

Heritage Advisory Committee

AGENDA



Thursday, February 16, 2017

12:00 pm

Knox Mountain Meeting Room (#4A)

City Hall, 1435 Water Street

Pages

1. Call to Order

THE CHAIR WILL CALL THE MEETING TO ORDER:

- (a) The purpose of this Meeting is to consider certain Development Applications as noted on this meeting Agenda.
- (b) The Reports to Committee concerning the subject development applications are available on the City's website at www.kelowna.ca.
- (c) All representations to the Heritage Advisory Committee form part of the public record.
- (d) As an Advisory Committee of Council, the Heritage Advisory Committee will make a recommendation of support or non-support for each application as part of the public process. City Council will consider the application at a future date and, depending on the nature of the file, will make a decision.

2. Appointment of Chair and Vice-Chair

To appoint a Committee Chair and Vice-Chair for 2017.

3. Applications for Consideration

3.1 377 Cadder Avenue, HAP17-0002 - Sandra Stober

3 - 29

To consider the development of a new single family dwelling with secondary suite on the subject property within the Abbott Street Conservation Area.

4. Minutes

30 - 32

To approve the Minutes of the Meeting of January 19, 2017.

5. Update - Council Decisions

6. Next Meeting

March 16, 2017

7. Termination of Meeting

REPORT TO COMMITTEE



Date: February 16, 2017
RIM No. 0940-60
To: Heritage Advisory Committee
From: Community Planning Department (EW)
Application: HAP17-0002 **Owner:** Sandra Nadyne Karen Stober
Address: 377 Cadder Ave **Applicant:** Hauge Construction Ltd.
Subject: Heritage Alternation Permit
 Existing OCP Designation: S2RES – Single/Two Unit Residential
 Existing Zone: Ru1 – Large Lot Housing
 Heritage Conservation Area: Abbott Street
 Heritage Register: Not Included

1.0 Purpose

To consider the development of a new single family dwelling with a secondary suite on the subject property within the Abbott Street Heritage Conservation Area.

2.0 Proposal

2.1 Background/ Site Context

The subject property is located on the south side of Cadder Ave, one block east of Abbott Street. The property is zoned RU₁ – Large Lot Housing and is designated as S2RES – Single/ Two Unit Residential in the Official Community Plan. The property is located in the Abbott Street Heritage Conservation area, but is not included on the Heritage Register. The Abbott Street Conservation Guidelines identify the dominant style for this block as ‘Late Arts & Crafts’.

LEGEND

- Victorian Revival
- Mediterranean Revival
- Tudor Revival
- Colonial Revival
- Arts & Crafts (early)
- Arts & Crafts (late)
- Vernacular Cottage (early)
- Vernacular Cottage (late)
- Early Suburban



Figure 1. Excerpt from Heritage Conservation Areas Dominant Style Map 2 (Late Arts & Crafts).

The existing single-storey dwelling was constructed in 1946 in the 'Late Vernacular Cottage' building style. The plan is to demolish the existing dwelling as it has been tested and found to contain lead and asbestos.

2.2 Project Description

As indicated in the applicant’s design package, the proposed single family dwelling with a secondary suite was inspired by elements of the Victorian Revival style and Cadder House’s Queen Anne style. Design elements include a gable roof, returned eaves, gabled dormers, multiple pane windows, a covered porch, and decorative details. The exterior materials include painted shingles and natural stone accents.

The building is located 9.1 m from the front property line, which is greater than 10% of the adjacent building setback to the west. The massing of the proposed building is also larger than that of the properties to the west, but is less than that of the adjacent property to the east. The side-entry garage is consistent with the heritage development guideline to discourage garage doors facing the street. The submitted landscape plan retains all mature existing trees on site.

Heritage Advisory Committee

Community Planning Staff are looking for comments regarding the form and character of the proposed dwelling as well as the location and massing of the proposed building on the subject property.

2.3 Zoning Analysis Table

Zoning Analysis Table		
CRITERIA	RU ₁ ZONE REQUIREMENTS	PROPOSAL
Development Regulations		
Maximum Site Coverage (Buildings)	40%	32%
Maximum Site Coverage (Buildings, Parking, Driveway)	50%	50%
Maximum Height	9.5 m/ 2 ½ storeys	7.9 m/ 2 storeys
Minimum Front Yard	4.5 m	9.1 m
Minimum Side Yard (east)	2.0 m	2.0 m
Minimum Side Yard (west)	2.0 m	2.0 m
Minimum Rear Yard	7.5 m	12.5m

The application meets the Zoning Bylaw development regulations with no variances requested.

Report prepared by: Emily Williamson, Planner I
Approved for Inclusion: Terry Barton, Urban Planning Manager

Attachments:

- Schedule 'A' - Heritage Guidelines
- Attachment 'A' - Applicant's Rationale
- Attachment 'B' - Plans & Drawings
- Attachment 'C' - Photos

SCHEDULE A – Heritage Guidelines



1 Subject: 2 HAP17-0002, 377 Cadder Ave

1.0 Heritage Conservation Area Guidelines (Kelowna Official Community Plan Chapter 16)

Objectives:

- Maintain the residential and historical character of the Marshall Street and the Abbott Street Heritage Conservation Areas;
- Encourage new development, additions and renovations to existing development which are compatible with the form and character of the existing context;
- Ensure that change to buildings and streetscapes will be undertaken in ways which offer continuity of the 'sense-of-place' for neighbours, the broader community; and
- Provide historical interest for visitors through context sensitive development.

Consideration has been given to the following guidelines as identified in Chapter 16 of the City of Kelowna Official Community Plan relating to Heritage Conservation Areas:

HERITAGE CONSERVATION AREA	YES	NO	N/A
Site Layout and Parking			
Are established front yard setbacks maintained within 10% of neighbouring building setbacks?		✓	
Are parking spaces and garages located in the rear yard?		✓	
Are established building spacing patterns maintained?		✓	
Does the carriage house complement the character of the principal dwelling?			✓
Are accessory buildings smaller than the principal building?			✓
Building Massing			
Is the established streetscape massing maintained?		✓	
Is the massing of larger buildings reduced?	✓		
Roof Forms, Dormers and Chimneys			
Is the roof pattern in keeping with neighbouring buildings?		✓	
Are skylights hidden from public view?			✓
Are high quality, low maintenance roofing materials being used?	✓		

HERITAGE CONSERVATION AREA	YES	NO	N/A
Are the roofing materials similar to traditional materials?	✓		
Are the soffit, overhang and rain water drainage features in keeping with the building's architectural style?	✓		
Do secondary roof elements have a similar pitch as the principal roof?	✓		
Are chimneys in keeping with the building's architectural style?			✓
Cladding Materials			
Are low maintenance building materials being used?	✓		
Are the building materials similar to traditional materials?	✓		
Are exterior colours in keeping with the traditional colours for the building's architectural style?	✓		
Doors and Windows			
Are established window placement, style and window-to-wall area ratios maintained?	✓		
Are established door placement, style and door-to-wall area ratios maintained?	✓		
Is the main entrance a dominant feature visible from the street?		✓	
Is the main entrance in keeping with the building's architectural style?	✓		
Are the door and window design details consistent with the building's architectural style?	✓		
Landscaping, Walks and Fences			
Are existing healthy mature trees being retained?	✓		
Is the front yard landscaping consistent with neighbouring properties?	✓		
Is street facing fencing or screening landscaping no more than 1 m in height?	✓		
Privacy and Shadowing Guidelines			
Are there clear sightlines from the street to the front yard and dwelling?		✓	
Does the building location minimize shadowing on the private open space of adjacent properties?	✓		

2.0 Abbott Street & Marshall Street Heritage Conservation Areas Development Guidelines

2.1 Second Civic Phase Architectural Styles (approx. 1918-1932)

The second civic phase spans from the end of the Great War, 1918, and continues through to the Great Depression, about 1932. This period is noted for traditional styles continuing to be favoured by builders and home buyers of the period. Late Arts & Crafts and Early Vernacular Cottage architectural styles characterize the period. However, other styles, such as Tudor Revival, did continue to be built as prestige homes within the Abbott Street Heritage Conservation Area.

