

April 30th, 2021

Our File: 2128

City of Kelowna
1435 Water St,
Kelowna, BC V1Y 1J4

Attention: Aaron Thibeault, Planner II at City of Kelowna

Dear Mr. Thibeault,

Re: Development Permit / Rezoning for property located at 1875 Richter Street

This development proposal will adhere to the requirements of the RM3r zone as described in the City of Kelowna Zoning Bylaw No. 8000.

Project Description

The current zoning for the site is RU6. With an OCP future land use designation of MRL, we are seeking a rezoning from RU6 to RM3r zone. The proposed project is a 3-storey multi-family residential development located at 1875 Richter Street. It is purpose built rental housing consisting of main level parking with 2 levels of residential above, providing 20 1-bedroom 1-bath rental units.

Design Rationale

The main building entrance will be off Richter Street, and vehicular access will be from a laneway off Rowcliffe Avenue, providing a secure entrance into an open-air parkade. In addition to vehicular parking, the main floor will provide plenty of bike parking. We have chosen to provide the bonus long-term bicycle parking for this project considering its proximity to surrounding transportation corridors. The property is flanked by bicycle lanes on both Richter Street and Sutherland Avenue, making this a very convenient location for those biking to and from work.

The material selection consists of a light-colored stucco, horizontal wood-patterned siding, and brick. These materials are complimented by the incorporation of glass along the balcony railings, full-height glass wall dividing the front elevation of the building, and vertical wood elements to provide security and screening of the parking. Additionally, to add texture to the front entry, we have created a pattern within the brickwork to create more visual appeal along Richter Street. The pedestrian entrance off Richter Street serves to create an inviting focal point surrounded by this glass and textured brick façade. In conjunction with the proposed landscaping, a thoughtful interface between the street and the building is created.

Continued ...

The garbage will be enclosed within the parking garage with easy access to the laneway but screened from neighbouring properties.

We are seeking no variances as we feel that the development has been designed appropriately for the site and location.

I trust that you will find our application in good order. Please contact our office if you require any further information.

Kind Regards,

NOvation Architecture Ltd.

A handwritten signature in dark ink, appearing to read "Paul Schuster", with a large, sweeping initial "P".

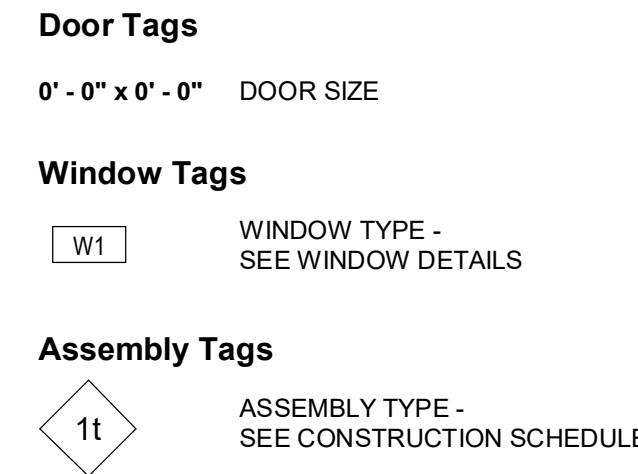
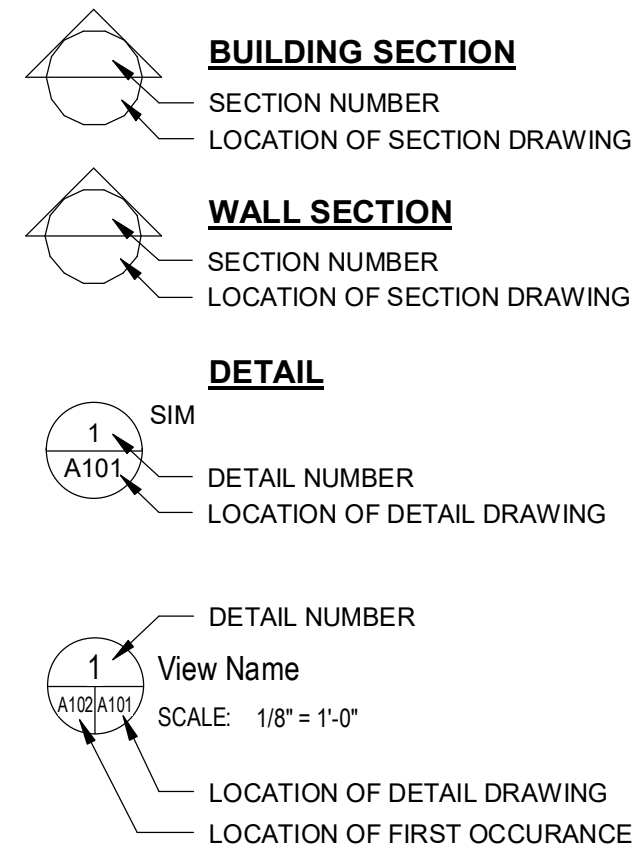
*Paul M. Schuster, Architect
AIBC, CAB, MRAIC and NCARB Certified*

