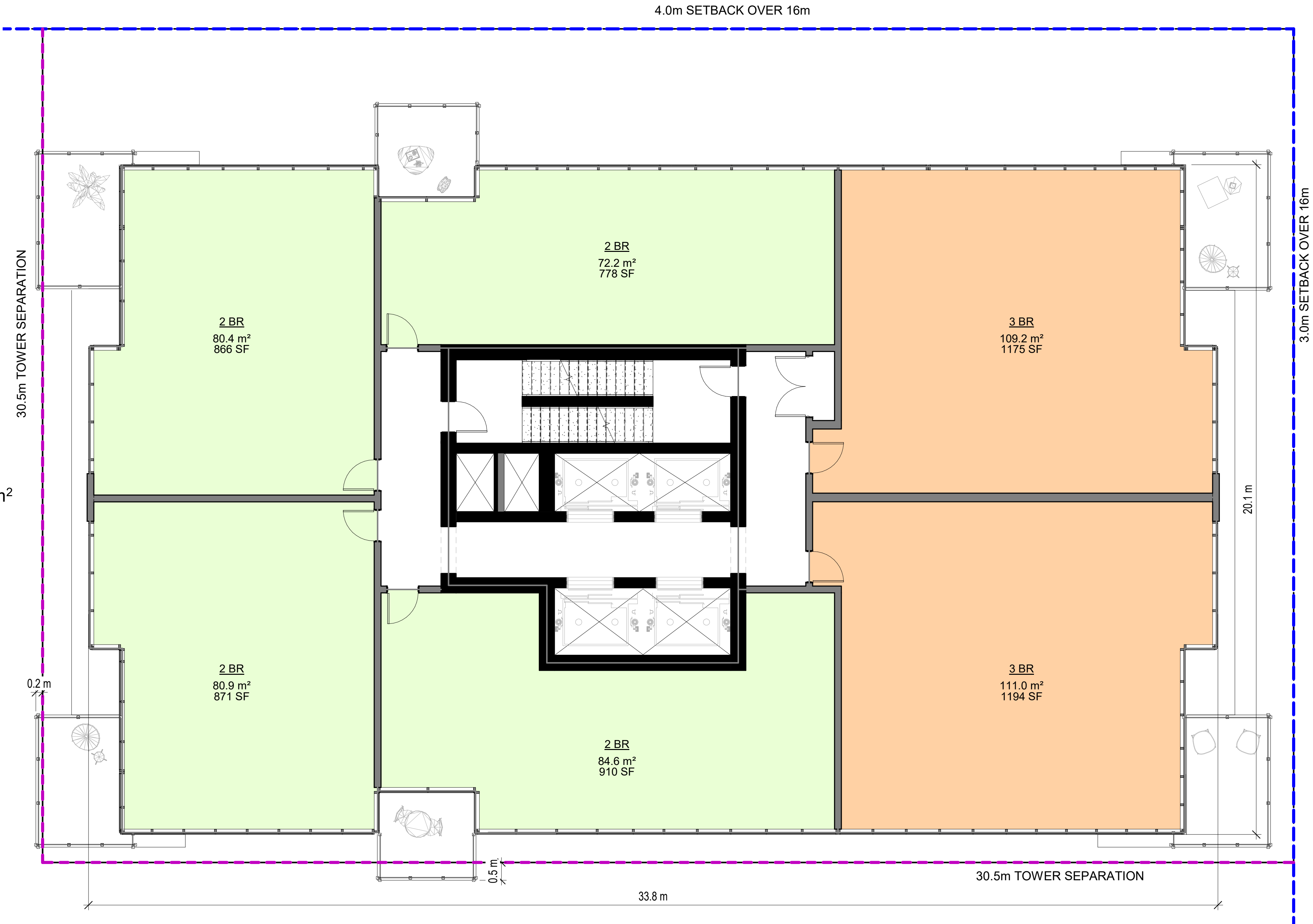
- 2 BR - 4 UNITS
- 3 BR - 2 UNITS

TOTAL - 6 UNITS

LEVEL 39-43
TOTAL 5 LEVELS - 30 UNITS

MAX. FLOOR PLATE AREA = 697m²

FLOOR PLATE AREA = 652m²



UNIT AREA SCHEDULE

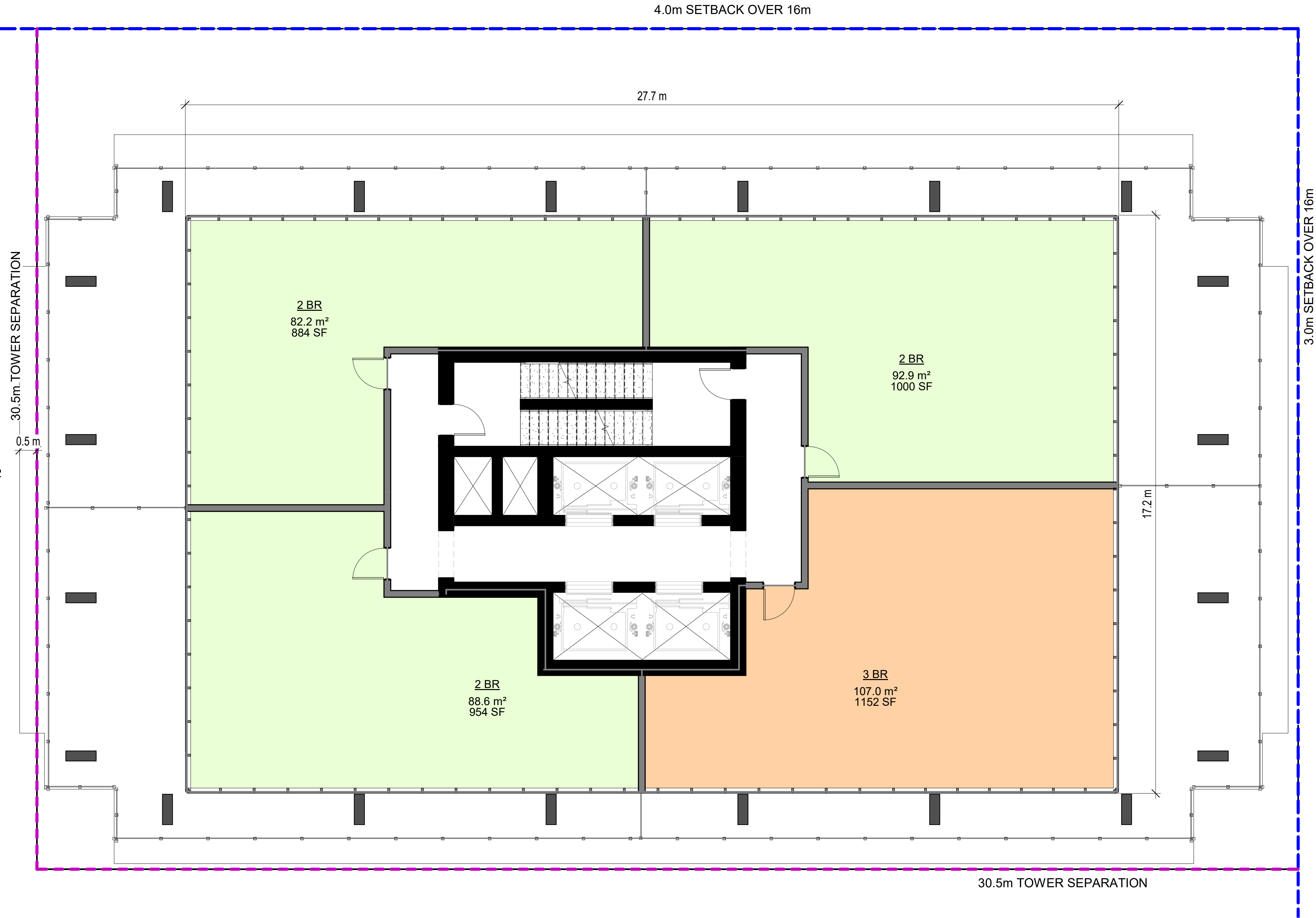
- 2 BR- 3 UNITS
- 3 BR- 1 UNIT

TOTAL - 4 UNITS

LEVEL 44-45 - PENTHOUSE
TOTAL 2 LEVELS - 8 UNITS

MAX. FLOOR PLATE AREA = 697m²

FLOOR PLATE AREA = 476m²



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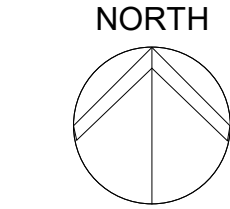
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project title

BERTRAM TOWER

project address

Bertram Ave, Kelowna, BC

project no. 4112

file no.

drawing title

TYPICAL
PENTHOUSE
LEVEL 44-45

designed R.Y./JK

drawn J.

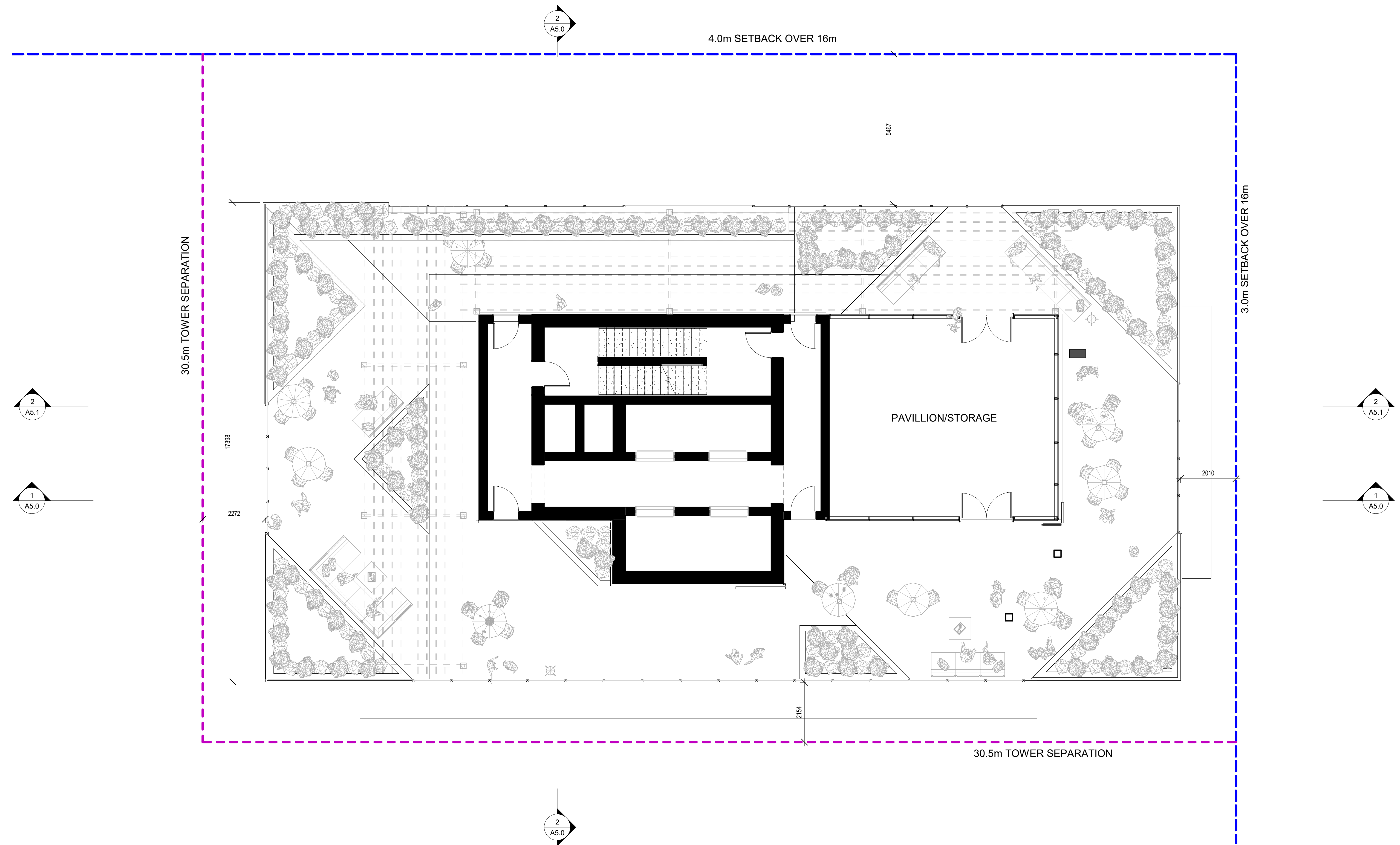
checked R.Y.