Late Arts & Crafts Style Characteristics (Dominant Street Style)

- Stick-built feel to the architecture
- Medium gable and hip roof form
- Decorated soffit & brackets
- Enclosed front porch or portico
- Up to 2 ½ storeys
- Horizontal wood siding & corner-boards
- Upper storey belting (cladding may vary)
- Ornamental crafted wood
- Vertical double-hung window openings
- Multi-sash window assembly
- Wide window & door trim
- Multiple pane windows
- Asymmetrical front façade
- Wood shingle roofing
- Side or rear yard parking

2.2 Third Civic Phase Architectural Styles (approx. 1933-1945)

The third civic phase spans from the end of the Great Depression, about 1933, and continues to the end of World War II, 1945. This period is noted for a declining interest in traditional styles in favour of smaller, less ornately detailed housing development. The dominant styles of this period are the Late Vernacular Cottage and the 'forward looking' Moderne architecture. However, well-to-do members of Kelowna's leading civic and commercial families continued to build large homes of more traditional style.

Late Vernacular Cottage Characteristics (Existing Building Style)

- Less fanciful feel to the architecture
- Flush gable verges
- Stucco or horizontal siding
- Up to 2 storey massing
- Clustered vertical window sashes

- Asymmetrical façade design
- Flush front entrance
- Minor decorative detailing
- Gable roof forms
- Wood or interlocking asphalt shingle
- Side or rear yard parking



377 Cadder Ave – size and design rationale

The homeowners of 377 Cadder Avenue are an active but aging couple. The husband is 86 and the wife is 78. This couple prides themselves on charity work, golfing, long walks and hosting dinners at their home for their family. The house, inspired by elements of the Victorian Revival, with consideration given to the more restrained approach of the Late Vernacular Cottage style prevalent in the area, complements the street. The homeowners took their cues on size and style from the beautifully refurbished heritage home at 315 Cadder Ave.

While the size of the home is larger than the one currently on the lot, the new home was designed specifically to facilitate the needs of an active older couple as well as to accommodate the future challenges that come with aging. The plan has a main floor master with an elevator to access the upper floor. The upper floor is designed to accommodate visits from children and grandchildren. In addition, as they currently have a caregiver they requested the addition of a suite that would be specifically attached to the home. The suite is situated over the garage on the east side of the lot to minimize the impact. Their live-in caregiver helps with cleaning and home care, driving and running errands. Their goal is to age gracefully in their home with the assistance of a live-in caregiver. This home represents a gracious example of accommodating the needs and desires of an aging couple while still honouring the beauty of the heritage inspiration.

Development Proposal



The focus of development for 377 Cadder Avenue is to demolish the mid 1900's home and replace it with a new home that is inspired by the Victorian Revival style and honors the heritage theme of the Abbott Street Heritage District. The current home is unusable as it has been tested and found to contain many hazardous materials including lead and asbestos.

The proposed home was inspired by elements from the Victorian Revival style of the Cadder house at 2124 Pandosy Street.



2124 Pandosy Street

The elements include: a steep gable roof with returned eaves and gabled dormers, multiple pane windows, covered open porch and decorative detailing. In addition, the exterior is made complete with painted shingles and natural stone accents.

The proposed home has been designed to sit in the original foot print area to maintain the large, welcoming front yard that is prevalent on the street. The home is set back from the contemporary house to the east (385 Cadder) and provides a natural set back transition to the house on the west (359 Cadder Ave.) Although the front yard set back is 4.5 meters from the property line we have set the garage back to 9.144 meters. The side entry to the garage pushes the front back even farther to 24.38 meters in order to maintain the spacious front yard appeal.

In addition, landscape plan development has taken extreme care to maintain all the mature existing trees on site. Also, professional landscapers will remove and store any useable shrubs and trees for replanting in the final landscape plan.

In summary, our proposed design will complement and enhance the heritage district by focusing on reviving key features and elements that reflect the original neighborhood. Upon completion, 377 Cadder will look and feel like a heritage home that has been a distinguished member of the Abbott Street Heritage District for many years.



Street View

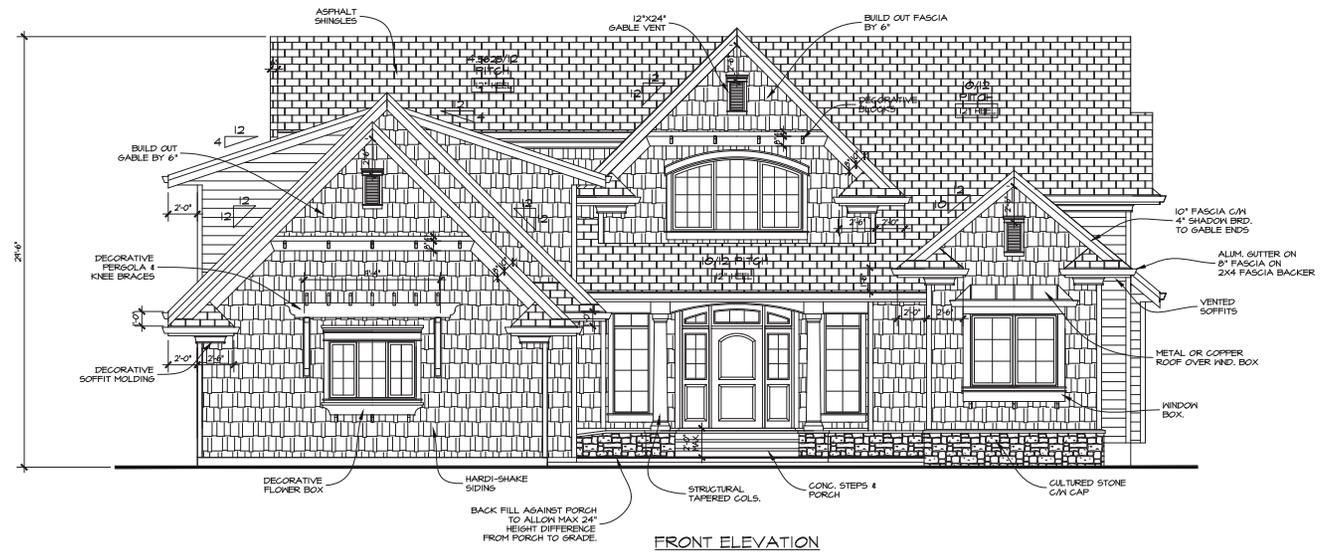


377 CADDEN AVE
KELOWNA B.C.

West View



NOTE:
 ALL EXTERIOR DOOR AND WINDOW SIZES, PATTERNS,
 COMBINATIONS, CONFIGURATIONS AND SEPARATIONS
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 ENSURE NAFS (NORTH AMERICAN FENESTRATION
 STANDARD) COMPLIANCE.
 WHAT'S SHOWN ON THE PLANS IS JUST A REPRESENTATION
 OF THE LOOK AND FEEL INTENDED BY THE DESIGNER.
 THE TYPE OF WINDOW USED AND MANUFACTURER SPECS
 MAY VARY AND THEREFORE NEED TO BE CONFIRMED
 PRIOR TO CONSTRUCTION.



FRONT ELEVATION



RIGHT ELEVATION

FRONT AND RIGHT ELEVATIONS

ERRORS AND OMISSIONS

- BAXTER DESIGN & SHANE BAXTER shall not be responsible for any variances from the structural drawings and specifications, or adjustments required resulting from conditions encountered at the job site, and is the sole responsibility of the owner or contractor.
- BAXTER DESIGN & SHANE BAXTER makes every effort to provide complete and accurate construction drawings. However, we assume no liability for any errors or omissions which may affect construction. It is the responsibility of all trades and sub-contractors to check and verify all dimensions and details before commencing with their portion of the construction. Should any discrepancies be found on these plans please advise our office so we can make the necessary corrections.

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 email: baxterdesign@shaw.ca

PROPOSED RESIDENCE FOR:
377 CADDER AVE.
 KELOWNA, B.C.

DRAWING SCALE: 1/4" = 1'-0"

DATE: OCT. 4, 2016

REV. DATE(S):

DRN. BY: S.H.B.