(250) 718 - 1302
paul@novationarchitecture.com

GENERAL NOTES:

- GENERAL**
- ALL DIMENSIONS ARE MADE FROM EXTERIOR FACE OF WALL SHEATHING TO CENTER OF PARTY WALLS AND INTERIOR WALLS UNLESS NOTED OTHERWISE ON PLANS. OUTSIDE EDGE OF EXTERIOR WALL SHEATHING TO BE FLUSH WITH FOUNDATION WALL BELOW. DO NOT SCALE DRAWINGS. THE GENERAL CONTRACTOR IS TO CHECK ALL DIMENSIONS AND CONFIRM ALL PROPERTY LINE BEARINGS AND DIMENSIONS WITH LEGAL SURVEY.
 - IN THE CASE OF DISCREPANCY, THE ARCHITECT IS TO BE NOTIFIED BEFORE WORK CAN COMMENCE. COMMENCEMENT OF CONSTRUCTION SHALL CONSTITUTE ACCEPTANCE OF CONDITIONS AS SATISFACTORY.
 - REFER TO MECHANICAL DRAWINGS FOR FINAL PLUMBING AND HVAC LAYOUT AND SPECIFICATIONS.
 - REFER TO ELECTRICAL DRAWINGS FOR FINAL LIGHT, OUTLETS AND ELECTRICAL PANEL LOCATIONS AND SPEC.
 - REFER TO CIVIL DRAWINGS FOR OFFSITE CONSTRUCTION AND FINAL SITE DRAINAGE LAYOUT AND SPEC.
 - REFER TO LANDSCAPE DRAWINGS FOR FINAL LANDSCAPE LAYOUT.
 - REFER TO STRUCTURAL DRAWINGS FOR FINAL WALL/FLOOR/ROOF/COLUMN LAYOUT AND SPECIFICATIONS.
- ASSURANCE / COMPLIANCE REQUIREMENTS**
- THE CURRENT BCBC 2018, ITS REQUIREMENTS AND ALL AGENDA, SHALL FORM AN INTEGRAL PART OF THESE DRAWINGS. ALL CONSTRUCTION MATERIALS AND PROCEDURES SHALL CONFIRM TO THESE STANDARDS.
 - ALL WORK TO CONFORM TO LOCAL BYLAWS AND DEVELOPMENT PERMIT REQUIREMENTS.
 - ALL DRAWINGS ARE TO BE READ AS A COMPLETE SET IN CONJUNCTION WITH SPECIFICATIONS AND CIVIL, STRUCTURAL, MECHANICAL, ELECTRICAL, AND LANDSCAPE DRAWINGS AS APPLICABLE.
 - ALL WORK WILL BE SUBJECT TO FIELD REVIEW BY THE ARCHITECT AND OR OTHER REGISTERED PROFESSIONAL AND BY THE CONSULTING ENGINEERS NAMED ON THESE DRAWINGS TO MEET THE MUNICIPAL LETTERS OF ASSURANCE / COMPLIANCE REQUIREMENTS.
 - ALL WORK MUST MEET THE APPROVAL OF THE PROFESSIONAL CONSULTANTS.
 - ALL WORK MUST MEET THE STANDARDS OF THE BC TRADE ASSOCIATIONS GOVERNING EACH TRADE INVOLVED IN THE PROJECT.
 - STARTING WORK ON THIS PROJECT BY ANY SUB-CONTRACTOR MEANS THAT THE ABOVE REQUIREMENTS HAVE BEEN REVIEWED AND NO EXTRA CLAIM FOR COST WILL BE PUT FORWARD TO MEET THE PROFESSIONAL CONSULTANTS FIELD REVIEW REQUIREMENTS.
 - THE SUB-CONTRACTORS ARE RESPONSIBLE FOR SITE SAFETY AND TO MEET ALL REQUIREMENTS OF THE WORKERS COMPENSATION BOARD.
 - ALL SUB-CONTRACTORS WILL BE REQUIRE TO ACKNOWLEDGE COMPLIANCE WITH ABOVE CONDITIONS BY SIGNING A COPY OF THESE REQUIREMENTS WHICH MUCH ACCOMPANY THEIR QUOTATION.
 - GENERAL CONTRACTOR IS TO KEEP RECORD AND PROVIDE ARCHITECT WITH COPIES OF MUNICIPAL INSPECTION SLIPS.
 - THE CONTRACTOR / CLIENT IS TO INFORM THE ARCHITECT IN WRITING 24 HOURS PRIOR TO STARTING CONSTRUCTION OF THE PROJECT.
 - THE SUB-CONTRACTOR IS TO CHECK ALL DIMENSIONS AFFECTING HIS TRADE AND IN THE CASE OF DISCREPANCY THE CONTRACTOR IS TO BE NOTIFIED BEFORE WORK CAN COMMENCE.
 - THE CONTRACTOR IS TO NOTIFY THE ARCHITECT 24 HOURS PRIOR TO A REQUIRED INSPECTION.