drawing no.

scale 1 : 75

plotted 02/11/2020 10:47:57 AM

A3.8



① R/T AMENITY
1 : 75

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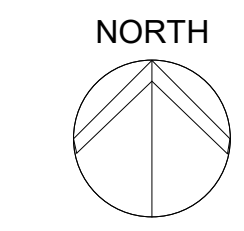
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project title
BERTRAM TOWER

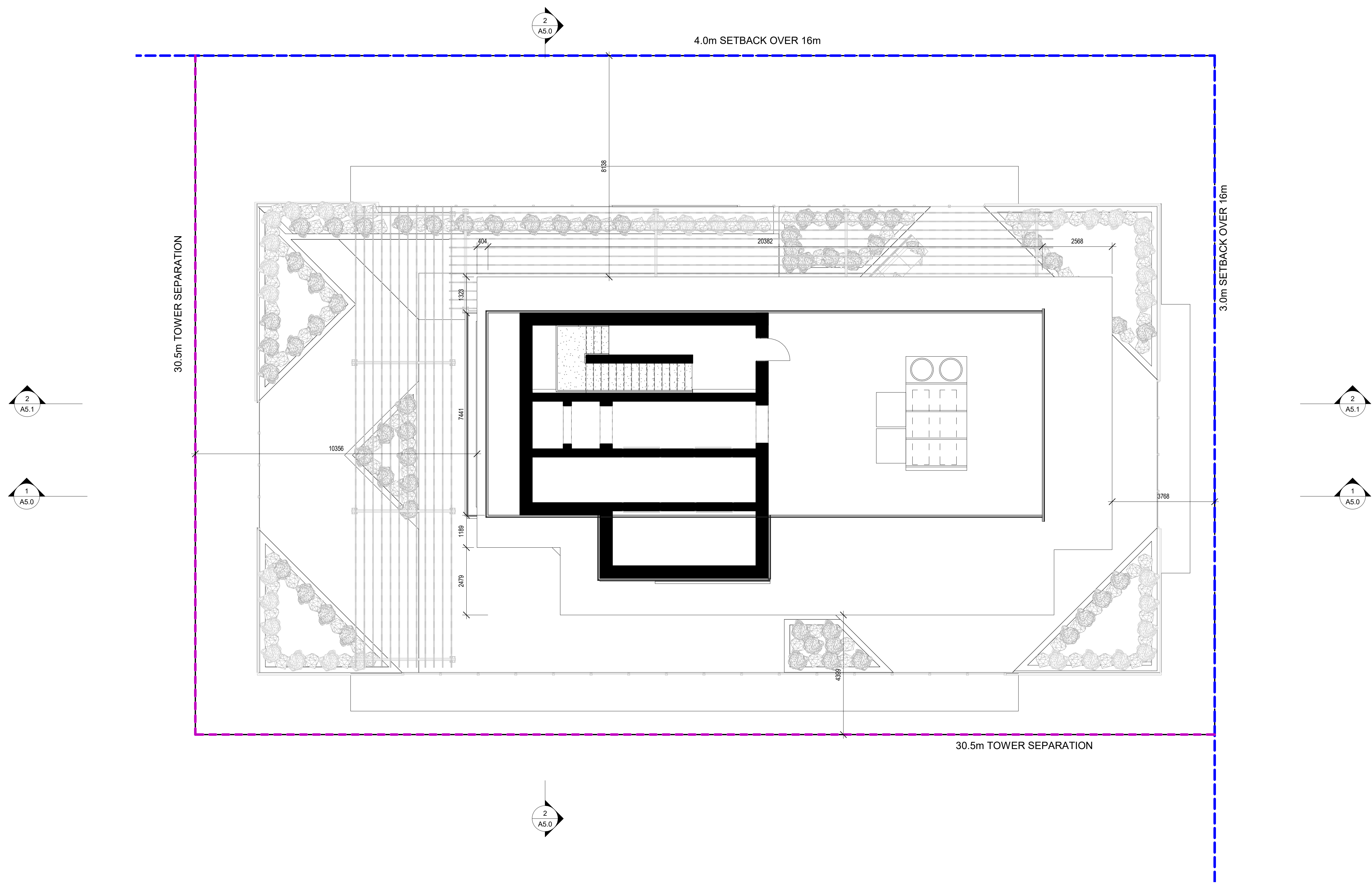
project address
Bertram Ave, Kelowna, BC

project no. 4112

file no.
drawing title
ROOFTOP AMENITY

designed	R.Y./JK	scale	1 : 75
drawn	J.		
checked	R.Y.		
drawing no.	A3.9		

plotted 02/11/2020 10:48:01 AM



① MECHANICAL
1 : 75

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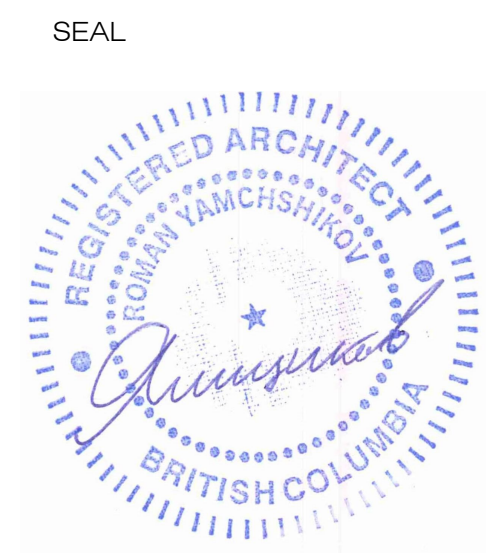
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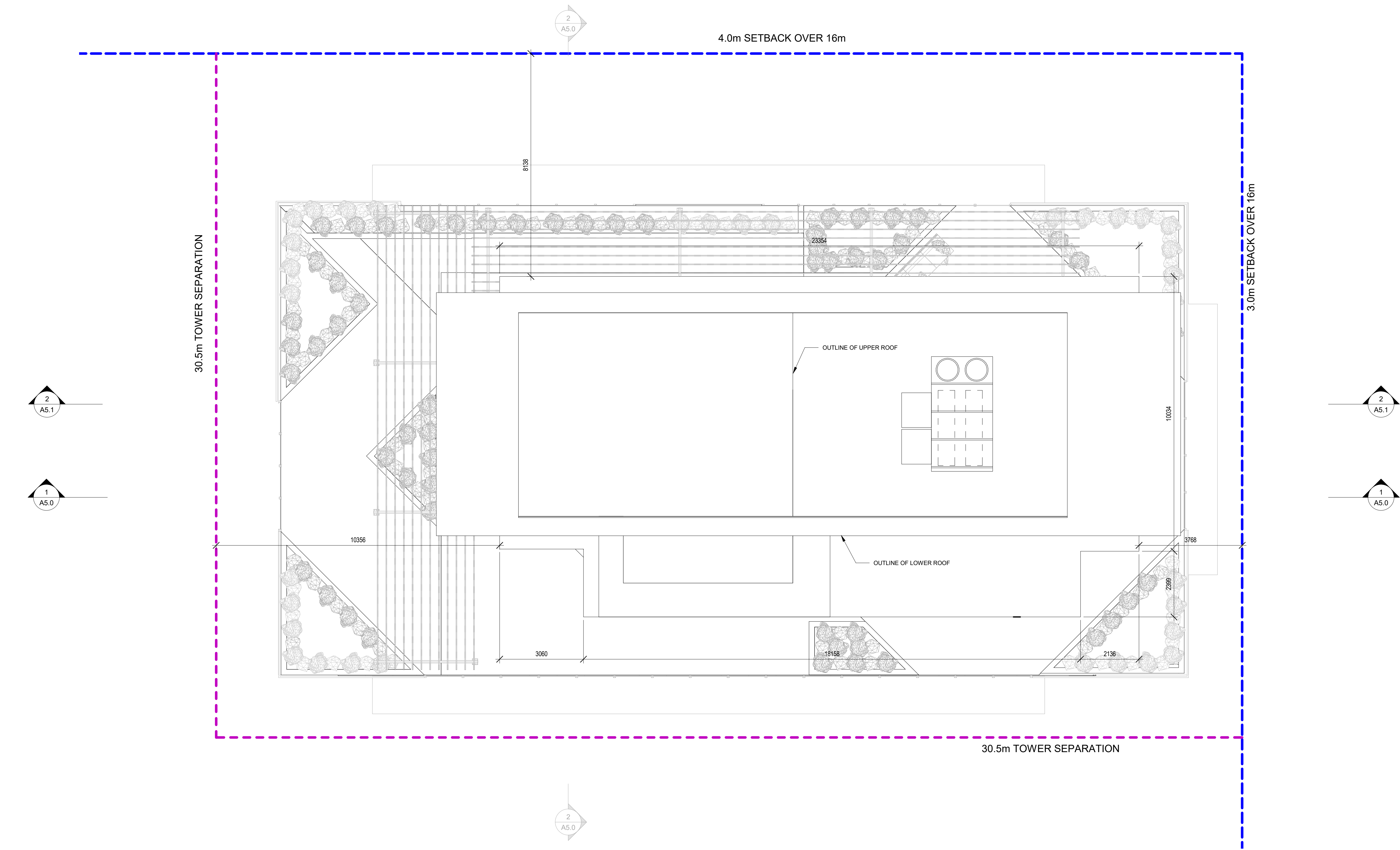
project title
BERTRAM TOWER

project address
Bertram Ave, Kelowna, BC

project no. 4112

file no.
drawing title
**MECHANICAL
LEVEL**

designed	R.Y./JK	scale	1 : 75
drawn	J.		
checked	R.Y.		
drawing no.	A3.10		



① UPPER ROOF
1 : 75

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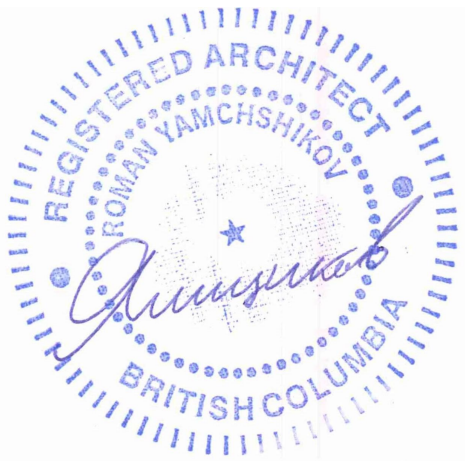
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project no. 4112

file no.

drawing title
ROOF PLAN

designed R.Y./JK scale 1 : 75

drawn J.

checked R.Y.

drawing no.