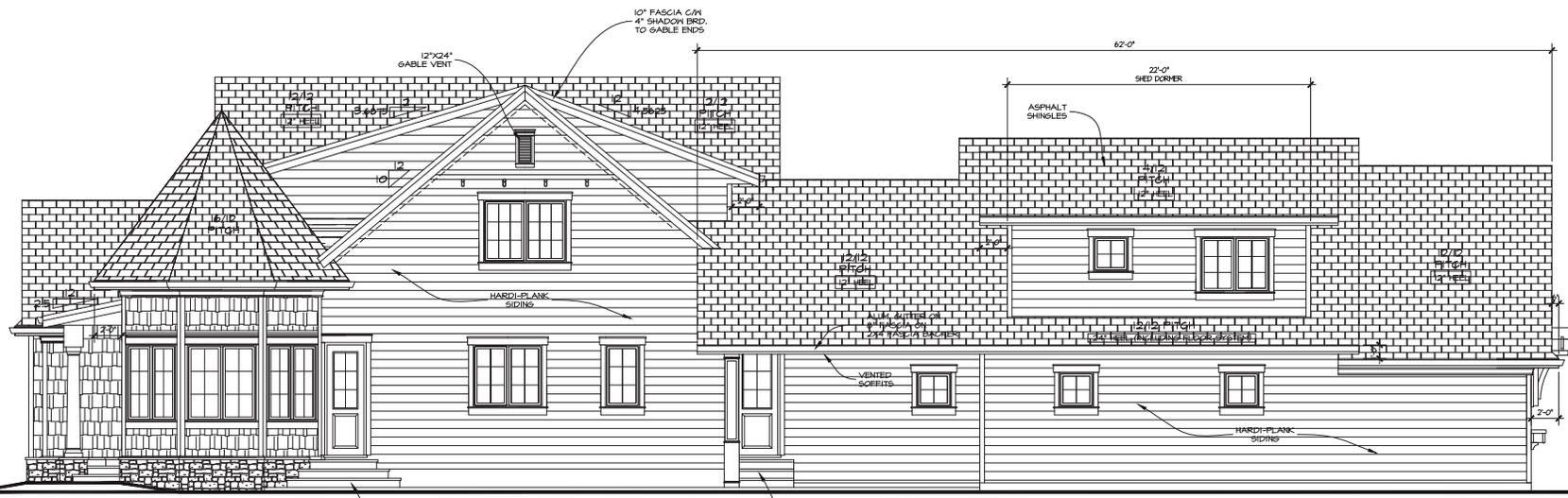
WORKING DRAWINGS

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REAR ELEVATION

BACK FILL AGAINST PORCH TO ALLOW MAX 24\"/>



LEFT ELEVATION

REAR AND LEFT ELEVATIONS

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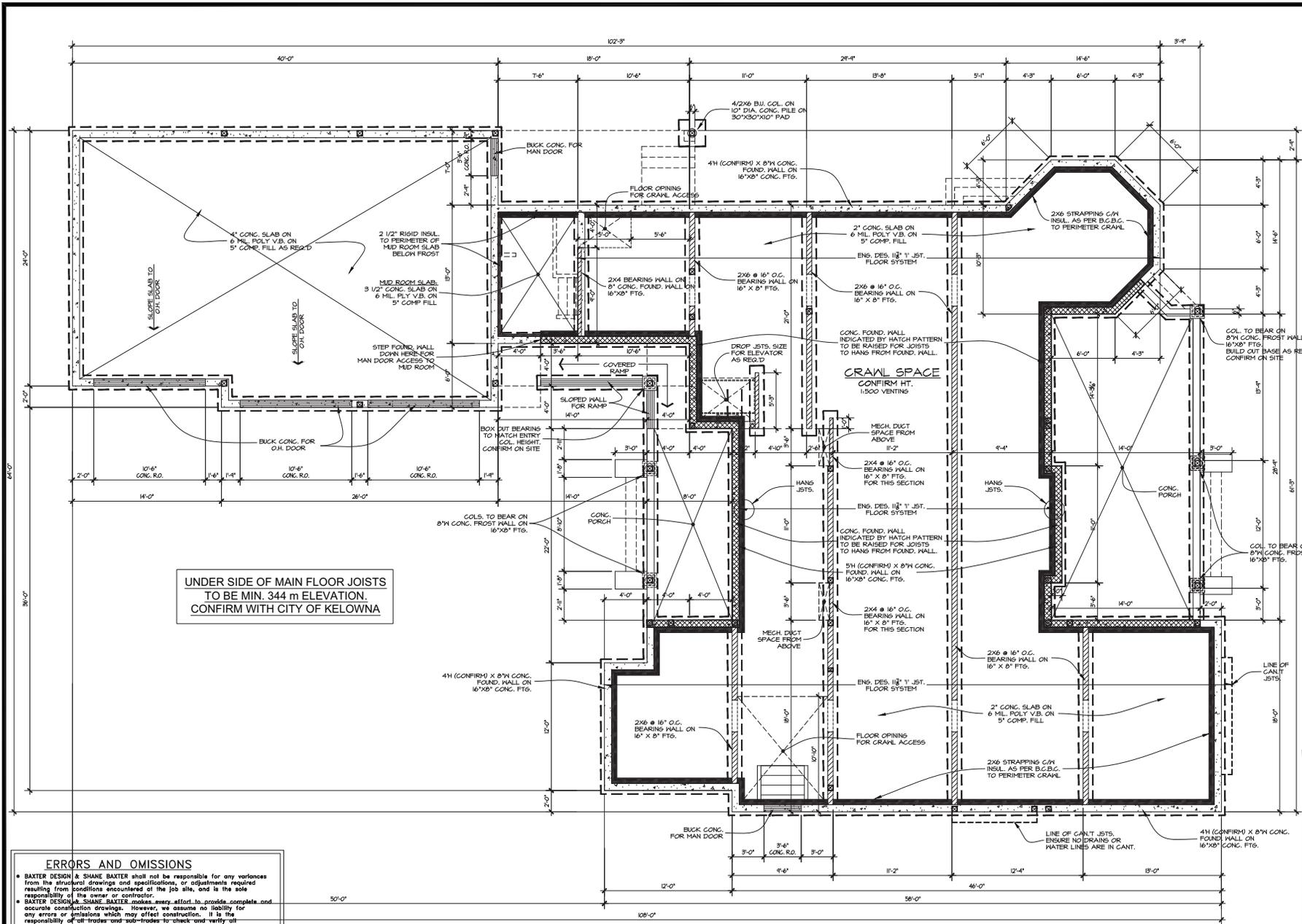
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NOTES:
 - FOUNDATION HEIGHTS MAY VARY AS PER SITE GRADE
 - ALL FOOTINGS TO BE BELOW FROST LINE
 - STEP FOOTINGS 2' MAX. VERT. & 2' MIN. HORIZ.