SYMBOL LEGEND:



CODE ANALYSIS / ZONING:

B.C. BUILDING CODE (2018) ANALYSIS

MAJOR OCCUPANCY CLASSIFICATION:
GOVERNING CODE PART: C
GRADE ELEVATION: 346.18m
BUILDING HEIGHT: 3 STOREY
FACING NO. OF STREETS: 2 STREETS
BUILDING AREA: 737m²
SPRINKLERS: NONSPRINKLERED

BASIC CODE CLASSIFICATION:
3.2.2.53 GROUP C, UP TO 3 STORIES, NONSPRINKLERED
- MAX. 3 STOREYS
- MAX. AREA 750m² IF 3 STOREYS
- COMBUSTIBLE OR NON-COMBUSTIBLE
- FLOORS, MEZZANINES, AND LOADBEARING: (45 MIN. FRR)

FIRE ALARM REQUIRED: 3.2.4.1 YES
CENTRAL MONITORING: 3.2.4.7.(4) YES
STANDPIPE REQUIRED: NO
HIGH RISE BUILDING: NO
SMOKE CONTROL MEASURES: NO
EMERGENCY GENERATOR REQUIRED: NO
EMERGENCY POWER SUPPLY DURATION: 1/2 Hrs
EMERGENCY LIGHTING: 3.2.7.3 YES
EXIT SIGNS REQUIRED: 3.4.5.1 YES
FIRE PUMPS REQUIRED: NO
MINOR RELAXATION/EQUIVALENCIES REQUIRED: N/A
MINOR RELAXATION/EQUIVALENCIES ACCEPTED: N/A
INTERCONNECTED FLOOR SPACE: 3.2.8.2.(6) NO

BCBC 2018 3.4.2.5. MAX. TRAVEL DISTANCE 30m

EXISTING ZONING = RU6
PROPOSED ZONING = RM3r

SITE AREA = 1,299.1m²

F.A.R. = 0.75
AMENITY BONUS F.A.R. = 0.05
TOTAL = 0.80 x 1,299.1m²
= 1,039.2m² (11,185.9ft²)

BUILDING SITE COVERAGE = 48%
(ALLOWABLE = 50% w/ AMENITY BONUS)
TOTAL REQUIRED = 330m²
TOTAL PROVIDED = 384m²

OVERALL SITE COVERAGE = 58%
(ALLOWABLE = 60%)

PARKING
20 UNITS x 1.25 STALLS = 25 STALLS
20 UNITS x 0.14 = 3 VISTOR STALLS
- 10% STALLS (RENTAL)
- 5 STALLS (BONUS-BIKE PARKING)
TOTAL = 20 STALLS

BIKE PARKING
REQ'D SHORT-TERM = 6 STALLS
PROVIDED = 6 STALLS
REQ'D BONUS LONG-TERM = 20 STALLS
PROVIDED = 24 STALLS

HEIGHT
MAX. HEIGHT = 10m OR 3 STOREYS
ACTUAL HEIGHT = 10m AND 3 STOREYS

SETBACKS
FRONT = 4.5m; SIDE = 4.0m; REAR = 3.0m

CONTEXT SITE PLAN:



CONSULTANTS:

ARCHITECTURAL
NOVATION ARCHITECTURE LTD.
302-2237 LECKIE ROAD
KELOWNA, BC V1X 6Y5
TEL. (236) 420-4144
FAX. (250) 000-0000

CIVIL
APLIN & MARTIN CONSULTANTS LTD.
1258 ELLIS STREET
KELOWNA, BC V1Y 1Z4
TEL. (250) 448-0157

LANDSCAPE
OUTLAND DESIGN
303 - 590 K.L.O. ROAD
KELOWNA, BC V1Y 7S2
TEL. (250) 868-9270

DRAWING INDEX:

NO.	NAME
A0.00	COVER SHEET
A1.00	SITE PLAN
A2.00	FOUNDATION PLAN
A2.01	MAIN FLOOR PLAN
A2.02	SECOND FLOOR PLAN
A2.03	THIRD FLOOR PLAN
A2.04	ROOF PLAN
A2.05	OVERALL ROOF PLAN
A3.00	EXTERIOR ELEVATIONS
A3.01	EXTERIOR ELEVATIONS
A4.00	BUILDING SECTIONS
A5.00	DOOR & WINDOW SCHEDULE

ILLUSTRATION:



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Seal

2021-04-30

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REVISIONS		

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KELOWNA BC V1X 6Y5

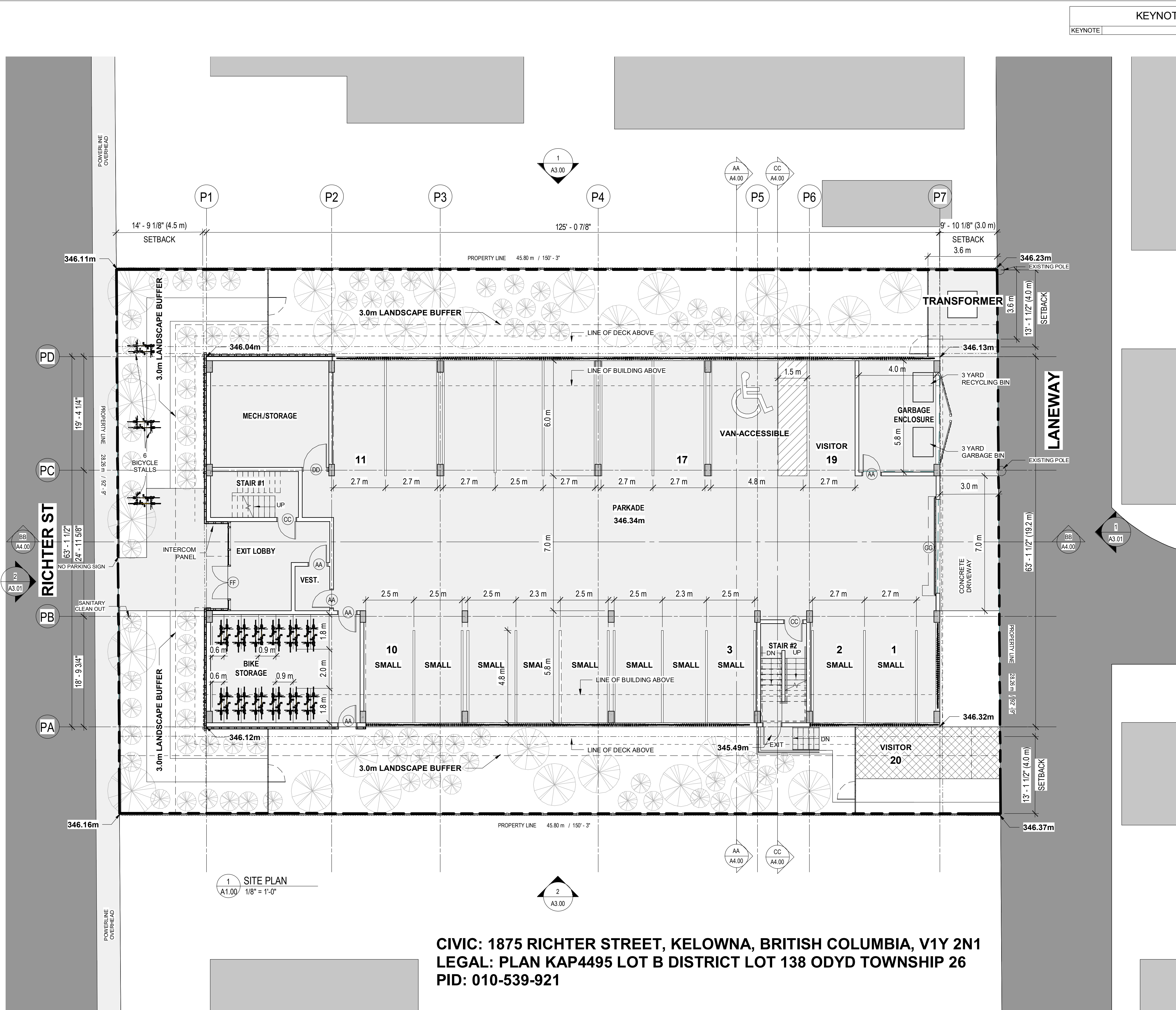
project title
RICHTER COMMONS

1875 RICHTER STREET, KELOWNA, BRITISH COLUMBIA V1Y 2N1
PLAN KAP4495 LOT B DISTRICT LOT 138

project no. 2128

drawing title
COVER SHEET

designed	PS	scale	1" = 1'-0"
drawn	BD		
checked	PS		
drawing no.	A0.00		
plotted	2021-04-30 9:14:51 AM		



1 SITE PLAN
A1.00 1/8" = 1'-0"

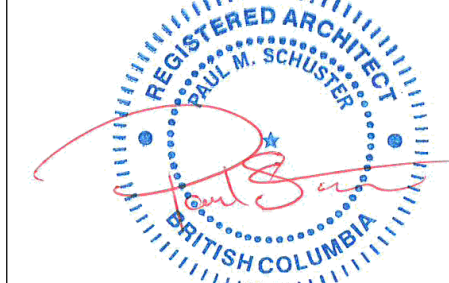
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LEGAL: PLAN KAP4495 LOT B DISTRICT LOT 138 ODYD TOWNSHIP 26
PID: 010-539-921