A3.11

plotted 02/11/2020 10:48:08 AM

1. ARCHITECTURAL EXPOSED CONCRETE
2. CURTAIN WALL - TINTED GLASS PANEL
3. TIMBER COLUMN
4. TIMBER BEAM
5. SHORT-TERM BIKE RACK
6. VERTICAL CURTAIN WALL CAP - RED
7. VERTICAL CURTAIN WALL CAP - SILVER
8. GLASS CANOPY
9. ALUMINUM/GLASS DOOR
10. METAL PERGOLA
11. PLANTER BOX
12. METAL CLAD BAND
13. ALUMINUM EXTERIOR CLADDING
14. GLASS RAILING
15. MECHANICAL SCREEN
16. PAD-MOUNTED TRANSFORMER
17. CONCRETE WALL BAND
18. OVERHEAD PARKADE DOOR
19. OVERHEAD GARBAGE/RECYCLING DOOR
20. WOOD SCREEN
21. CURTAIN WALL - GLASS FILM IMAGE



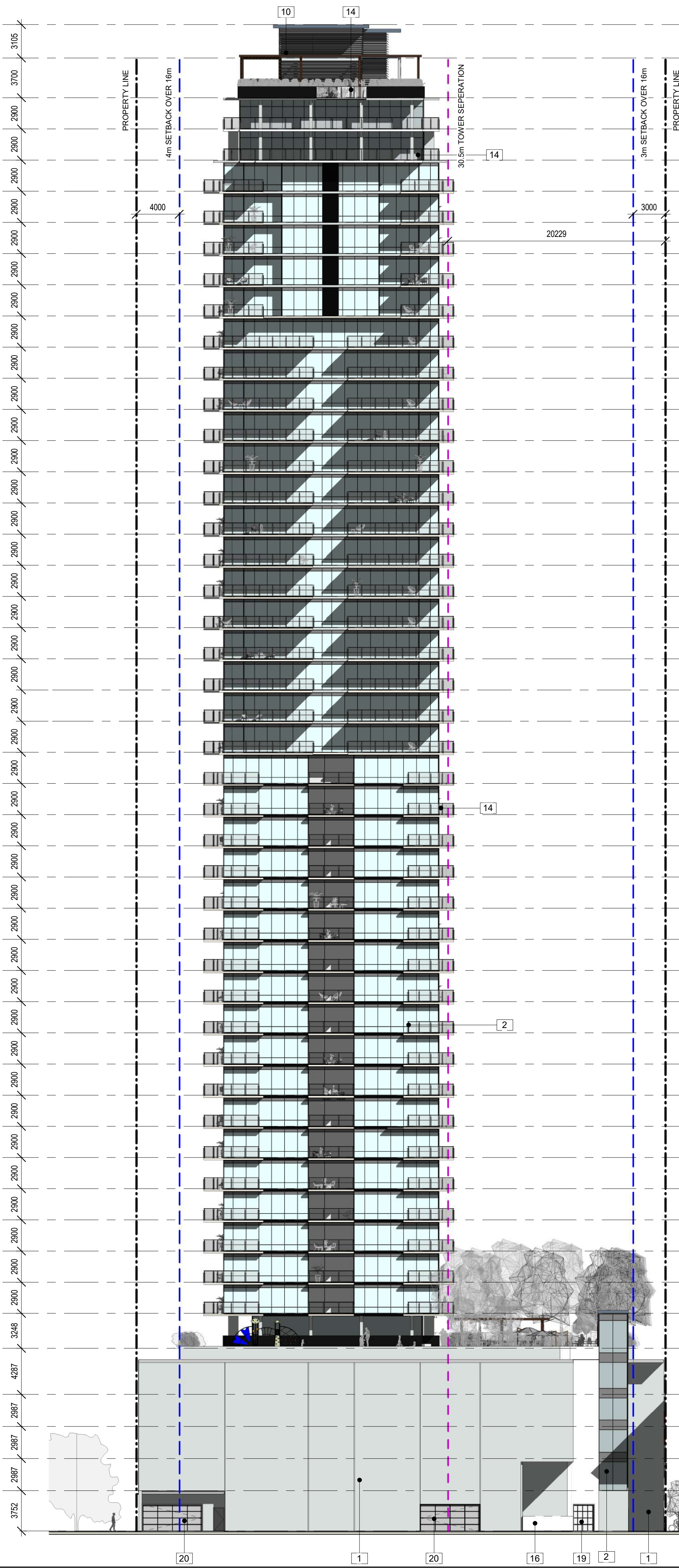
plotted 02/1

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EXTERIOR MATERIAL LEGEND

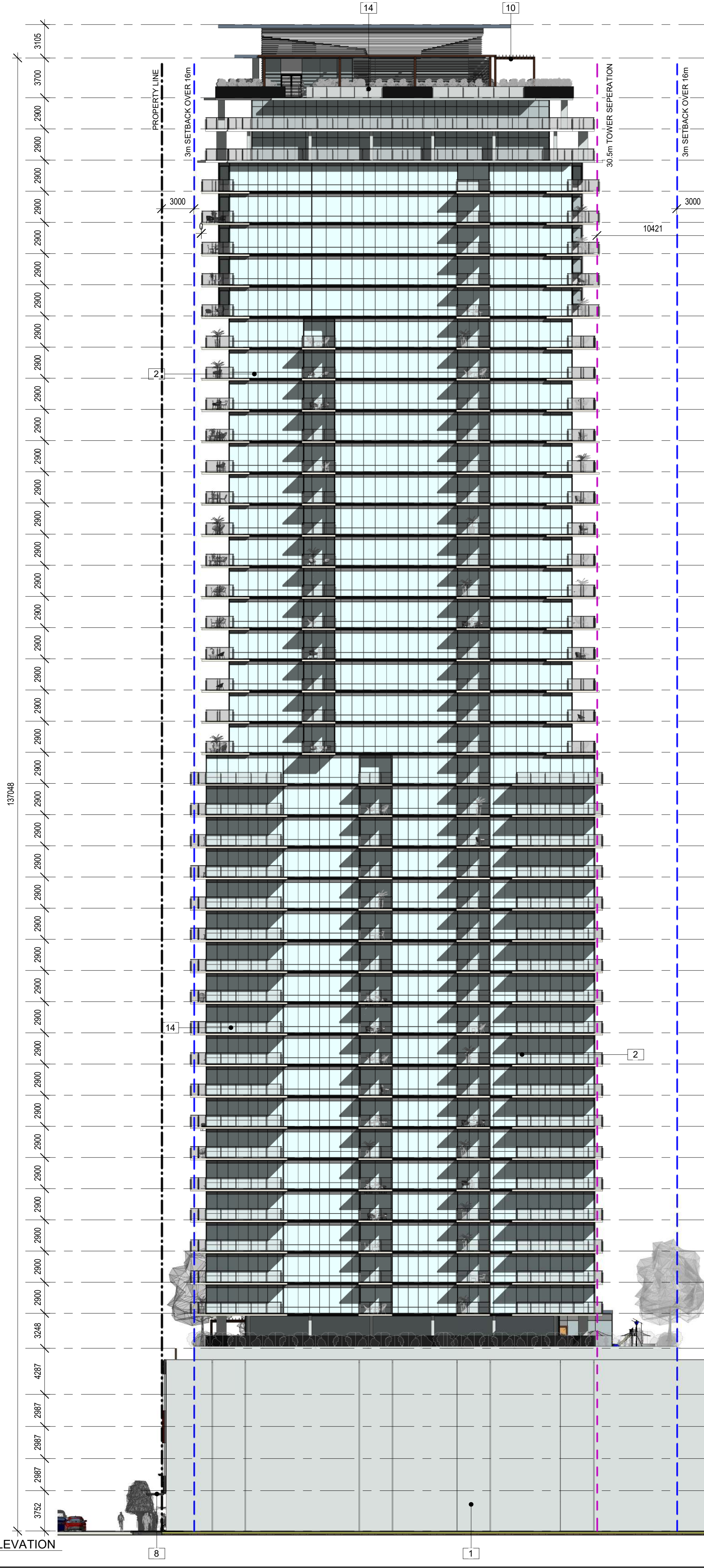
1. ARCHITECTURAL EXPOSED CONCRETE
2. CURTAIN WALL - TINTED GLASS PANEL
3. TIMBER COLUMN
4. TIMBER BEAM
5. SHORT-TERM BIKE RACK
6. VERTICAL CURTAIN WALL CAP - RED
7. VERTICAL CURTAIN WALL CAP - SILVER
8. GLASS CANOPY
9. ALUMINUM/GLASS DOOR
10. METAL PERGOLA
11. PLANTER BOX
12. METAL CLAD BAND
13. ALUMINUM EXTERIOR CLADDING
14. GLASS RAILING
15. MECHANICAL SCREEN
16. PAD-MOUNTED TRANSFORMER
17. CONCRETE WALL BAND
18. OVERHEAD PARKADE DOOR
19. OVERHEAD GARBAGE/RECYCLING DOOR
20. WOOD SCREEN
21. CURTAIN WALL - GLASS FILM IMAGE

1 WEST ELEVATION
1 : 250



- UPPER ROOF
460' - 9 3/4"
- MECHANICAL
450' - 7 1/2"
- R/T AMENITY
438' - 5 3/4"
- PENTHOUSE 2 (45)
428' - 11 1/2"
- PENTHOUSE 1 (44)
419' - 5 1/2"
- Level 43
409' - 11 1/4"
- Level 42
400' - 5"
- Level 41
390' - 10 3/4"
- Level 40
381' - 4 3/4"
- Level 39
371' - 10 1/2"
- Level 38
362' - 4 1/4"
- Level 37
352' - 10 1/4"
- Level 36
343' - 4"
- Level 35
333' - 9 3/4"
- Level 34
324' - 3 3/4"
- Level 33
314' - 9 1/2"
- Level 32
305' - 3 1/4"
- Level 31
295' - 9 1/4"
- Level 30
286' - 3"
- Level 29
276' - 8 3/4"
- Level 28
267' - 2 1/2"
- Level 27
257' - 8 1/2"
- Level 26
248' - 2 1/4"
- 25
238' - 8"
- 24
229' - 2"
- 23
219' - 7 3/4"
- 22
210' - 1 1/2"
- 21
200' - 7 1/2"
- 20
191' - 1 1/4"
- Level 19
181' - 7"
- Level 18
172' - 1"
- Level 17
162' - 6 3/4"
- Level 16
153' - 0 1/2"
- Level 15
143' - 6 1/4"
- Level 14
134' - 0 1/4"
- Level 13
124' - 6"
- Level 12
114' - 11 3/4"
- Level 11
105' - 5 3/4"
- Level 10
95' - 11 1/2"
- Level 9
86' - 5 1/4"
- Level 8
76' - 11 1/4"
- Level 7
67' - 5"
- Level 6
56' - 9"
- Level 5
42' - 8 1/4"
- Level 4
32' - 10 3/4"
- Level 3
23' - 1 1/4"
- Level 2
13' - 3 1/2"
- Level 1
0' - 11 3/4"