UNDER SIDE OF MAIN FLOOR JOISTS TO BE MIN. 344 m ELEVATION. CONFIRM WITH CITY OF KELOWNA

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FOUNDATION PLAN



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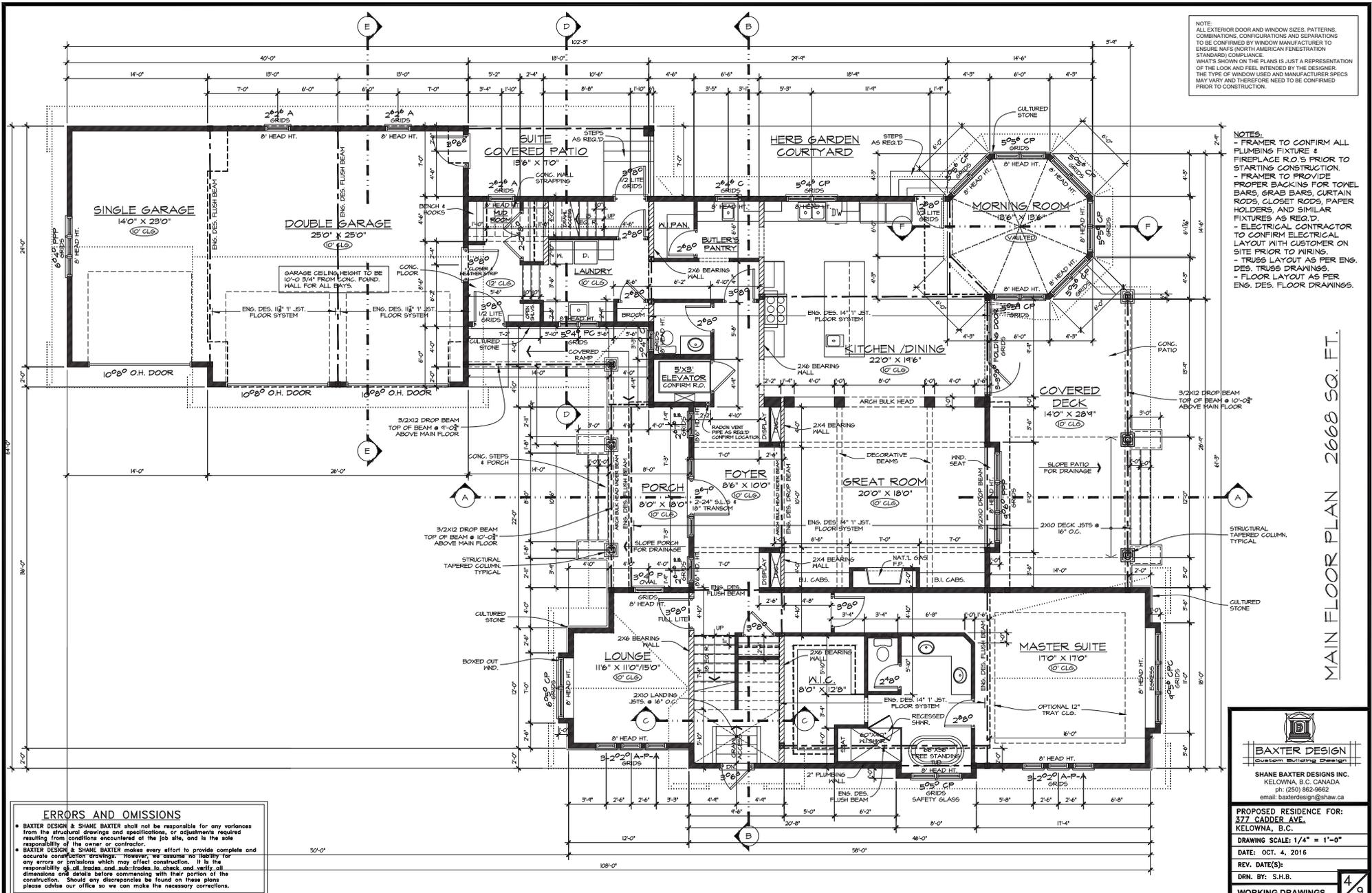
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NOTES:
 - FRAMER TO CONFIRM ALL PLUMBING FIXTURE & FIREPLACE R.O.'S PRIOR TO STARTING CONSTRUCTION.
 - FRAMER TO PROVIDE PROPER BACKING FOR TOMEI BARS, GRAB BARS, CURTAIN RODS, CLOSET RODS, PAPER HOLDERS, AND SIMILAR FIXTURES AS REQ'D.
 - ELECTRICAL CONTRACTOR TO CONFIRM ELECTRICAL LAYOUT WITH CUSTOMER ON SITE PRIOR TO WIRING.
 - TRUSS LAYOUT AS PER ENG. DES. TRUSS DRAWINGS.
 - FLOOR LAYOUT AS PER ENG. DES. FLOOR DRAWINGS.

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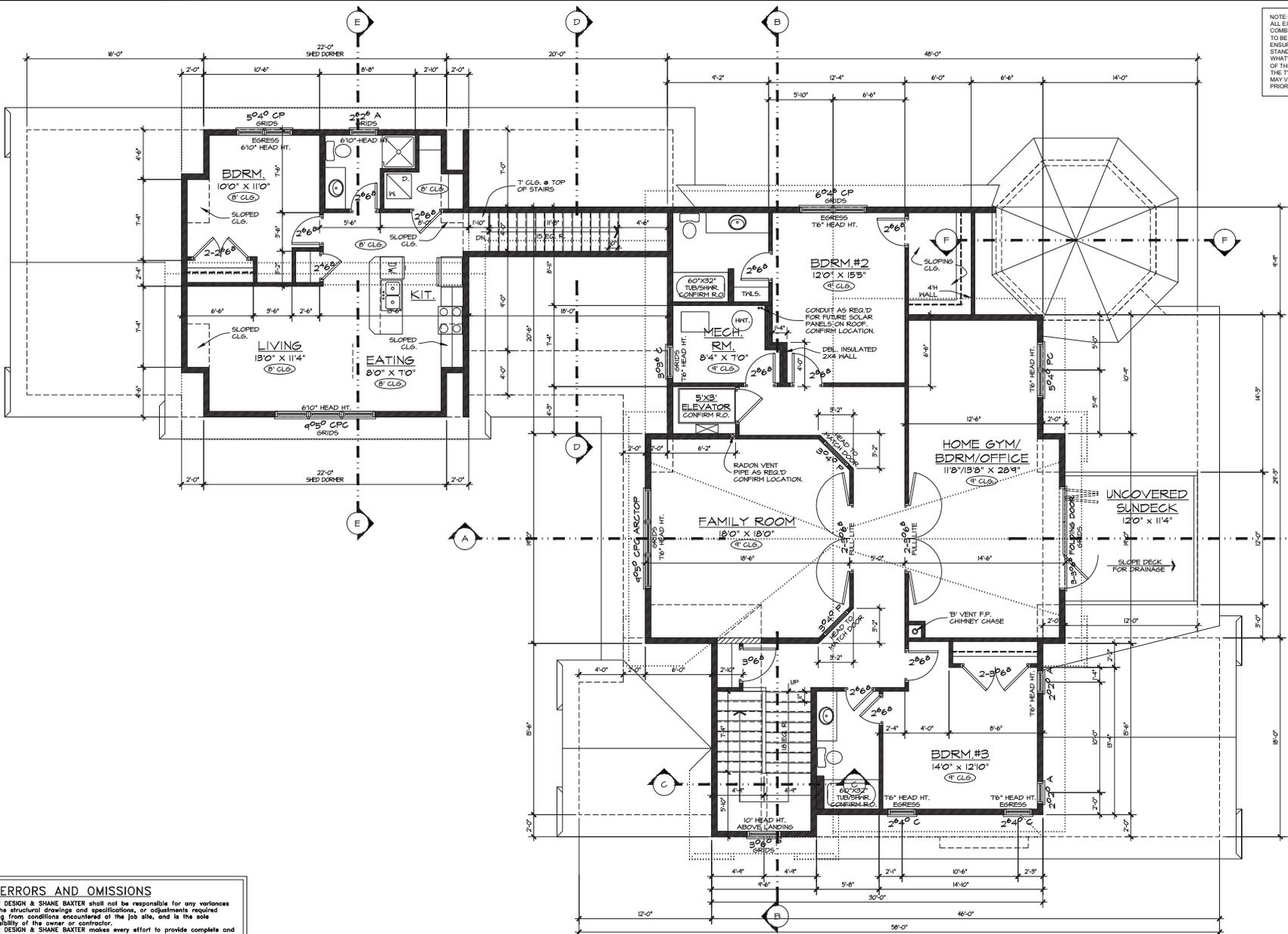
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WORKING DRAWINGS 4/9

MAIN FLOOR PLAN 2668 SQ. FT.

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 - TRUSS LAYOUT AS PER ENG. DES. TRUSS DRAWINGS.
 - FLOOR LAYOUT AS PER ENG. DES. FLOOR DRAWINGS.



UPPER FLOOR PLAN 1720 SQ. FT.
 ONE BDRM. SUITE 650 SQ. FT.

