



TRS AMENDED PLANS

1575 BERNARD AVE

1575 BERNARD AVE.
 KELOWNA, BC V1Y 6R8

ARCHITECTURAL

- DP0.0 COVER SHEET
- DP0.1 SITE SURVEY (BY OTHERS) & SITE CONTEXT
- DP0.2 SHADOW STUDY
- DP0.3 SHADOW STUDY
- DP1.1 SITE PLAN
- DP2.1 FLOOR PLAN - LEVEL 0 & LEVEL 1
- DP2.2 FLOOR PLAN - LEVEL 2 & LEVEL 3-4
- DP2.3 FLOOR PLAN - LEVEL 5-6 & ROOF
- DP3.1 ELEVATIONS
- DP3.2 ELEVATIONS
- DP3.3 3D VIEWS
- DP3.4 3D VIEWS
- DP4.1 BUILDING SECTIONS

CIVIL

- C100 GRADING PLAN
- C200 SERVICING PLAN
- C700 SIGNAGE AND PAVEMENT MARKING

LANDSCAPE

- L1 CONCEPTUAL LANDSCAPE PLAN - GROUND FLOOR
- L2 CONCEPTUAL LANDSCAPE PLAN - SECOND FLOOR
- L3 CONCEPTUAL LANDSCAPE PLAN - ROOF
- L4 WATER CONSERVATION / IRRIGATION PLAN - GROUND FLOOR
- L5 WATER CONSERVATION / IRRIGATION PLAN - SECOND FLOOR
- L6 OFFSITE IRRIGATION PLAN WATER CONSERVATION / IRRIGATION PLAN - ROOF
- L7 OFFSITE LANDSCAPE PLAN
- L8 OFFSITE IRRIGATION PLAN
- SP.1.0 STRUCTURAL SOIL REVIEW

2	TRS AMENDED PLANS	2023-03-21
1	ISSUED FOR DP	2023-01-18
A	DP FINAL REVIEW SET	2022-12-16

NO.	ISSUE/ REVISION	DATE
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PROJECT NO.	DRAWN	CHECKED
222-055	Author	Checker

DRAWING NO.	REVISION NO.
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DP0.0