2 NORTH ELEVATION
1 : 250



- UPPER ROOF
460' - 9 3/4"
- MECHANICAL
450' - 7 1/2"
- R/T AMENITY
438' - 5 3/4"
- PENTHOUSE 2 (45)
428' - 11 1/2"
- PENTHOUSE 1 (44)
419' - 5 1/2"
- Level 43
409' - 11 1/4"
- Level 42
400' - 5"
- Level 41
390' - 10 3/4"
- Level 40
381' - 4 3/4"
- Level 39
371' - 10 1/2"
- Level 38
362' - 4 1/4"
- Level 37
352' - 10 1/4"
- Level 36
343' - 4"
- Level 35
333' - 9 3/4"
- Level 34
324' - 3 3/4"
- Level 33
314' - 9 1/2"
- Level 32
305' - 3 1/4"
- Level 31
295' - 9 1/4"
- Level 30
286' - 3"
- Level 29
276' - 8 3/4"
- Level 28
267' - 2 1/2"
- Level 27
257' - 8 1/2"
- Level 26
248' - 2 1/4"
- 25
238' - 8"
- 24
229' - 2"
- 23
219' - 7 3/4"
- 22
210' - 1 1/2"
- 21
200' - 7 1/2"
- 20
191' - 1 1/4"
- Level 19
181' - 7"
- Level 18
172' - 1"
- Level 17
162' - 6 3/4"
- Level 16
153' - 0 1/2"
- Level 15
143' - 6 1/4"
- Level 14
134' - 0 1/4"
- Level 13
124' - 6"
- Level 12
114' - 11 3/4"
- Level 11
105' - 5 3/4"
- Level 10
95' - 11 1/2"
- Level 9
86' - 5 1/4"
- Level 8
76' - 11 1/4"
- Level 7
67' - 5"
- Level 6
56' - 9"
- Level 5
42' - 8 1/4"
- Level 4
32' - 10 3/4"
- Level 3
23' - 1 1/4"
- Level 2
13' - 3 1/2"
- Level 1
0' - 11 3/4"

ALL CONTRACTORS ARE REQUIRED TO PERFORM THEIR WORK AND SUPPLY THEIR PRODUCTS IN COMPLIANCE WITH ALL BUILDING CODES AND LAWS OF THE PROVINCE OF BRITISH COLUMBIA

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ARCHITECTURE
URBAN PLANNING
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SEAL



Revisions

No	Date	Description
1	20-11-02	Issued For DP

project title

BERTRAM TOWER

project address

Bertram Ave, Kelowna, BC

project no.

4112

file no.

drawing title

ELEVATIONS

designed

R.Y. / JK

scale

As Indicated

drawn

J.

checked

R.Y.

drawing no.

A4.1

plotted 02/11/2020 10:53:12 AM

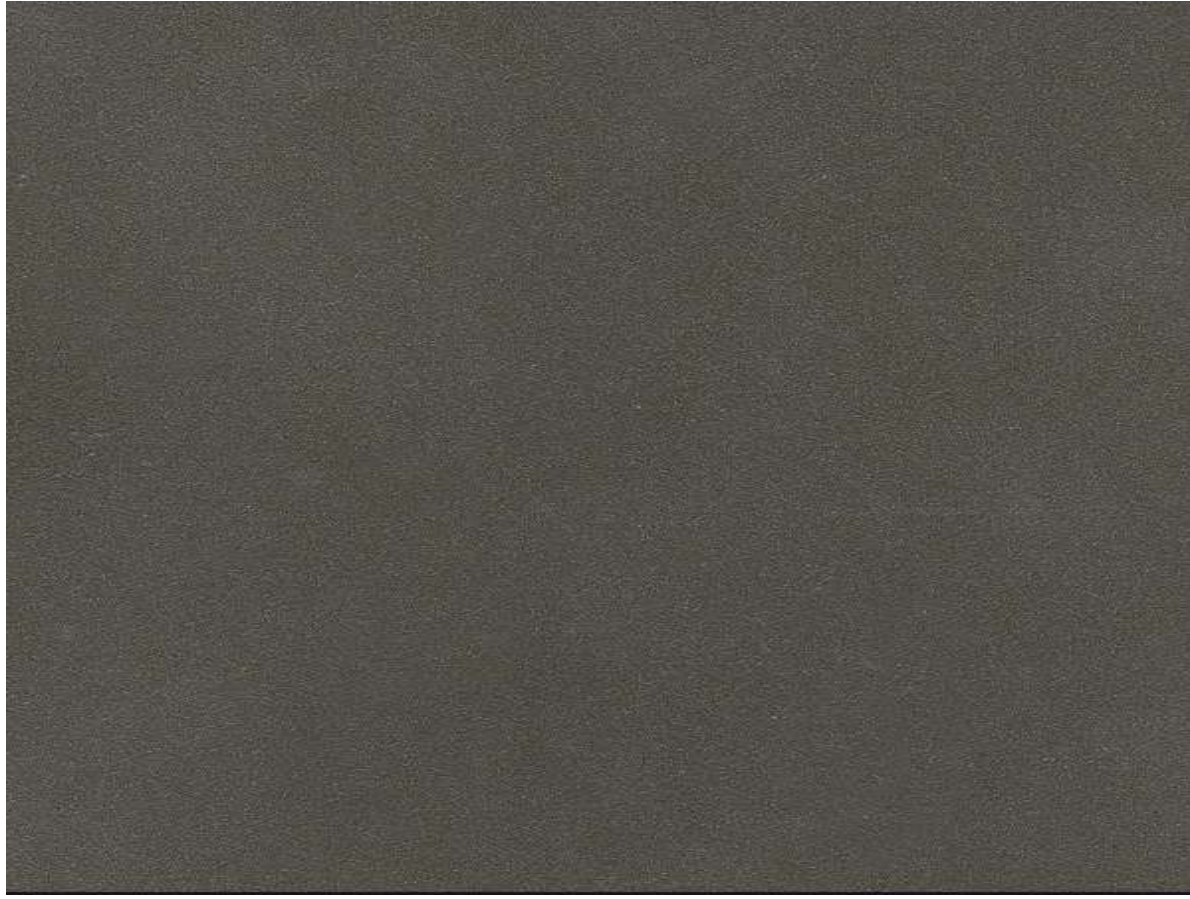
EXPOSED CONCRETE
(#1)



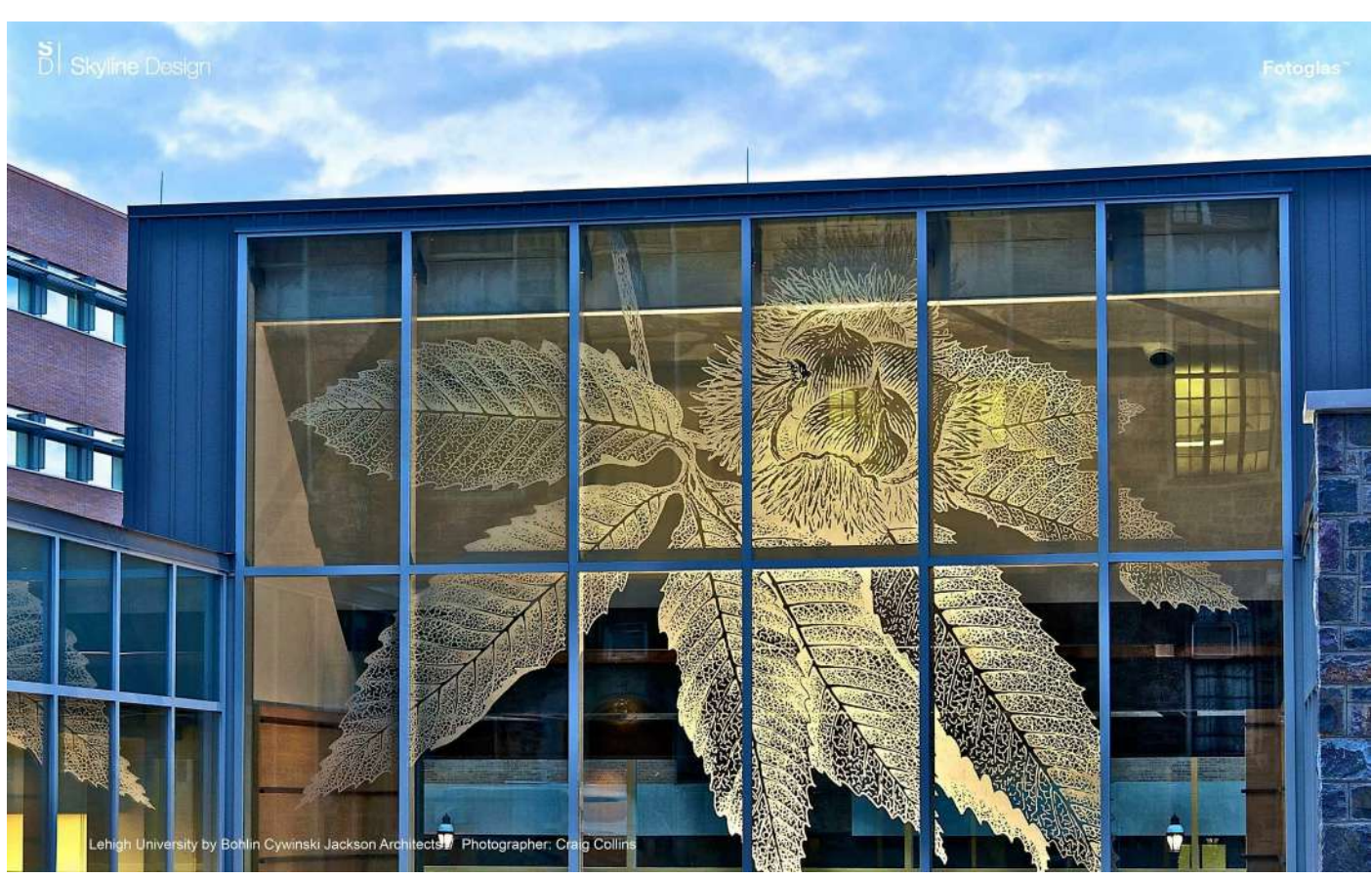
CURTAIL WALL - TINTED
GLASS PANEL (#2)