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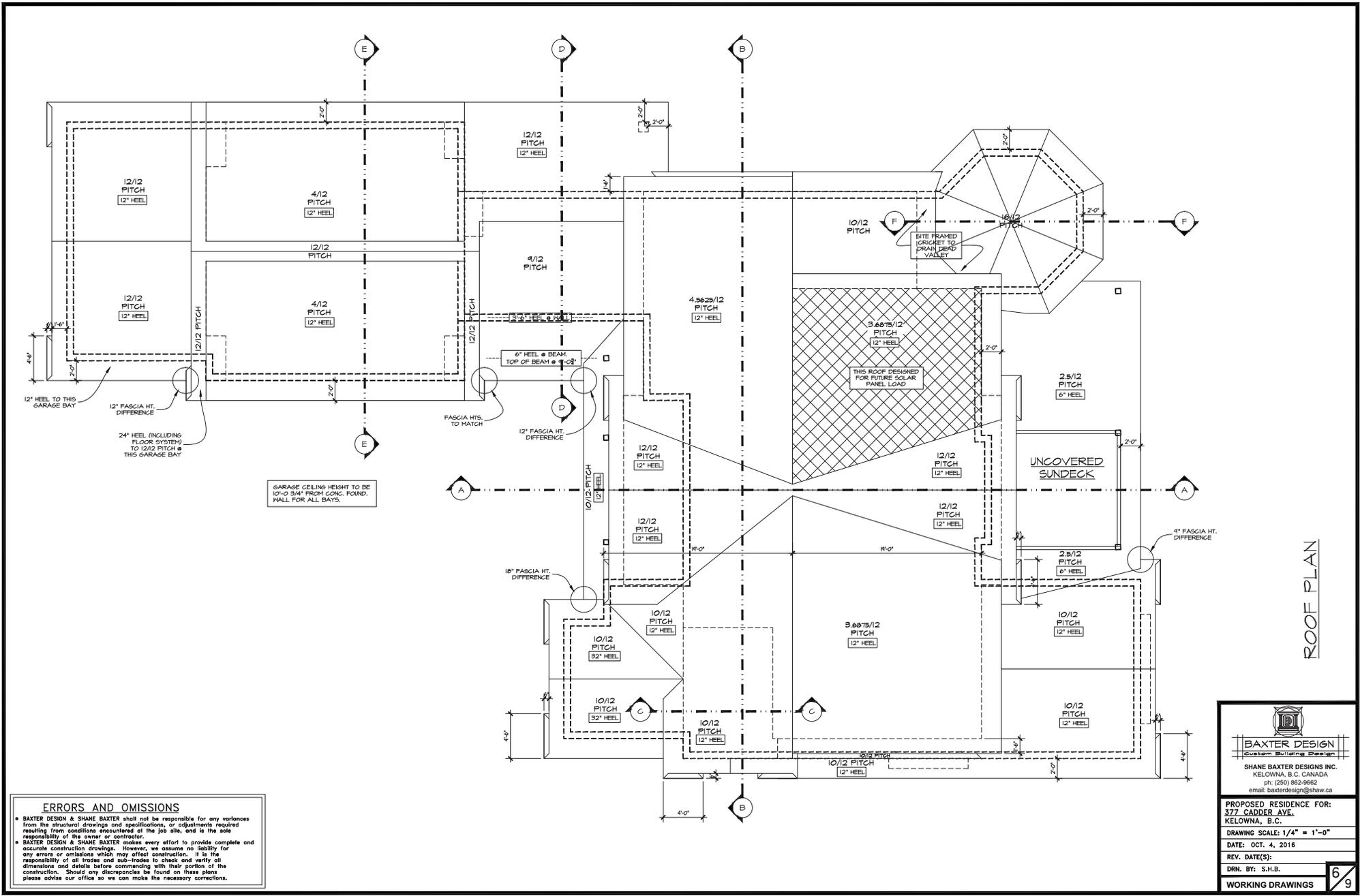
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WORKING DRAWINGS 5/9



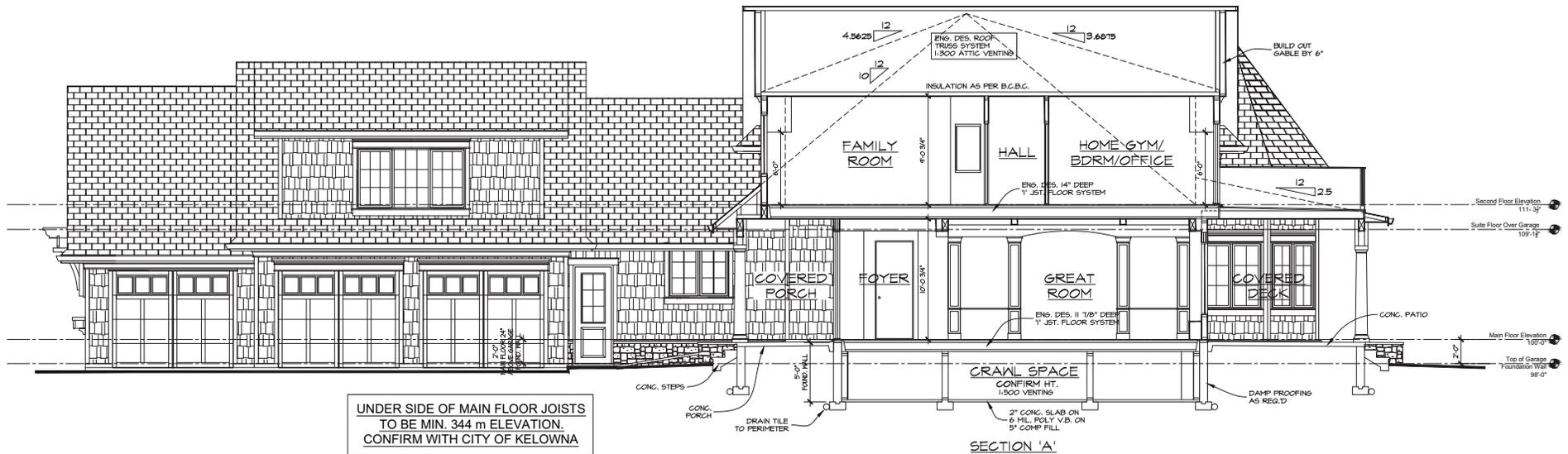
ROOF PLAN

ERRORS AND OMISSIONS

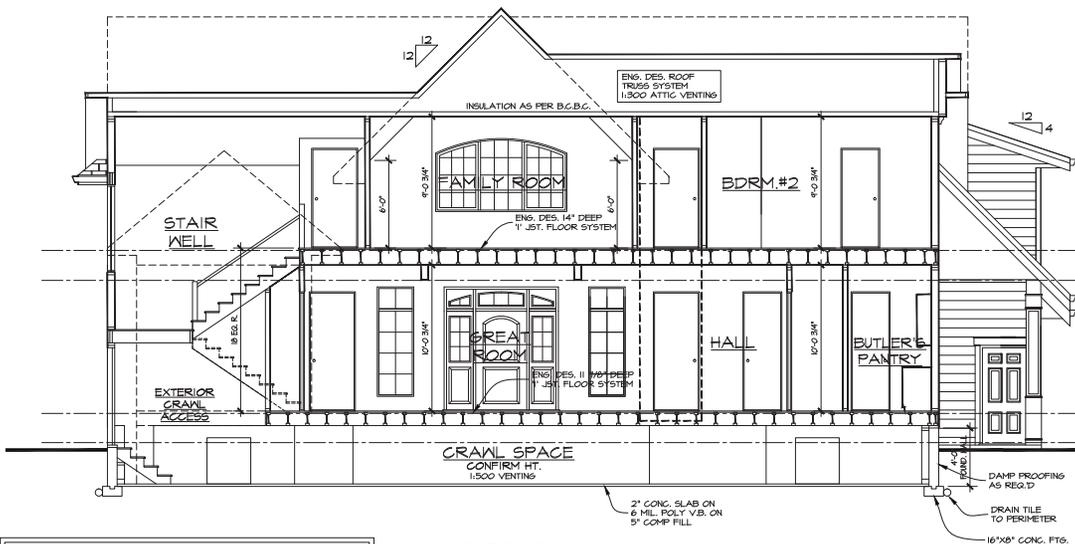
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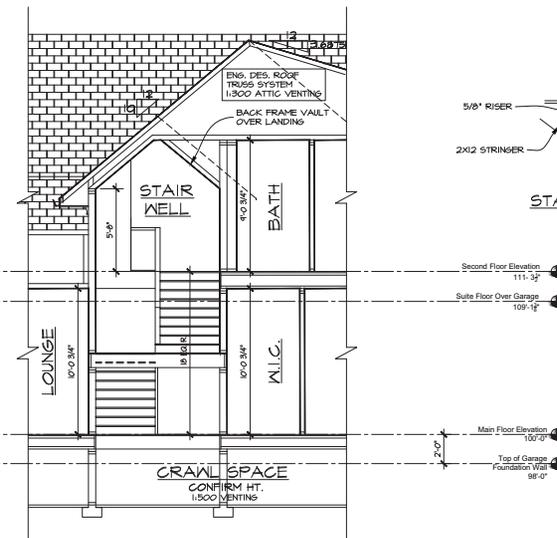
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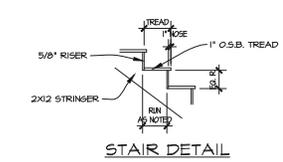
SECTION 'A'



SECTION 'B'



SECTION 'C'



STAIR DETAIL

SECTION 'A', 'B' & 'C'