KEYNOTE LEGEND

KEYNOTE DESCRIPTION

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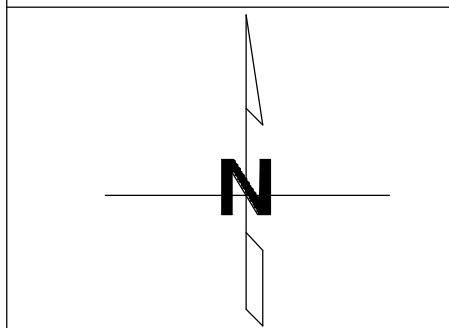
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KELOWNA BC V1Y 6Y5

project title
RICHTER COMMONS
1875 RICHTER STREET, KELOWNA, BRITISH COLUMBIA V1Y 2N1
PLAN KAP4495 LOT B DISTRICT LOT 138

project no. 2128

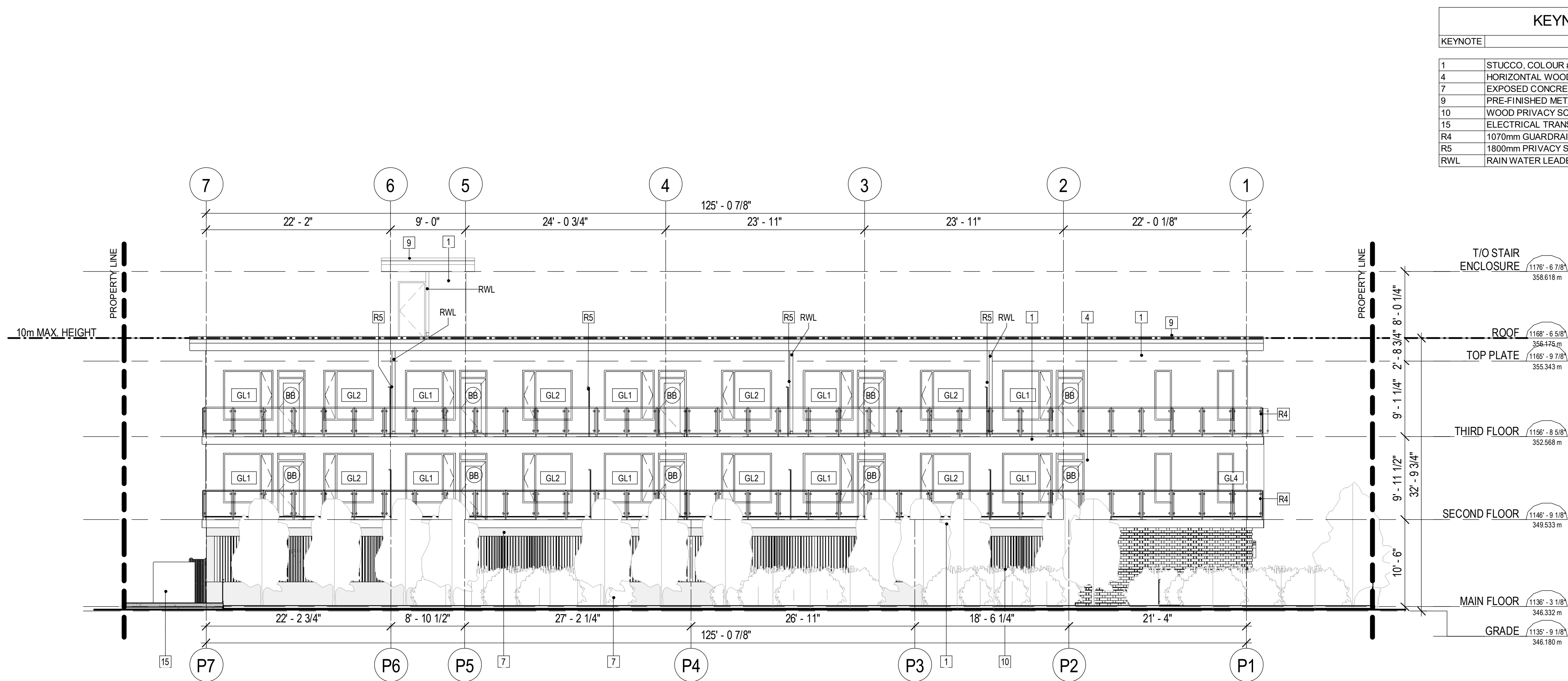
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SITE PLAN

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drawing no.

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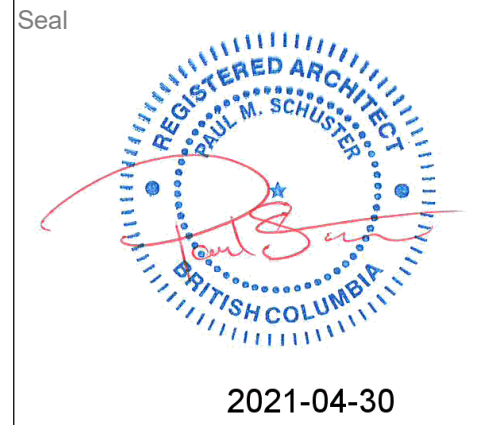
1 NORTH ELEVATION
1/8" = 1'-0"



2 SOUTH ELEVATION
A3.00 1/8" = 1'-0"

KEYNOTE LEGEND	
KEYNOTE	DESCRIPTION
1	STUCCO, COLOUR #1 (LIGHT)
4	HORIZONTAL WOOD SIDING
7	EXPOSED CONCRETE
9	PRE-FINISHED METAL CAP FLAASHING - BLACK
10	WOOD PRIVACY SCREEN
15	ELECTRICAL TRANSFORMER
R4	1070mm GUARDRAIL w/ GLASS INFILL
R5	1800mm PRIVACY SCREEN w/ GLASS INFILL
RWL	RAIN WATER LEADER