CURTAIL WALL - SPANDREL
PANEL



CURTAIN WALL- GLASS
FILM IMAGE (#21)



GLASS CANOPY
(#8)



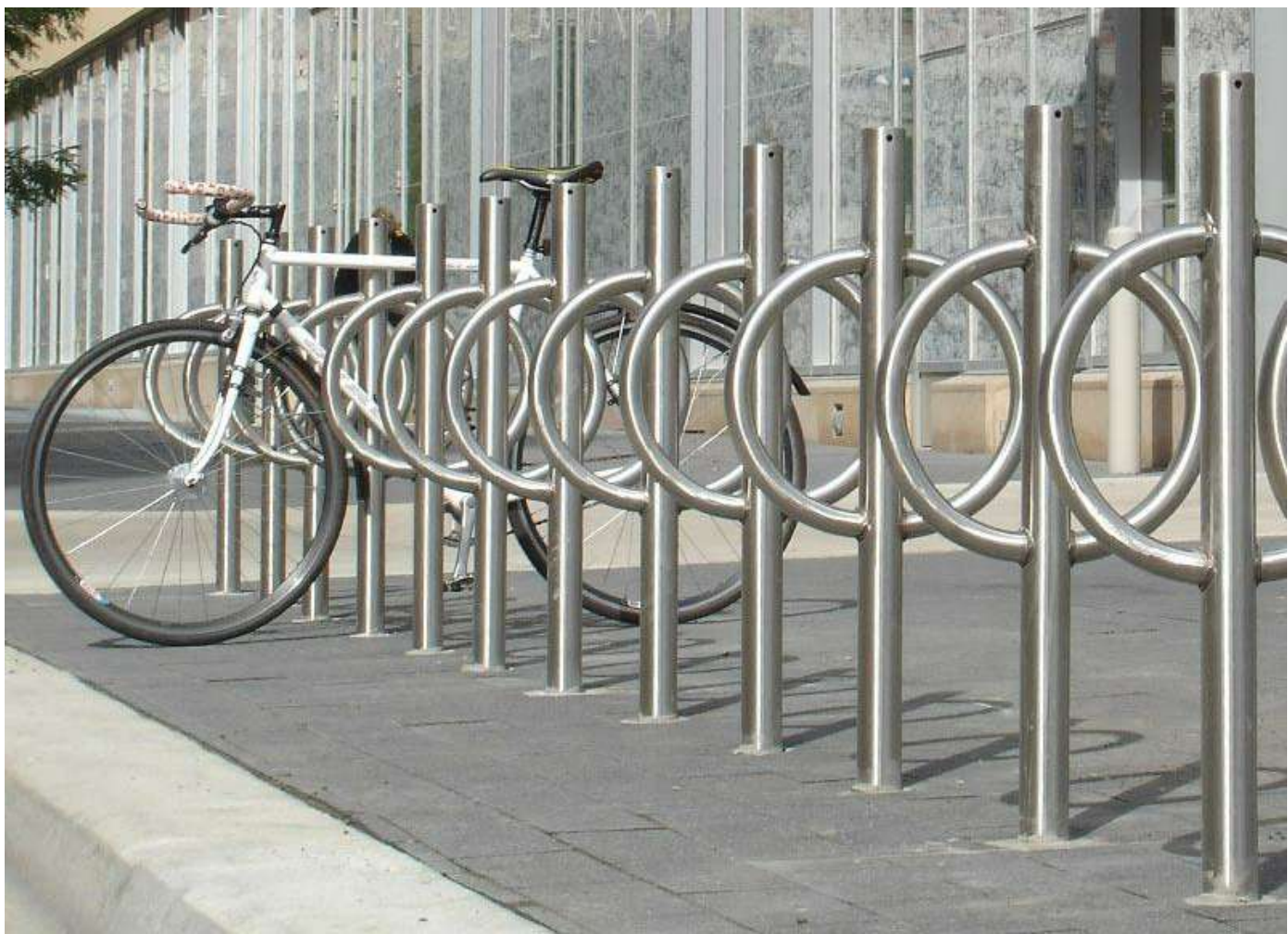
GLASS RAILING SYSTEM
(#14)



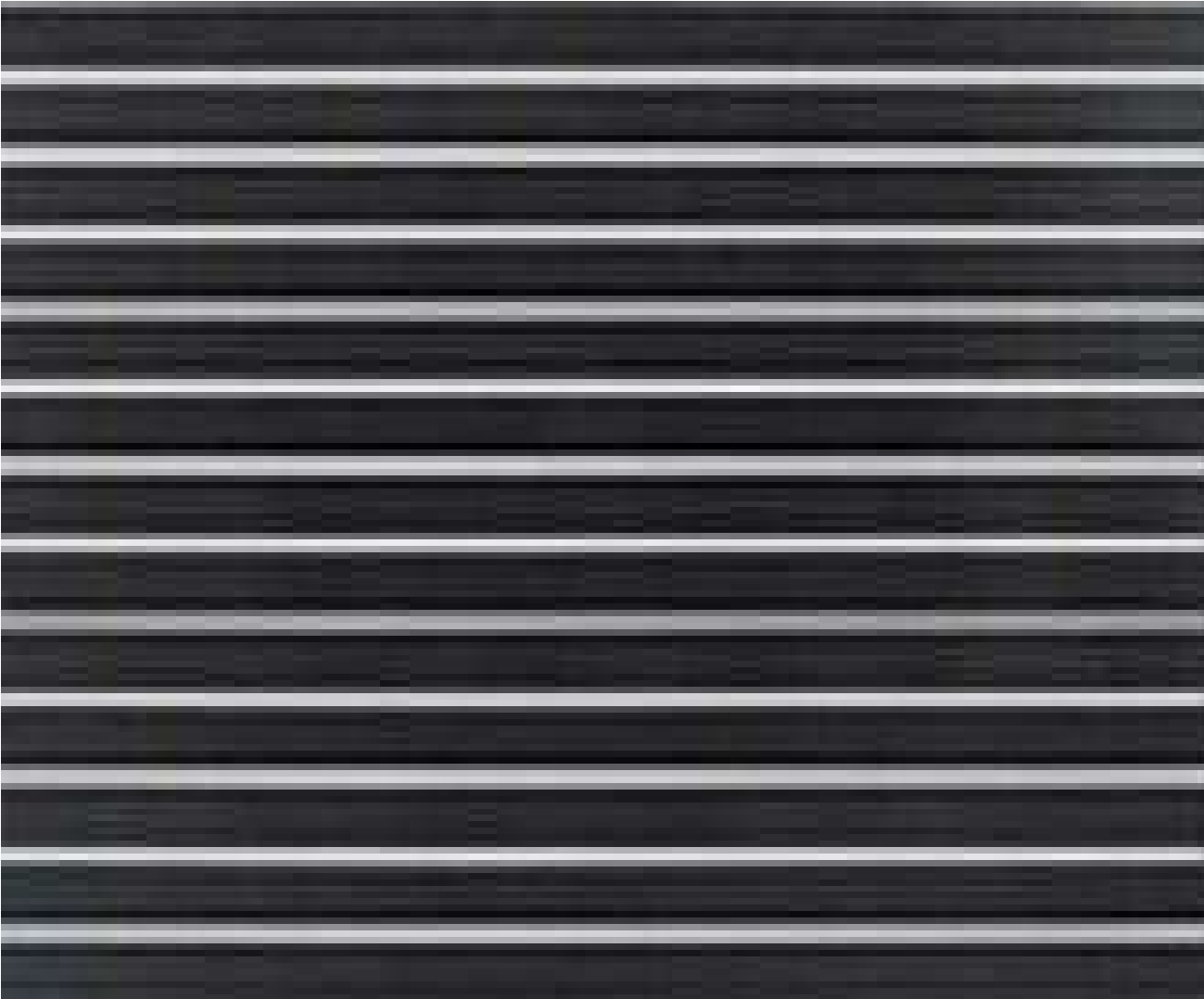
PARKADE O/H DOORS
(#18)



BIKE RACKS
(#5)



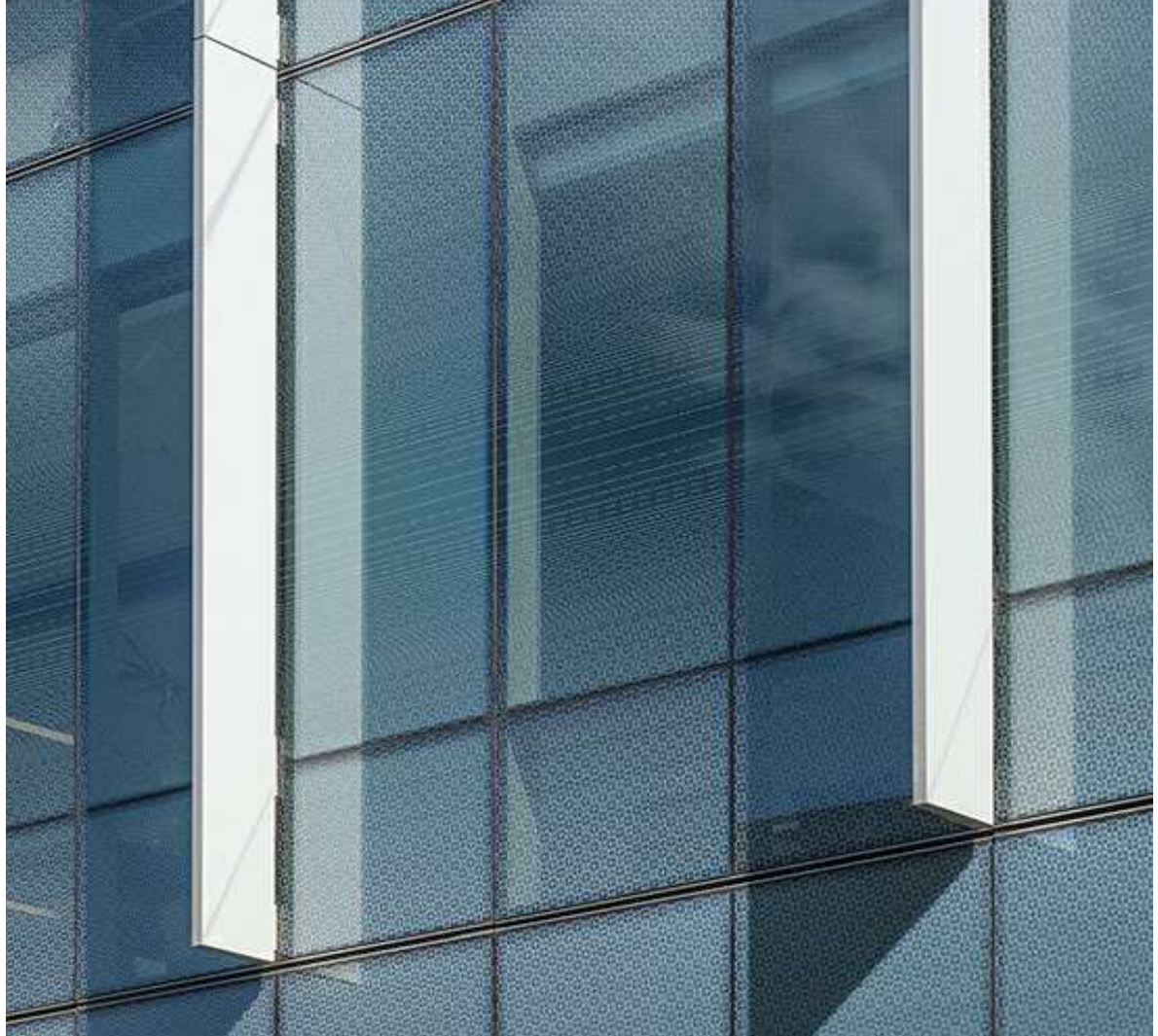
PRE-FIN ALUM.
SCREEN (#15)