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TO BE MIN. 344 m ELEVATION.
CONFIRM WITH CITY OF KELOWNA

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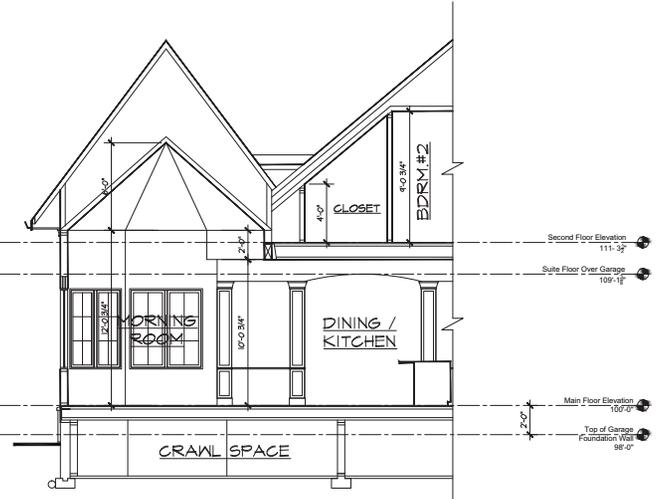
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WORKING DRAWINGS



SECTION D'

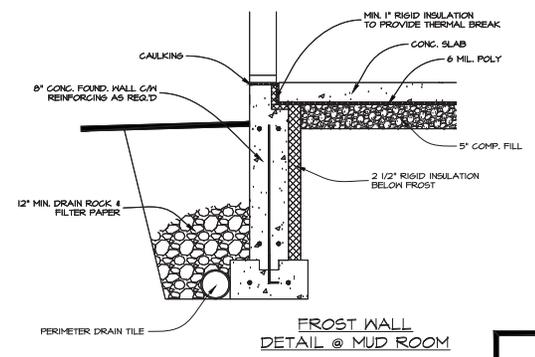


SECTION F'

UNDER SIDE OF MAIN FLOOR JOISTS
TO BE MIN. 344 m ELEVATION.
CONFIRM WITH CITY OF KELOWNA



SECTION E'



FROST WALL
DETAIL @ MUD ROOM

SECTION D', E' & F'

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REV. DATE(S):

DRN. BY: S.H.B.

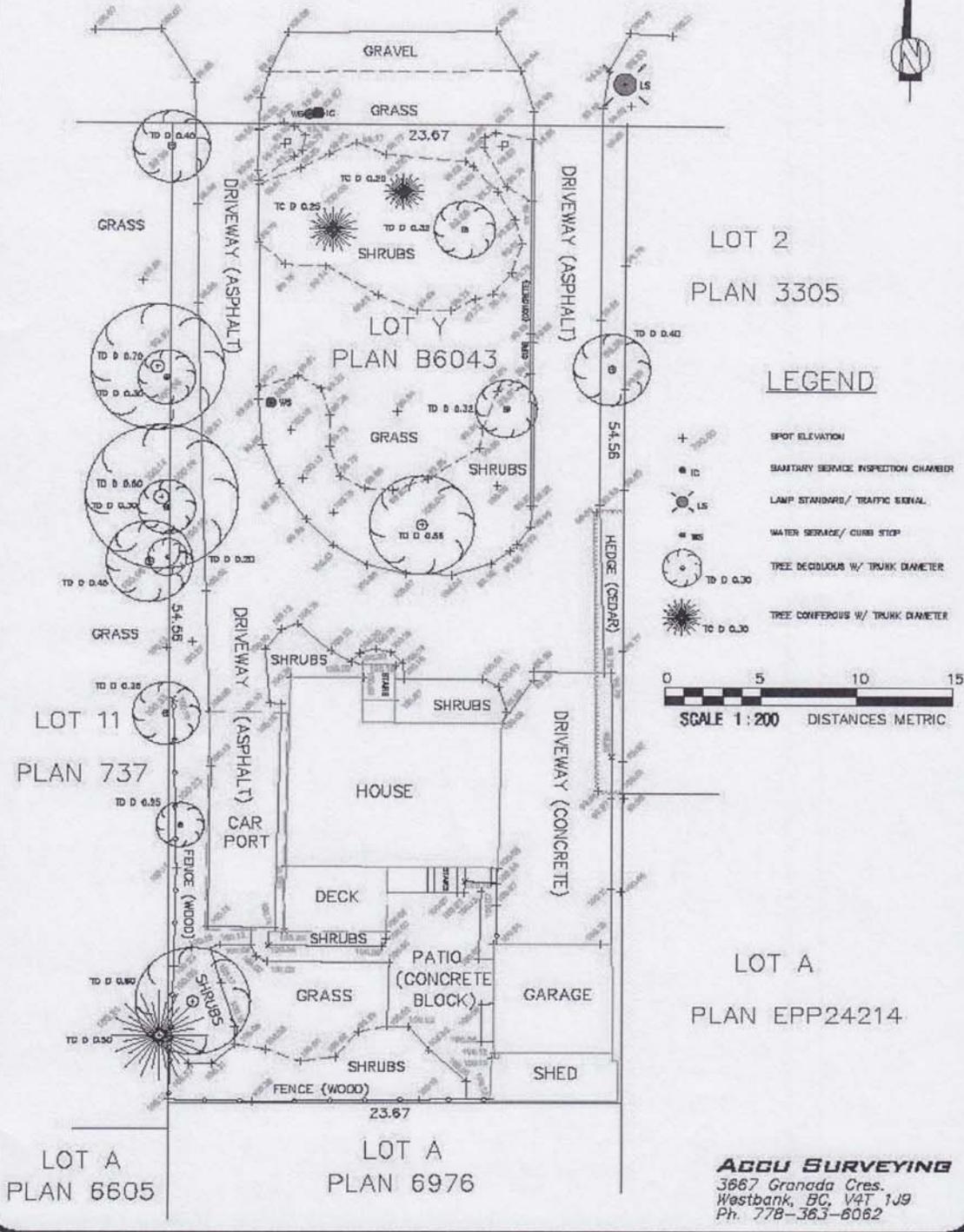
WORKING DRAWINGS

Existing site plan

SITE SURVEY, LOT Y, PLAN B6043, EXCEPT PLAN 6976, D.L. 14, O.D.Y.D.

CMC ADDRESS
#377 CADDER AVE.
KELOWNA, B.C.

CADDER AVENUE



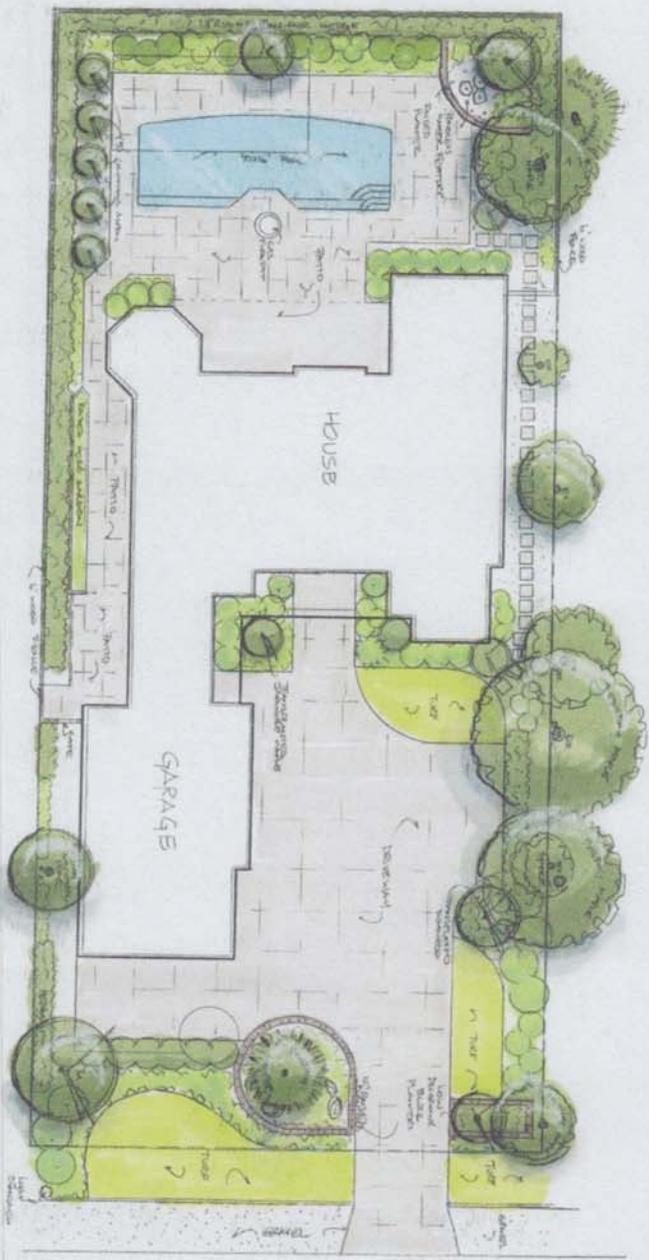
LEGEND

- + SPOT ELEVATION
- IC SANITARY SERVICE INSPECTION CHAMBER
- ⊙ LS LAMP STANDARD/ TRAFFIC SIGNAL
- ⊙ WS WATER SERVICE/ CURB STOP
- ⊙ TD 0.30 TREE DECIDUOUS W/ TRUNK DIAMETER
- ⊙ TD 0.30 TREE CONIFEROUS W/ TRUNK DIAMETER