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PLAN KAP4495 LOT B DISTRICT LOT 138

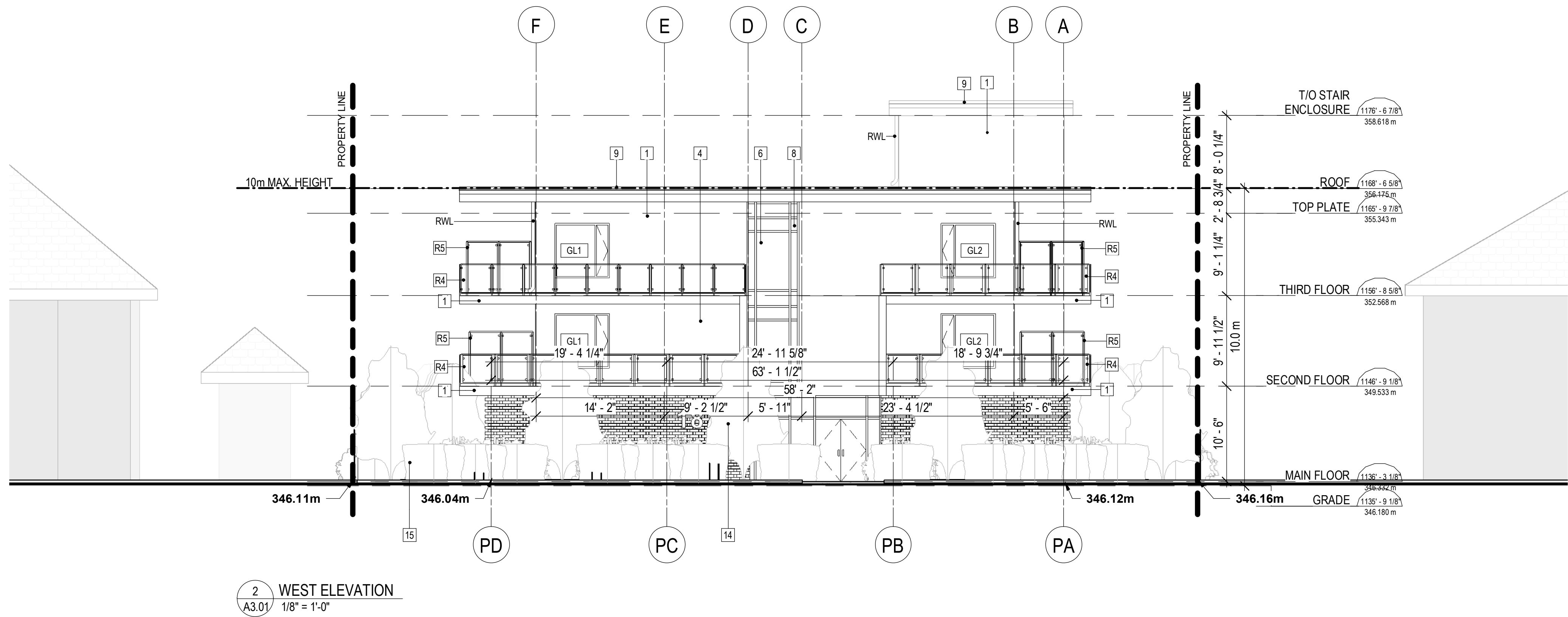
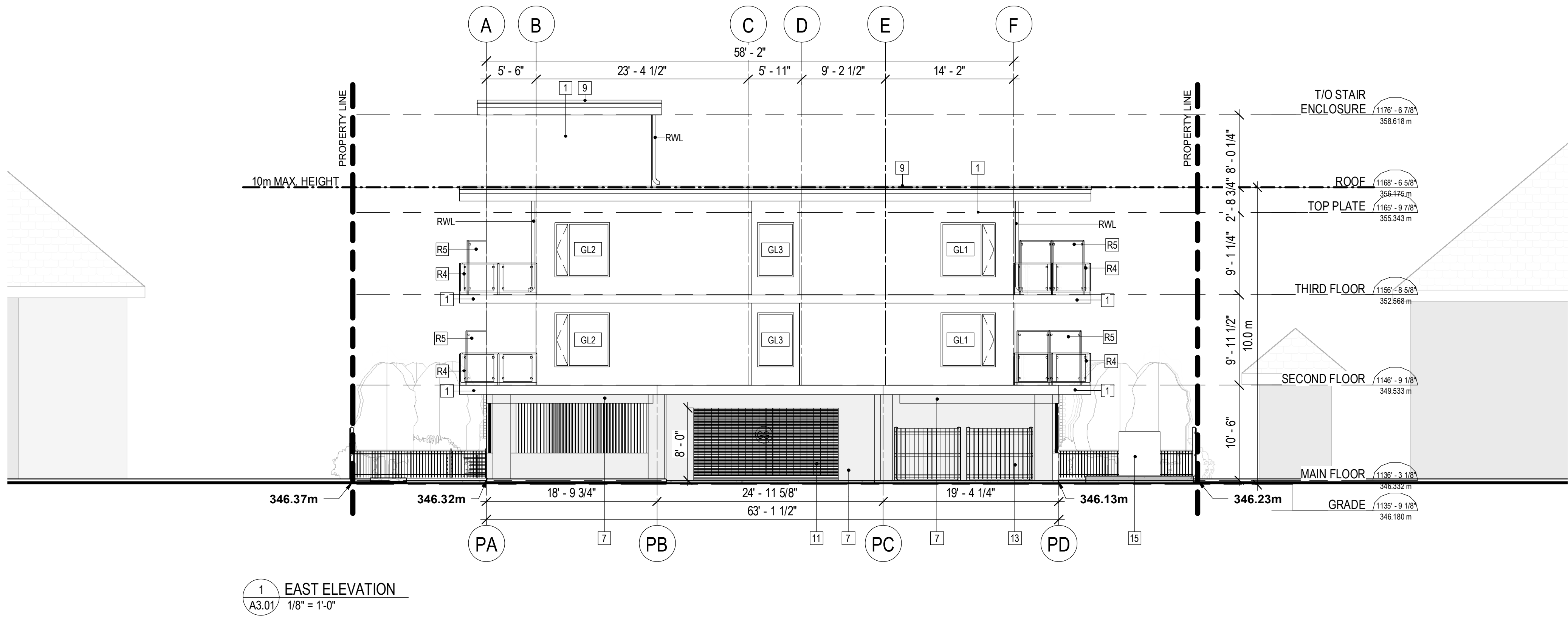
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drawing title
EXTERIOR ELEVATIONS