WOOD SCREEN
(#20)



VERTICAL CURTAIN
WALL CAP (#6, #7)



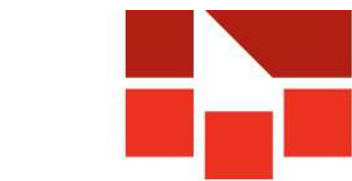
ALL CONTRACTORS ARE REQUIRED TO PERFORM THEIR WORK AND SUPPLY THEIR PRODUCTS IN COMPLIANCE WITH ALL BUILDING CODES AND LAWS OF THE PROVINCE OF BRITISH COLUMBIA

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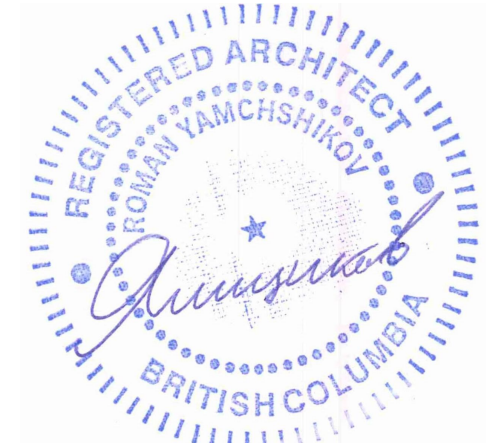
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Revisions

No	Date	Description
1	20-11-02	Issued For DP

project title

BERTRAM TOWER

project address

Bertram Ave, Kelowna, BC

project no.

4112

file no.

drawing title

MATERIALS

designed

R.Y./JK

scale

drawn

J.

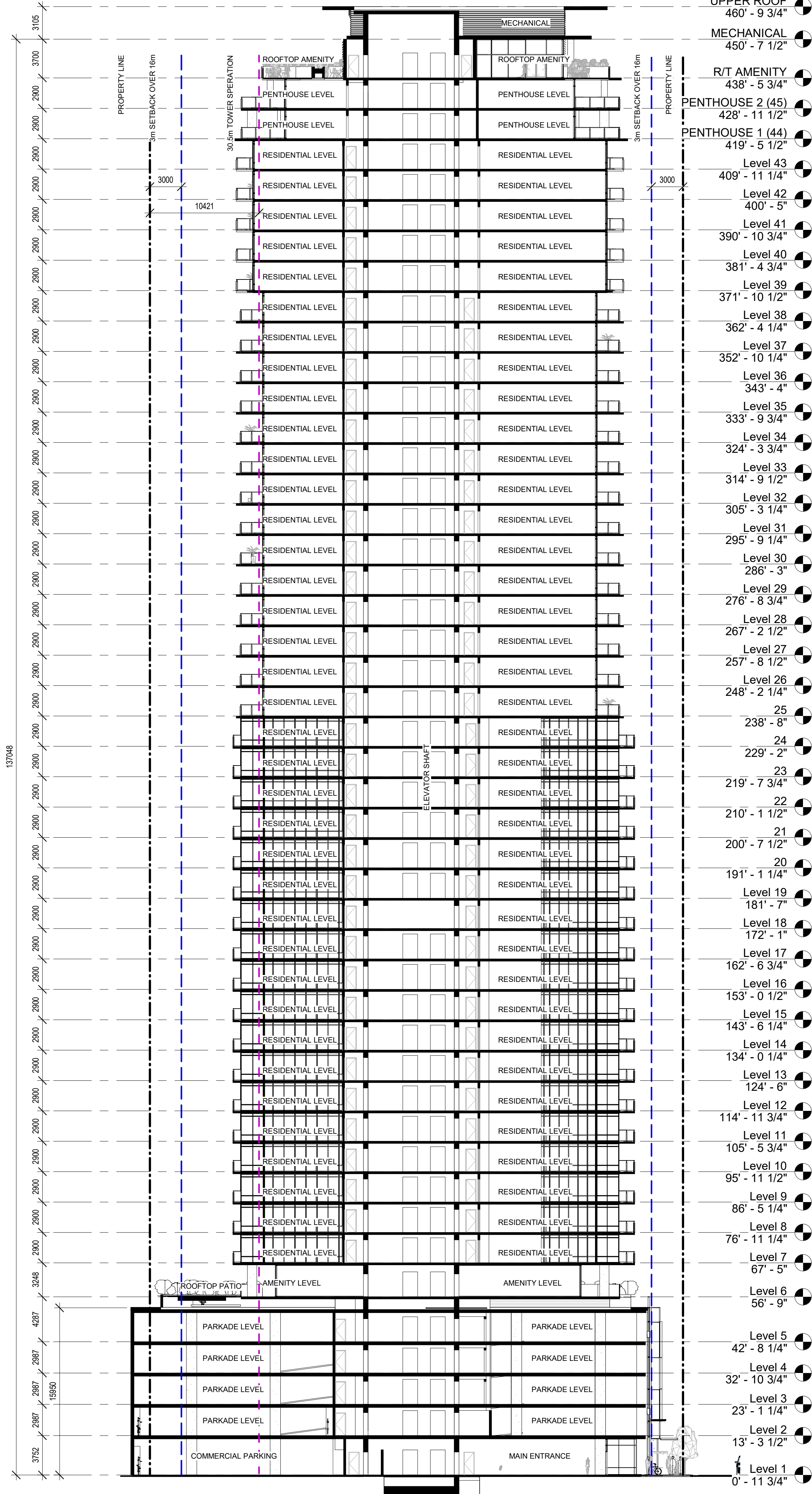
checked

R.Y.

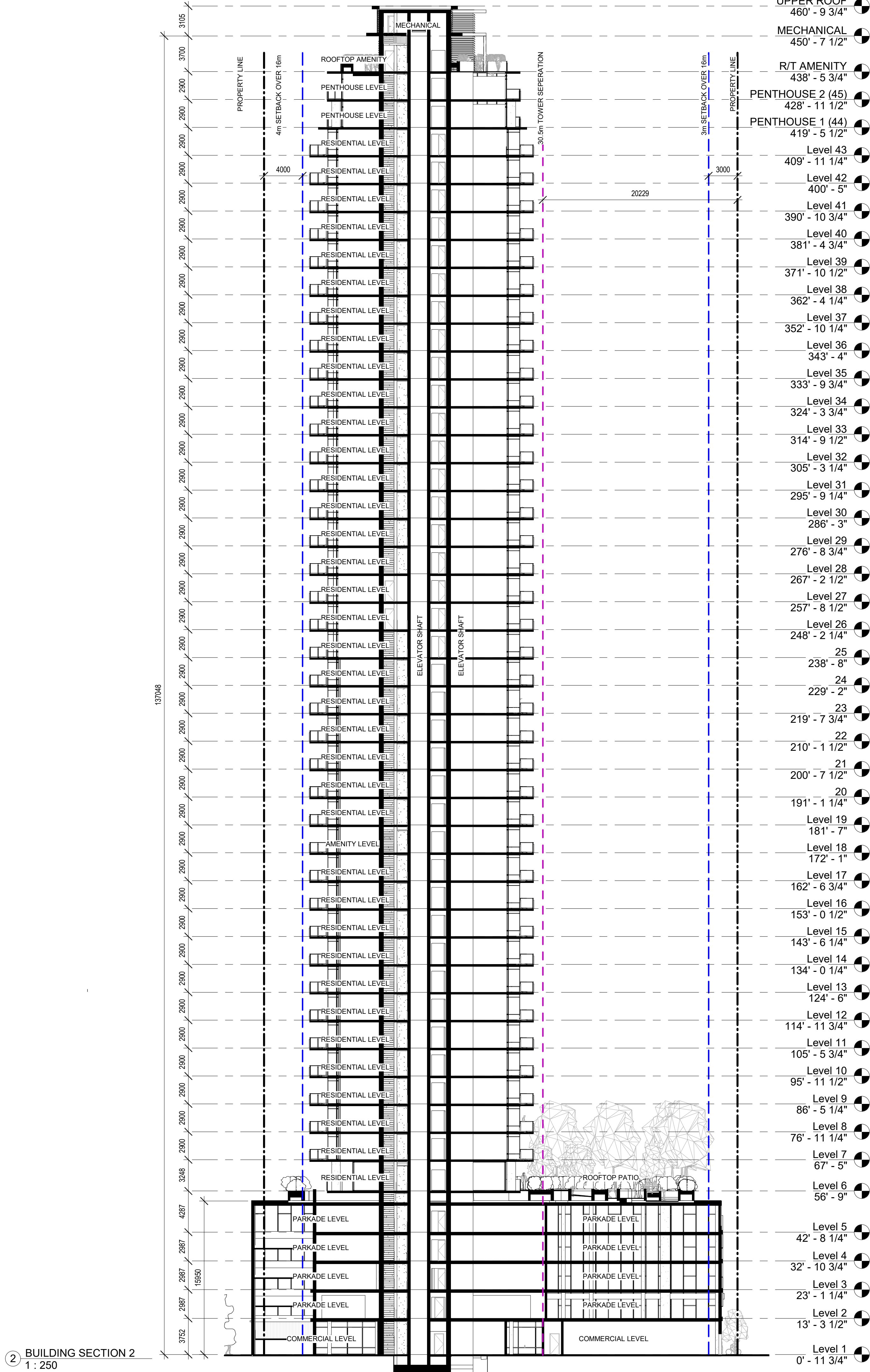
drawing no.

A4.2

plotted 02/11/2020 10:53:14 AM



1 BUILDING SECTION
1: 250



2 BUILDING SECTION 2
1: 250

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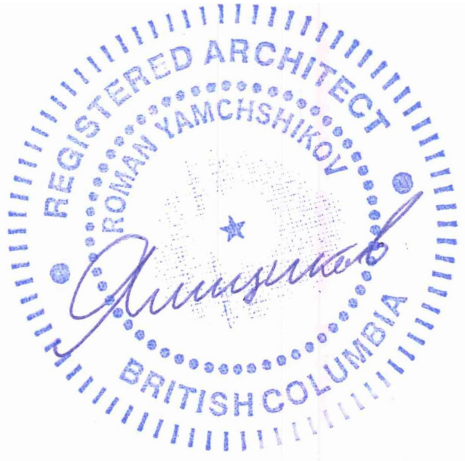
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Bertram Ave, Kelowna, BC

project no.