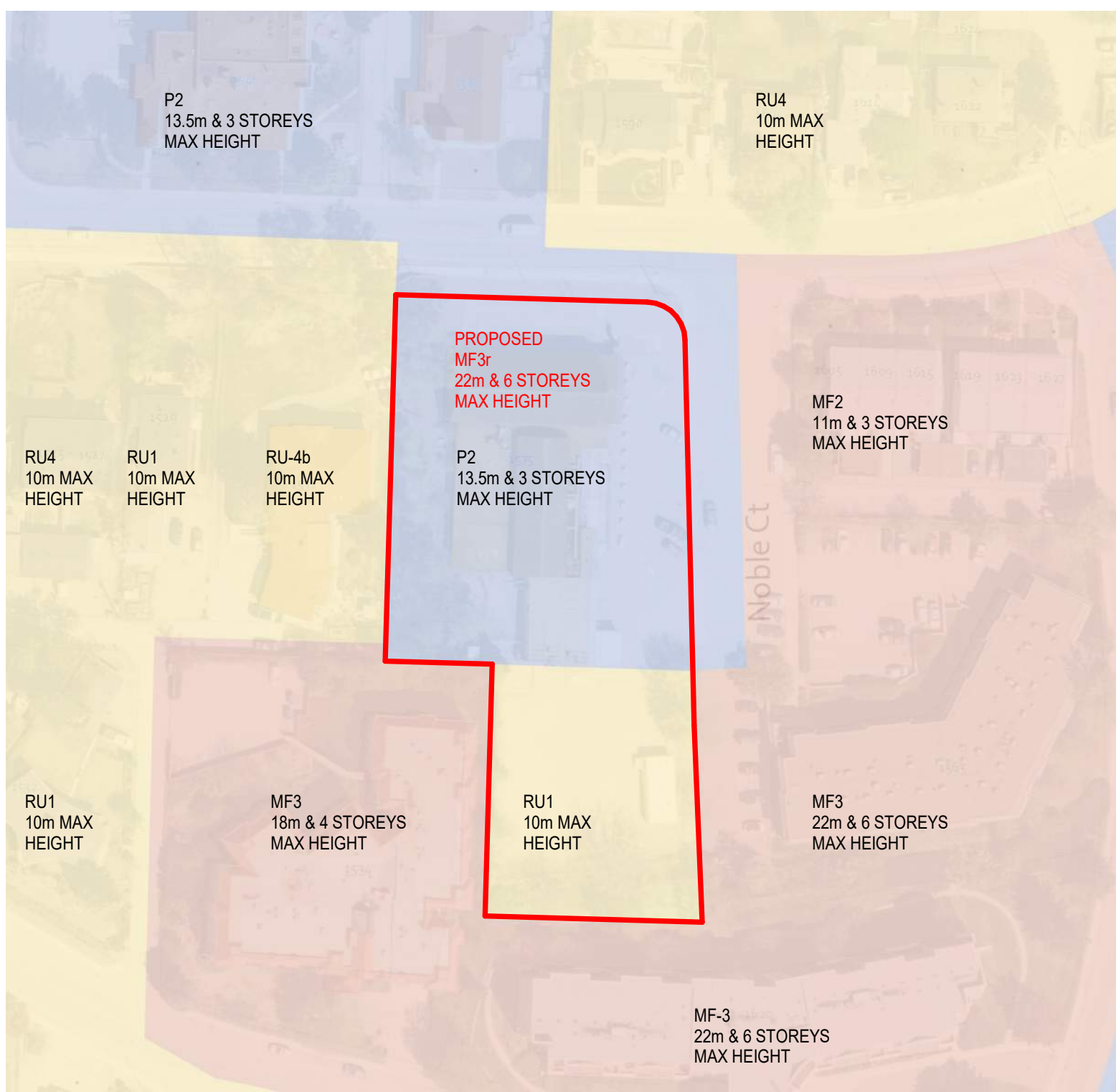




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AERIAL KEY PLAN



ZONING MAP



CONTEXT MAP



VIEW FROM BERNARD AVENUE - LOOKING WEST



VIEW FROM CORNER OF BERNARD & NOBLE - LOOKING SOUTH WEST



VIEW FROM BERNARD AVENUE - LOOKING SOUTH



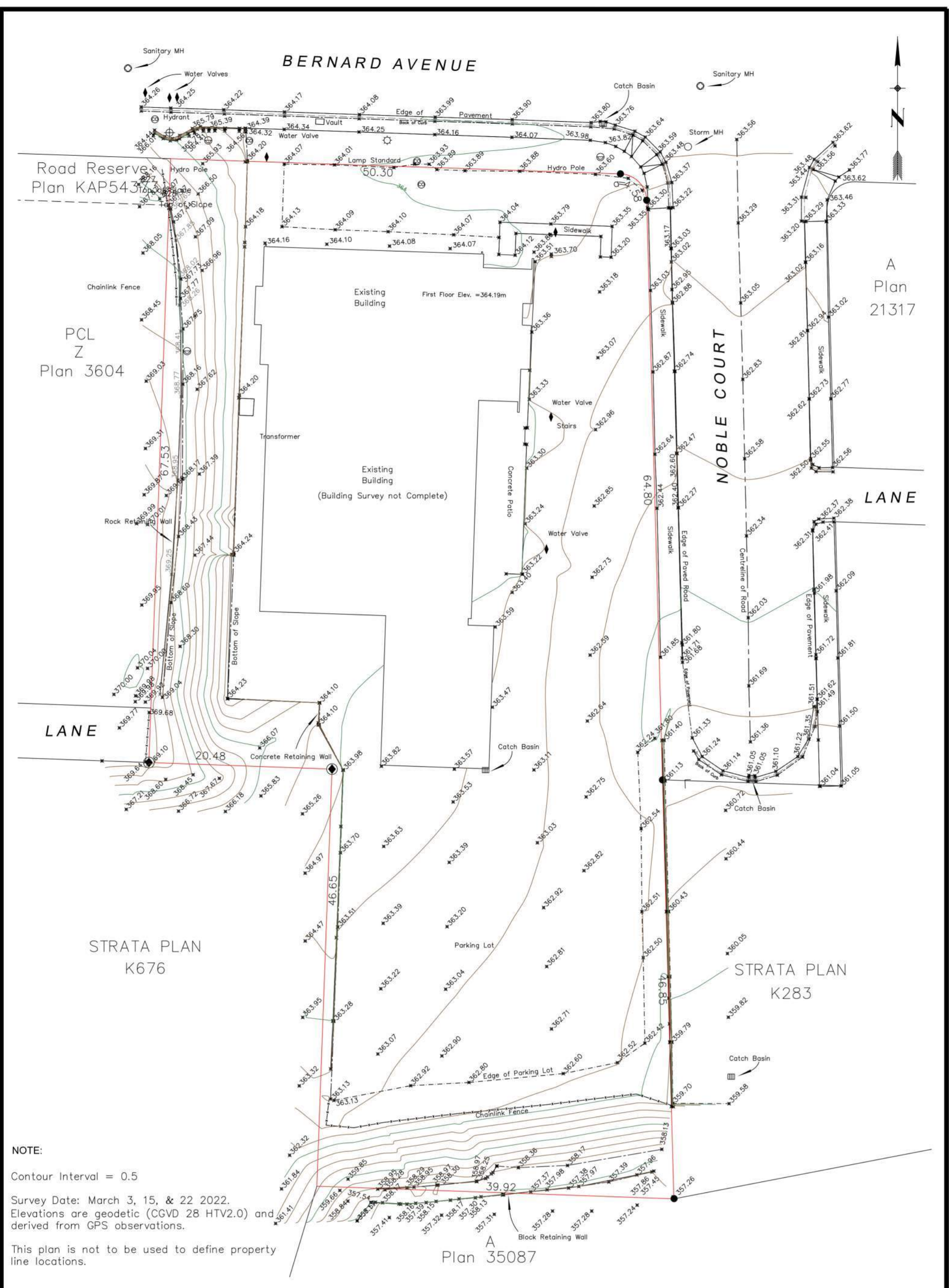
VIEW FROM NOBLE COURT - LOOKING SOUTH



VIEW FROM BERNARD AVENUE - LOOKING SOUTH



VIEW FROM NOBLE COURT - LOOKING SOUTH



NOTE:
Contour Interval = 0.5
Survey Date: March 3, 15, & 22 2022.
Elevations are geodetic (CGVD 28 HTV2.0) and derived from GPS observations.
This plan is not to be used to define property line locations.

<p>TITLE: SITE PLAN OF LOT 8, SEC. 20, TP. 26, O.D.Y.D., PLAN 32159 (1575 Bernard Avenue, Kelowna)</p>			
<p>DRAWN BY: RUNNALLS DENBY british columbia land surveyors 259A Lawrence Avenue Kelowna, B.C. V1Y 6L2 Phone: (250)763-7322 Fax: (250)763-4413 Email: rob@runnallsdenby.com</p>	<p>SCALE: 1:400 (11" x 17")</p>	<p>DATE: March 24, 2022</p>	<p>CLIENT: WESTPOINT PROJECTS</p>