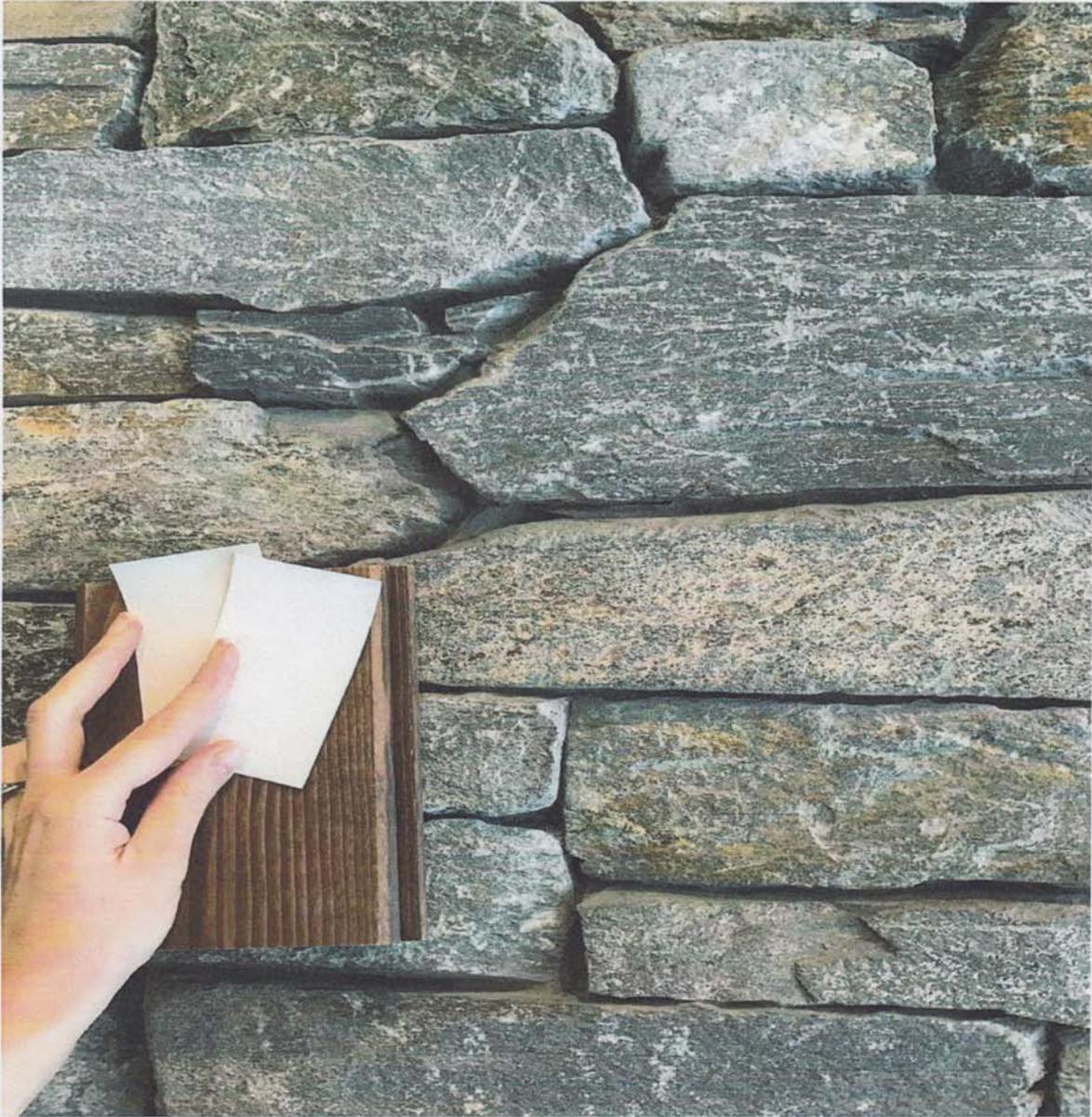
0 5 10 15
SCALE 1:200 DISTANCES METRIC

LOT A
PLAN EPP24214

AGBU SURVEYING
3667 Granada Cres.
Westbank, BC, V4T 1J9
Ph. 778-363-8062



REVISED	 <p>250.862.6167 synergylandscapes.com</p>	<p>This drawing, including design and concept is the property of Synergy Landscape Design Ltd. and may not be reproduced without permission.</p>	<p>Landscape Concept</p>	Scale: 1" = 8'	Customer Name and Address	<p>Sheet no. L1</p>
DATE				Designed By:	Cadder Residence	
DATE				Drawn By:	377 Cadder Avenue	
DATE				Date:	Kelowna, B.C.	

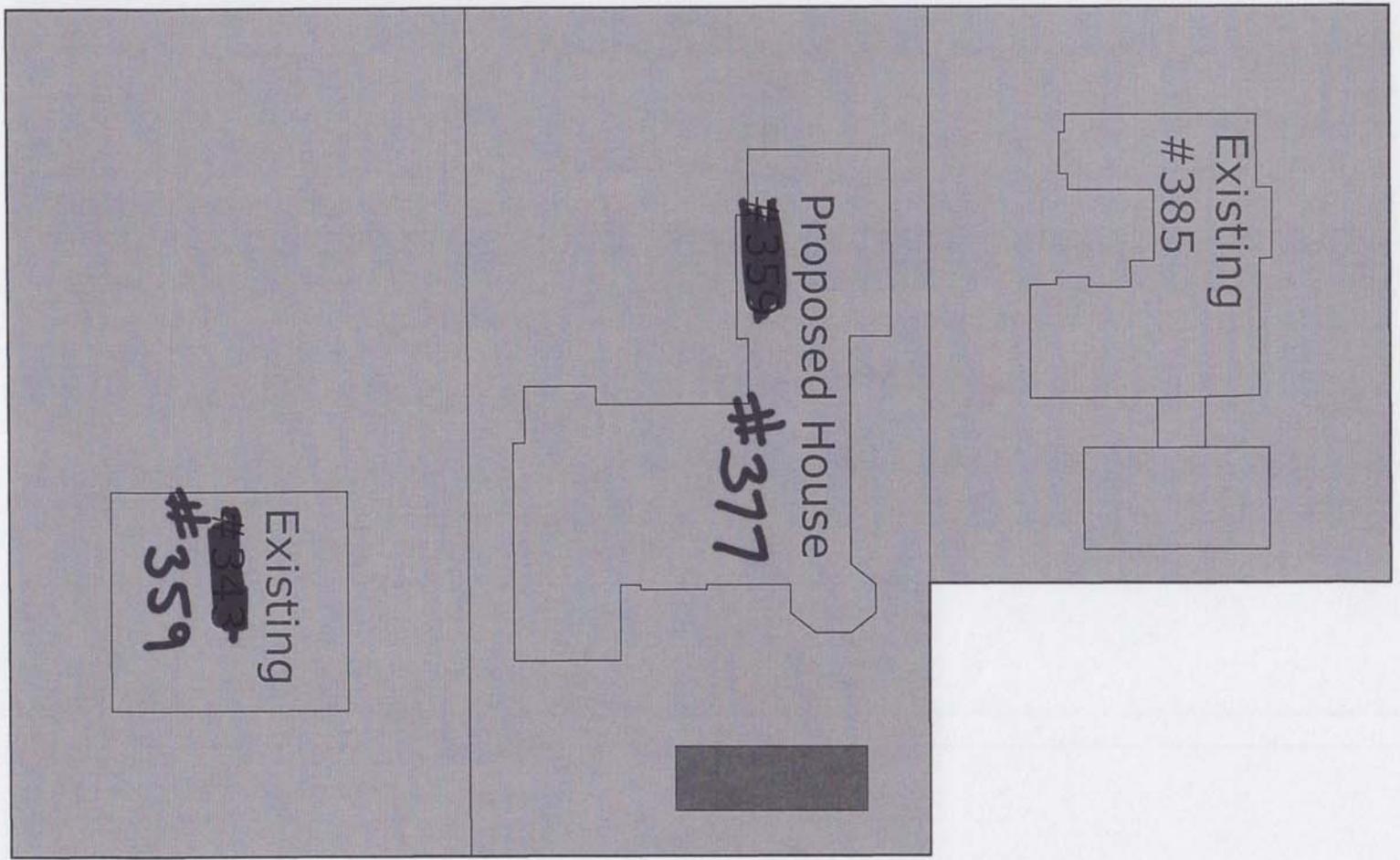


Proposed House Finishes

The stone is "Natural Ledgestone" which will run along the edge of the house. The shingles are the darker chips and the lighter chips are the trim.