4112

file no.

drawing title

**BUILDING
SECTIONS**

designed

R.Y./J.K

scale

1: 250

drawn

J.

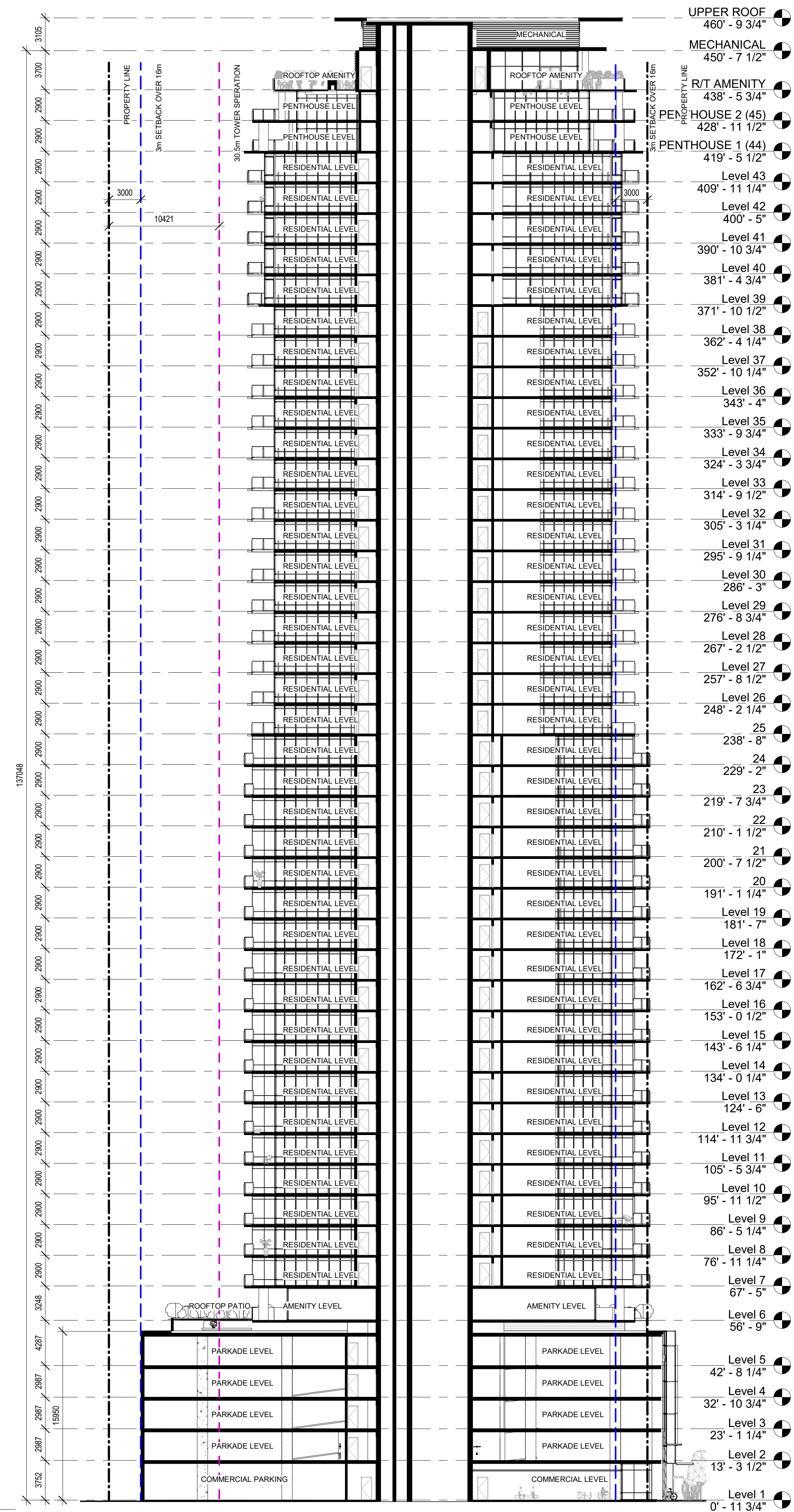
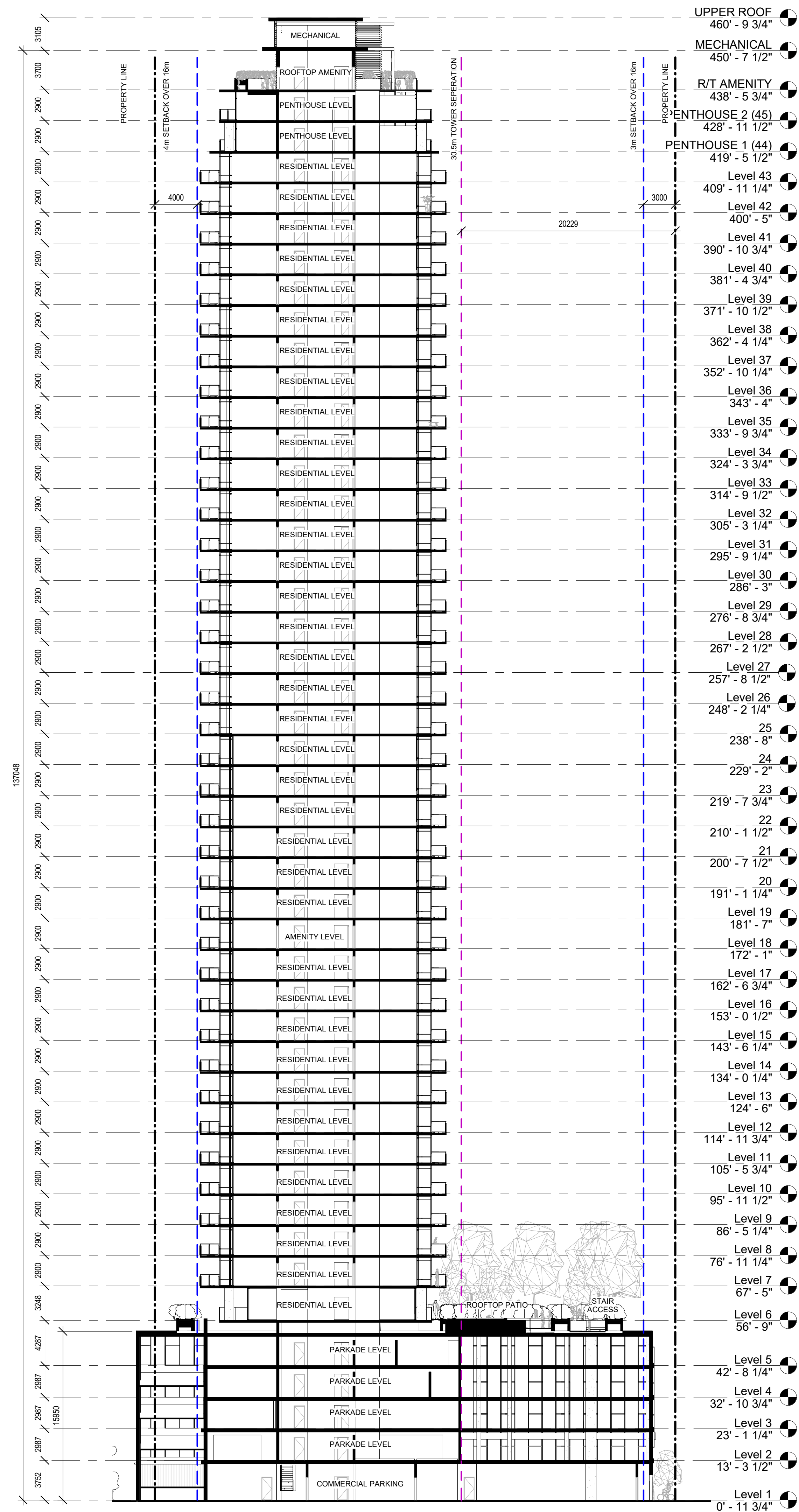
checked

R.Y.

drawing no.

A5.0

plotted 02/11/2020 10:53:36 AM



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LAWS OF THE PROVINCE OF BRITISH COLUMBIA

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Revisions

[illegible]

project title

BERTRAM TOWER

project address

Bertram Ave, Kelowna, BC

project no.

4112

File no.

drawing title

BUILDING SECTIONS

designed

scale

drawn

checked

drawing no.

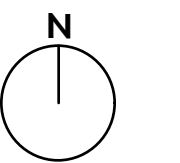
A5.1

02/11/2020 10:53:57 AM



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LANDSCAPE ARCHITECTURE

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Kelowna, BC V1Y 7S2
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PROJECT TITLE

BERTRAM HIGHRISE
1464, 1468 & 1476 Bertram Street

Kelowna, BC

DRAWING TITLE

**CONCEPTUAL
LANDSCAPE PLAN**

ISSUED FOR / REVISION

1	20.07.03	Review
2	20.08.06	Review
3		
4		
5		

PROJECT NO.

20053

DESIGN BY

FB

DRAWN BY

NG/WC

CHECKED BY

FB

DATE

AUG. 6, 2020

SCALE

1:150

PAGE SIZE

24x36

SEAL



DRAWING NUMBER

L1/2

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PLANT LIST

BOTANICAL NAME	COMMON NAME	QTY	SIZE/SPACING & REMARKS
TREES			
ACER TATARICUM 'JFS-KW2'	RUGGED CHARM MAPLE	10	6cm CAL.
BELUTA PLATYPHYLLA 'FARGO'	DAKOTA PINNACLE BIRCH	24	6cm CAL.
CARPINUS BETULUS 'FASTIGIATA'	PYRAMIDAL EUROPEAN HORNBEAM	6	6cm CAL.
FAGUS SYLVATICA 'FASTIGIATA'	FASTIGIATE BEECH	12	6cm CAL.
GINKGO BILOBA 'THE PRESIDENT'	PRESIDENTIAL GOLD GINKGO	2	6cm CAL.
MAGNOLIA STELLATA 'ROYAL STAR'	ROYAL STAR MAGNOLIA	8	6cm CAL.
SHRUBS			
BERBERIS THUNBERGII 'MONOMB'	CHERRY BOMB BARBERRY	24	#02 CONT. /1.2M O.C. SPACING
BUXUS 'GREEN MOUNTAIN'	GREEN MOUNTAIN BOXWOOD	24	#02 CONT. /1.2M O.C. SPACING
CORNUS SANGUINEA 'MIDWINTER FIRE'	MIDWINTER FIRE DOGWOOD	15	#02 CONT. /1.5M O.C. SPACING
EUONYMUS ALATUS 'SELECT'	FIRE BALL BURNING BUSH	24	#02 CONT. /1.2M O.C. SPACING
JUNIPERUS 'IDYLLWILD'	IDYLLWILD JUNIPER	9	#02 CONT. /2.0M O.C. SPACING
PINUS SYLVESTRIS 'GLAUCOA NANA'	DWARF BLUE SCOTCH PINE	11	#02 CONT. /1.8M O.C. SPACING
ROSA MELMODAC	ROYAL BONICA ROSE	24	#02 CONT. /1.2M O.C. SPACING
PERENNIALS, GRASSES & VINES			
AQUILEGIA VULGARIS 'BLACK BARLOW'	BLACK BARLOW COLUMBINE	41	#01 CONT. /0.6M O.C. SPACING
CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	27	#01 CONT. /0.75M O.C. SPACING
DICENTRA SPECTABILIS	PINK BLEEDING HEART	15	#01 CONT. /1.0M O.C. SPACING
LONICERA HECKROTTI 'GOLDFLAME'	GOLDFLAME HONEYSUCKLE	15	#01 CONT. /SPACING PER PLANS
NEPETA X FAASSENII 'WALKER'S LOW'	WALKER'S LOW CATMINT	10	#01 CONT. /1.2M O.C. SPACING
PACHYSANDRA TERMINALIS	JAPANESE SPURGE	27	#01 CONT. /0.75M O.C. SPACING
PARTHENOCISSUS QUINQUIFOLIA	VIRGINIA CREEPER	15	#01 CONT. /SPACING PER PLANS
PAXISTIMA CANBYI	CLIFF GREEN	27	#01 CONT. /0.75M O.C. SPACING
PENNISETUM ALOPECUROIDES	FOUNTAIN GRASS	10	#01 CONT. /1.2M O.C. SPACING
RUDBECKIA FULGIDA 'GOLDSTURM'	GOLDSTURM CONEFLOWER	27	#01 CONT. /0.75M O.C. SPACING
SEDUM SPECTABILE 'AUTUMN FIRE'	AUTUMN FIRE STONECROP	41	#01 CONT. /0.6M O.C. SPACING