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drawing no.			

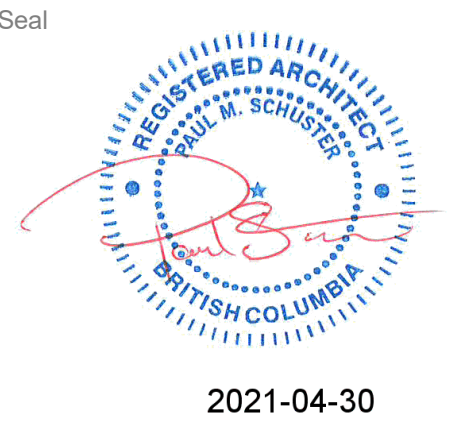
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KEYNOTE LEGEND	
KEYNOTE	DESCRIPTION
1	STUCCO, COLOUR #1 (LIGHT)
4	HORIZONTAL WOOD SIDING
6	CLEAR GLAZING
7	EXPOSED CONCRETE
8	SPANDREL PANEL
9	PRE-FINISHED METAL CAP FLASHING - BLACK
11	OVERHEAD SECURITY GILLE
13	WASTE ENCLOSURE GATE
14	SIGNAGE; PROVIDE POWER AND REQUIRED BACKING
15	ELECTRICAL TRANSFORMER
R4	1070mm GUARDRAIL w/ GLASS INFILL
R5	1800mm PRIVACY SCREEN w/ GLASS INFILL
RWL	RAIN WATER LEADER