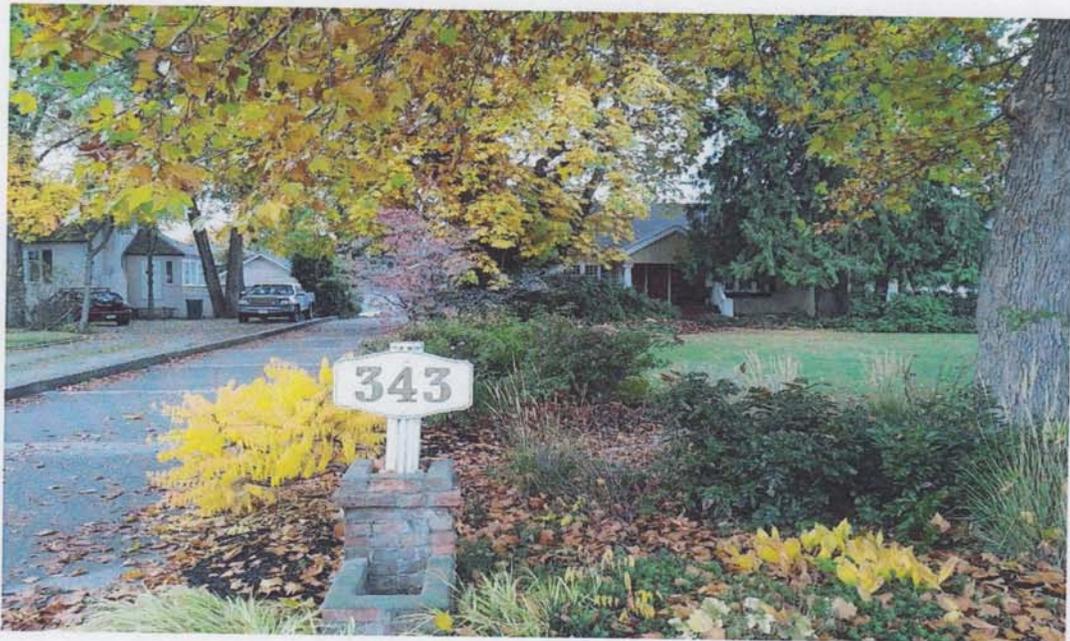
Location of proposed house compared to existing houses to the East and West

Cadder Avenue





House to the West
359 Cadder Ave



House two doors to the West
343 Cadder Ave

ATTACHMENT C

This forms part of application
HAP17-0002

Planner
Initials





House to the East
385 Cadder Ave

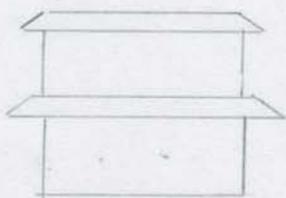


Panorama view of existing house

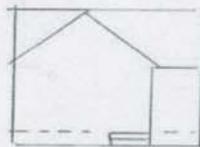


Houses directly across the street from proposed new home

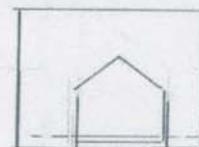
Architectural design of neighbours



#385



#359



#343

Cadder Avenue

Heritage Advisory Committee

Minutes

Date: Thursday, January 19, 2017
Location: Knox Mountain Meeting Room (#4A)
City Hall, 1435 Water Street

Committee Members Present: Lorri Dauncey (Vice-Chair), Stoke Tonne, Brian Anderson and Amanda Snyder

Committee Members Absent: Abigail Riley (Chair), Ryan Esbjerg (Alternate) and Bob Haynes (Alternate)

Staff Present: Community Planning Supervisor, Ryan Roycroft; Planner, Trisa Brandt; Planner, Lydia Korolchuk; and FOI-Legislative Coordinator, Sandi Horning

1. Call to Order

The Vice-Chair called the meeting to order at 12:03 p.m.

Opening remarks by the Vice-Chair regarding conduct of the meeting were read.

2. Applications for Consideration

2.1 370 Burne Avenue, HAP16-0005 - Anil & Zulekha Bharwani

Staff:

- Displayed a PowerPoint presentation summarizing the Heritage Alteration Permit application for an addition to a single-family dwelling in the Heritage Conservation Area.
- Confirmed that the dominant style is "early suburban".
- Advised that the original home was constructed in 1958 and was an early suburban bungalow.
- The applicant is proposing:
 - o a second storey addition;
 - o to convert a portion of the main floor into a secondary suite;
 - o two (2) front entrances;
 - o to return the garage to a carport;
 - o to reinstate the open courtyard on the west side; and
 - o to construct a detached garage.
- Provided an overview of the design details.
- Advised that staff are seeking the comments on the following:

- o form & character; and
- o requested side yard variances from 2nd storey (existing non-conforming on 1st storey).
- Responded to questions from the Committee members.

HAC Discussion:

- The Committee Members provided individual comment regarding the application.

Sara Bjornson, Applicants' Representative:

- Advised that she is the architect on the project.
- Provided the rationale for the design.
- Trying to separate the space as there will be a secondary suite as well as a primary residence.
- Provided the rationale for the window types.
- Noted the part of the design that is original and is purposed.
- The second storey had to be maximized in order to comply with City's bylaws regarding secondary suites.
- Provided the rationale for the large windows on the second floor.
- Provided the rationale for the facade materials.
- Responded to questions from the Committee members.
- Advised that the owners have directed that the original facade be kept as much as possible (ie. wood siding on the ground floor).

HAC Discussion:

- The Committee members provided additional individual comments regarding the application.

Moved by Stoke Tonne/Seconded by Brian Anderson

THAT the Heritage Advisory Committee recommends that Council support Heritage Alteration Permit Application No. HAP16-0005 for the property located at 370 Burne Avenue for the form and character of the proposed second storey addition as it relates to the Heritage Conservation Area Guidelines.

Carried

Amanda Snyder – Opposed.

Anecdotal Comments:

The Heritage Advisory Committee recommended support for the Heritage Alteration Permit with a recommendation that the applicant harmonize the two storeys with particular attention to the east elevation through the introduction of vertical wood siding.

Moved by Brian Anderson/Seconded by Amanda Snyder

THAT the Heritage Advisory Committee recommends that Council support Heritage Alteration Permit Application No. HAP16-0005 for the property located at 370 Burne Avenue to vary the east and west side yard on the second storey portion from 2.0m required to 1.78m existing on the first floor.

Carried

3. Minutes

Moved by Brian Anderson/Seconded by Lorri Dauncey

THAT the Minutes of the November 17, 2016 Heritage Advisory Committee meeting be adopted.

Carried

4. Update - Council Decisions

Staff:

- Advised that the Rezoning Bylaw for 1985 Knox Crescent was adopted on January 9, 2017 and the Heritage Alteration Permit has been issued.
- Advised that staff are waiting for the carriage house design plans in order to proceed with adoption of the Rezoning Bylaw for 4193 Gordon Drive (Thomson Farms HRA16-0002).
- Advised that the Heritage Revitalization Agreement for 1449 Ethel Street (Billy Lloyd-Jones House HRA16-0001) has been drafted and is awaiting approval from the applicant. The applicant will not be proceeding with a heritage designation bylaw for the property.
- Provided an update regarding Heritage Alteration Permit Application No. HAP16-0013 for 349 Park Avenue. The initial Site Plan indicated a 4.97m front yard setback. The Committee was supportive if the applicant was willing to increase the front setback by 1.5m minimum and also try to retain the mature trees in the rear yard, which would require a re-design of the rear deck area. The applicant amended the Site Plan with the house moved back 1.51m to provide a 6.48m setback. The rear deck layout was also amended to retain the mature trees. The Heritage Alteration Permit was approved and issued.

5. Next Meeting

The next Committee meeting has been scheduled for February 16, 2017.

6. Termination of Meeting

The Vice-Chair declared the meeting terminated at 12:55 p.m.

Lorri Dauncey, Vice-Chair

/slh