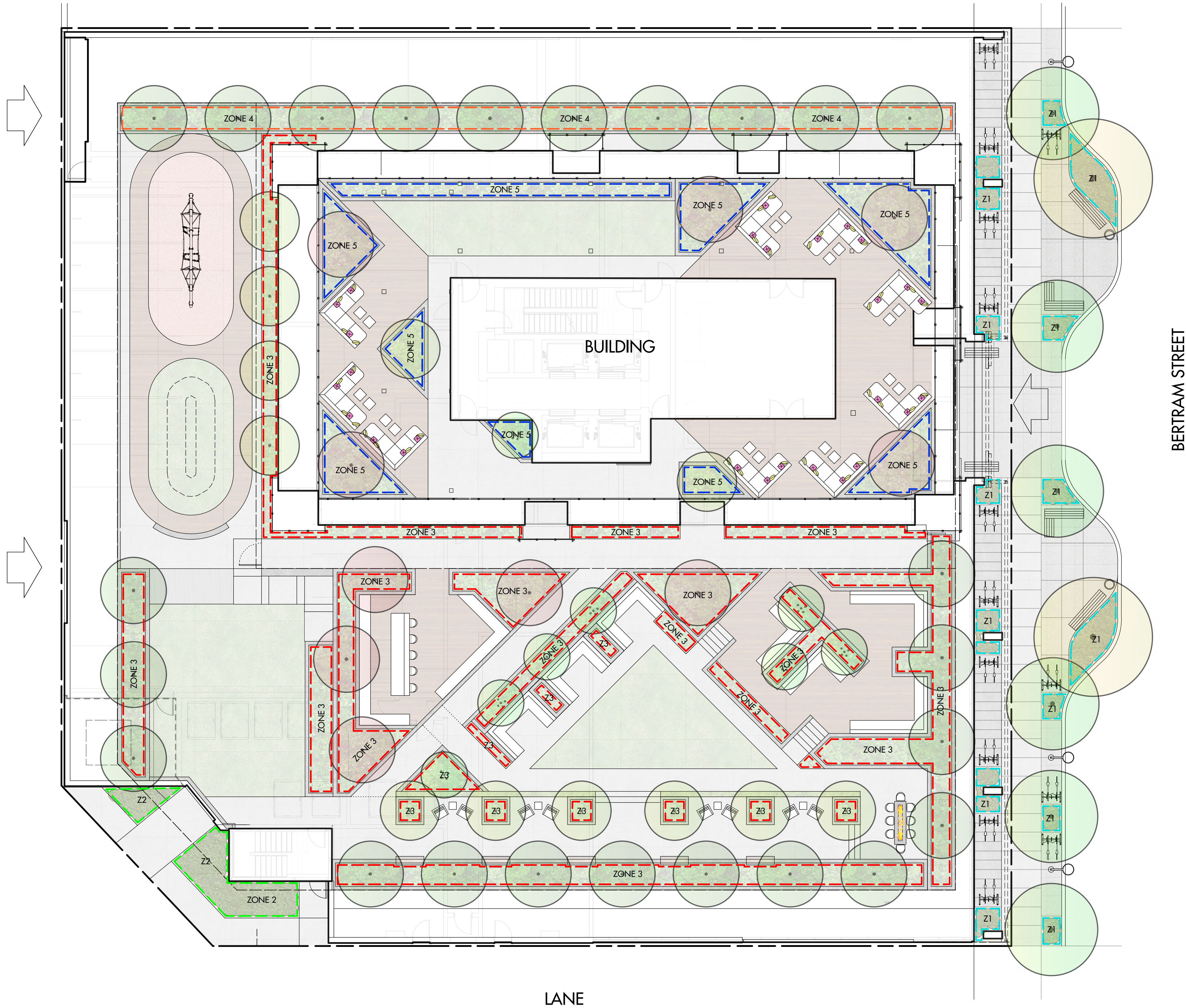
NOTES

1. PLANT MATERIAL AND CONSTRUCTION METHODS SHALL MEET OR EXCEED C.L.N.A. STANDARDS.
2. ALL SOFT LANDSCAPE AREAS SHALL BE WATERED BY A FULLY AUTOMATIC TIMED UNDERGROUND IRRIGATION SYSTEM.
3. TREE AND SHRUB BEDS TO BE DRESSED IN A MINIMUM 75mm WOOD MULCH. DO NOT PLACE WEED MAT UNDERNEATH TREE AND SHRUB BEDS.
4. TREE AND SHRUB BEDS TO RECEIVE A MINIMUM 300mm DEPTH TOPSOIL PLACEMENT.
5. TURF AREAS FROM SOD SHALL BE NO. 1 GRADE GROWN FROM CERTIFIED SEED OF IMPROVED CULTIVARS REGISTERED FOR SALE IN B.C. AND SHALL BE TOLERANT OF DROUGHT CONDITIONS. A MINIMUM OF 150mm DEPTH OF GROWING MEDIUM IS REQUIRED BENEATH TURF AREAS. TURF AREAS SHALL MEET EXISTING GRADES AND HARD SURFACES FLUSH.
6. SITE GRADING AND DRAINAGE WILL ENSURE THAT ALL STRUCTURES HAVE POSITIVE DRAINAGE AND THAT NO WATER OR LOOSE IMPEDIMENTS WILL BE DISCHARGED FROM THE LOT ONTO ADJACENT PUBLIC, COMMON OR PRIVATE PROPERTIES.



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WATER CONSERVATION CALCULATIONS

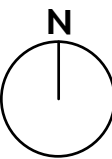
LANDSCAPE MAXIMUM WATER BUDGET (WMB) = 428 cu.m. / year
ESTIMATED LANDSCAPE WATER USE (WU) = 238 cu.m. / year
WATER BALANCE = 190 cu.m. / year
*REFER ATTACHED IRRIGATION APPLICATION FOR DETAILED CALCULATIONS

IRRIGATION NOTES

1. IRRIGATION PRODUCTS AND INSTALLATION METHODS SHALL MEET OR EXCEED THE REQUIREMENTS OF THE WATER USE REGULATION BYLAW NO. 10480 AND THE SUPPLEMENTARY SPECIFICATIONS IN THE CITY OF KELOWNA BYLAW 7900 (PART 6, SCHEDULE 5).
2. THE IRRIGATION SYSTEM SHALL MEET THE REQUIREMENTS, REGULATIONS, AND BYLAWS OF THE WATER PURVEYOR.
3. THE IRRIGATION SYSTEM SHALL BE EQUIPPED WITH AN APPROVED BACKFLOW PREVENTION DEVICE, WATER METER, AND SHUT OFF VALVE LOCATED OUTSIDE THE BUILDING ACCESSIBLE TO THE CITY.
4. AN APPROVED SMART CONTROLLER SHALL BE INSTALLED. THE IRRIGATION SCHEDULING TIMES SHALL UTILIZE A MAXIMUM ET VALUE OF 7" / MONTH (KELOWNA JULY ET), TAKING INTO CONSIDERATION SOIL TYPE, SLOPE, AND MICROCLIMATE.
5. DRIP LINE AND EMITTERS SHALL INCORPORATE TECHNOLOGY TO LIMIT ROOT INTRUSION.
6. IRRIGATION SLEEVES SHALL BE INSTALLED TO ROUTE IRRIGATION LINES UNDER HARD SURFACES AND FEATURES.
7. IRRIGATION PIPE SHALL BE SIZED TO ALLOW FOR A MAXIMUM FLOW OF 1.5m /SEC.
8. A FLOW SENSOR AND MASTER VALVE SHALL BE CONNECTED TO THE CONTROLLER AND PROGRAMMED TO STOP FLOW TO THE SYSTEM IN CASE OF AN IRRIGATION WATER LEAK.

IRRIGATION LEGEND

- ZONE #1:** HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS
TOTAL AREA: 42 sq.m.
MICROCLIMATE: EAST EXPOSURE, PARTIALLY SHADED BY TREES AND BUILDING
ESTIMATED ANNUAL WATER USE: 23 cu.m.
- ZONE #2:** HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS
TOTAL AREA: 21 sq.m.
MICROCLIMATE: SOUTH EXPOSURE, PARTIALLY SHADED BY BUILDING
ESTIMATED ANNUAL WATER USE: 12 cu.m.
- ZONE #3:** HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS
TOTAL AREA: 221 sq.m.
MICROCLIMATE: SOUTH EXPOSURE, PARTIALLY SHADED BY TREES AND BUILDING
ESTIMATED ANNUAL WATER USE: 123 cu.m.
- ZONE #4:** HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS
TOTAL AREA: 60 sq.m.
MICROCLIMATE: NORTHEAST EXPOSURE, PARTIALLY SHADED BY TREES AND BUILDING
ESTIMATED ANNUAL WATER USE: 33 cu.m.
- ZONE #5:** HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS
TOTAL AREA: 84 sq.m.
MICROCLIMATE: NORTH WEST EXPOSURE, PARTIALLY SHADED BY BUILDING
ESTIMATED ANNUAL WATER USE: 47 cu.m.



PROJECT TITLE

BERTRAM HIGH RISE
1464, 1468 & 1476 Bertram Street

Kelowna, BC

DRAWING TITLE

**WATER CONSERVATION/
IRRIGATION PLAN**

ISSUED FOR / REVISION

1	20.07.03	Review
2	20.08.06	Review
3		
4		
5		

PROJECT NO. 20053

DESIGN BY FB

DRAWN BY NG/WC

CHECKED BY FB

DATE AUG. 6, 2020

SCALE 1:150

PAGE SIZE 24x36

SEAL



DRAWING NUMBER

L2/2

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