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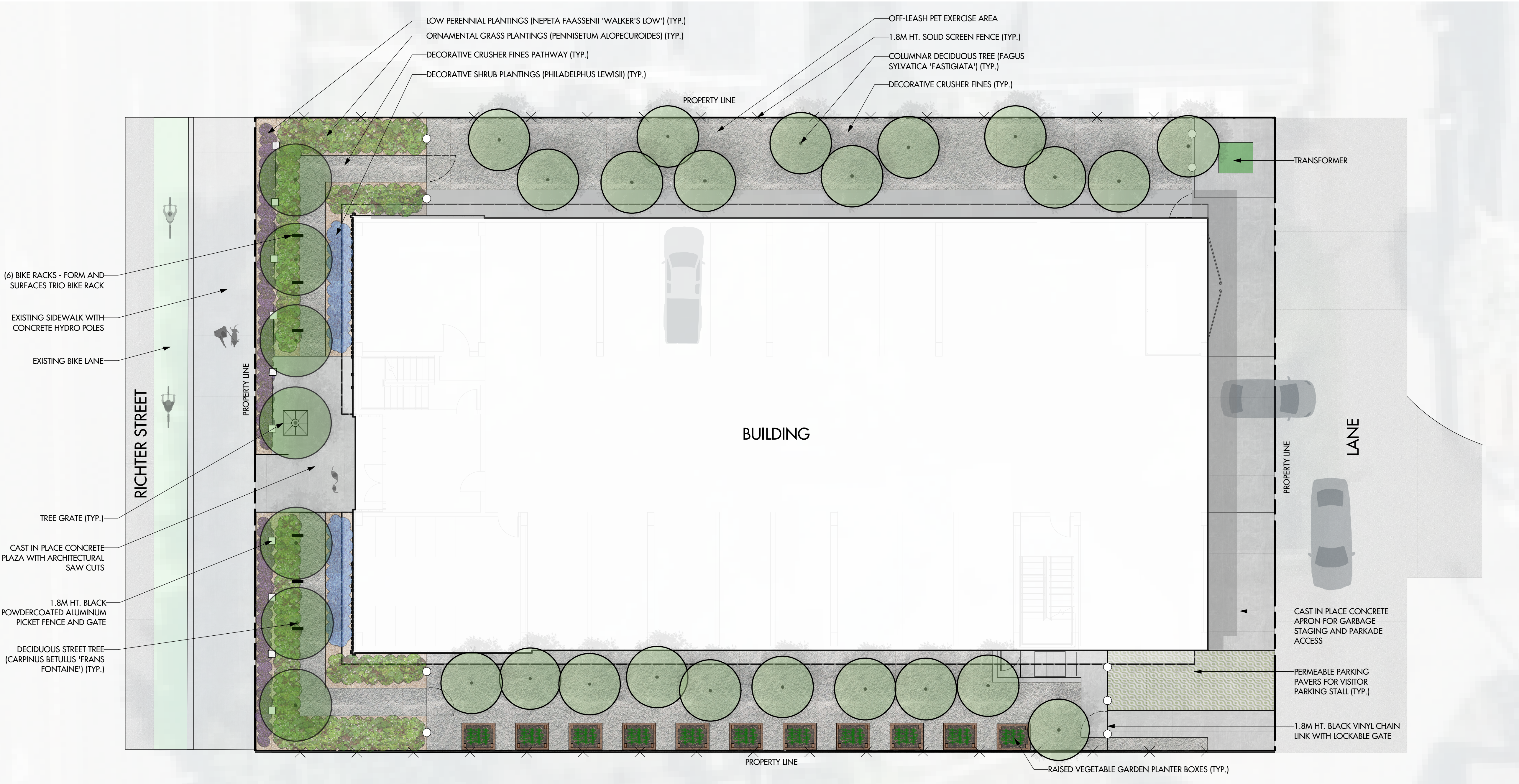
project no. 2128

drawing title
EXTERIOR ELEVATIONS

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drawn	BD		
checked	PS		

drawing no.
A3.01

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PLANT LIST			
BOTANICAL NAME	COMMON NAME	QTY	SIZE/SPACING & REMARKS
TREES			
CARPINUS BETULUS 'FRANS FONTAINE'	FRANS FONTAINE HORNBEAM	7	6cm CAL.
FAGUS SYLVATICA 'FASTIGIATA' (DAWYCK)	PYRAMIDAL GREEN BEECH	22	6cm CAL.
SHRUBS			
PHILADELPHUS LEWISII	WILD MOCK ORANGE	10	#02 CONT. /2.4M O.C. SPACING
PERENNIALS, GRASSES & GROUNDCOVERS			
NEPETA FAASSENII 'WALKER'S LOW'	CATMINT	58	#01 CONT. /0.60M O.C. SPACING
PENNISETUM ALOPECUROIDES	FOUNTAIN GRASS	21	#01 CONT. /1.0M O.C. SPACING

- NOTES
1. PLANT MATERIAL AND CONSTRUCTION METHODS SHALL MEET OR EXCEED THE CANADIAN LANDSCAPE STANDARD.

2. ALL SOFT LANDSCAPE AREAS SHALL BE WATERED BY A FULLY AUTOMATIC TIMED UNDERGROUND IRRIGATION SYSTEM.

3. TREE AND SHRUB BEDS TO BE DRESSED IN A MINIMUM 75mm DOUGLAS RED FIR MULCH, AS SHOWN IN PLANS. DO NOT PLACE WEED MAT UNDERNEATH TREE AND SHRUB BEDS.

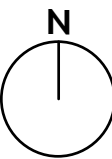
4. TREE AND SHRUB BEDS TO RECEIVE A MINIMUM 300mm DEPTH TOPSOIL PLACEMENT.

6. SITE GRADING AND DRAINAGE WILL ENSURE THAT ALL STRUCTURES HAVE POSITIVE DRAINAGE AND THAT NO WATER OR LOOSE IMPEDIMENTS WILL BE DISCHARGED FROM THE LOT ONTO ADJACENT PUBLIC, COMMON, OR PRIVATE PROPERTIES.



OUTLAND DESIGN
LANDSCAPE ARCHITECTURE

303-590 KLO Road
Kelowna, BC V1Y 7S2
T (250) 868-9270
www.outlanddesign.ca



PROJECT TITLE
**1875 RICHTER STREET
DEVELOPMENT**
Kelowna, BC

DRAWING TITLE
**CONCEPTUAL
LANDSCAPE PLAN**

ISSUED FOR / REVISION		
1	21.04.06	Review
2	21.04.14	Review
3		
4		
5		

PROJECT NO	21-045
DESIGN BY	FB
DRAWN BY	MC
CHECKED BY	FB
DATE	APR. 14, 2021
SCALE	1:100
PAGE SIZE	24"x36"

SEAL



DRAWING NUMBER

L1/2

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