<p>DWG: 16364 SITE</p>	<p>FILE NO.: 16364</p>	<p>REV: 2</p>	<p>PROJECT NO.: 222-055</p>
<p>DRAWING NO.:</p>	<p>PROJECT ADDRESS: 1575 BERNARD AVE. KELOWNA, BC V1Y 6R8</p>	<p>TITLE: SITE SURVEY (BY OTHERS) & SITE CONTEXT</p>	<p>PROJECT NO.: 222-055</p>
<p>DRAWING NO.:</p>	<p>PROJECT NO.: 222-055</p>	<p>DRAWN BY: Author</p>	<p>CHECKED BY: Checker</p>
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NO.	ISSUE/REVISION	DATE
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A	DP FINAL REVIEW SET	2022-12-16

NOT FOR CONSTRUCTION

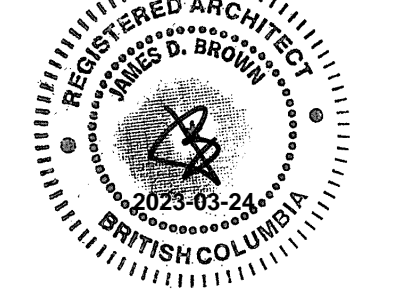
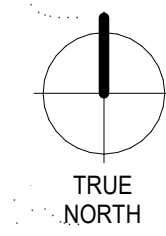
PROJECT
1575 BERNARD AVE

SITE SURVEY (BY OTHERS) & SITE CONTEXT

<p>PROJECT NO.: 222-055</p>	<p>DRAWN BY: Author</p>	<p>CHECKED BY: Checker</p>
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DP0.1





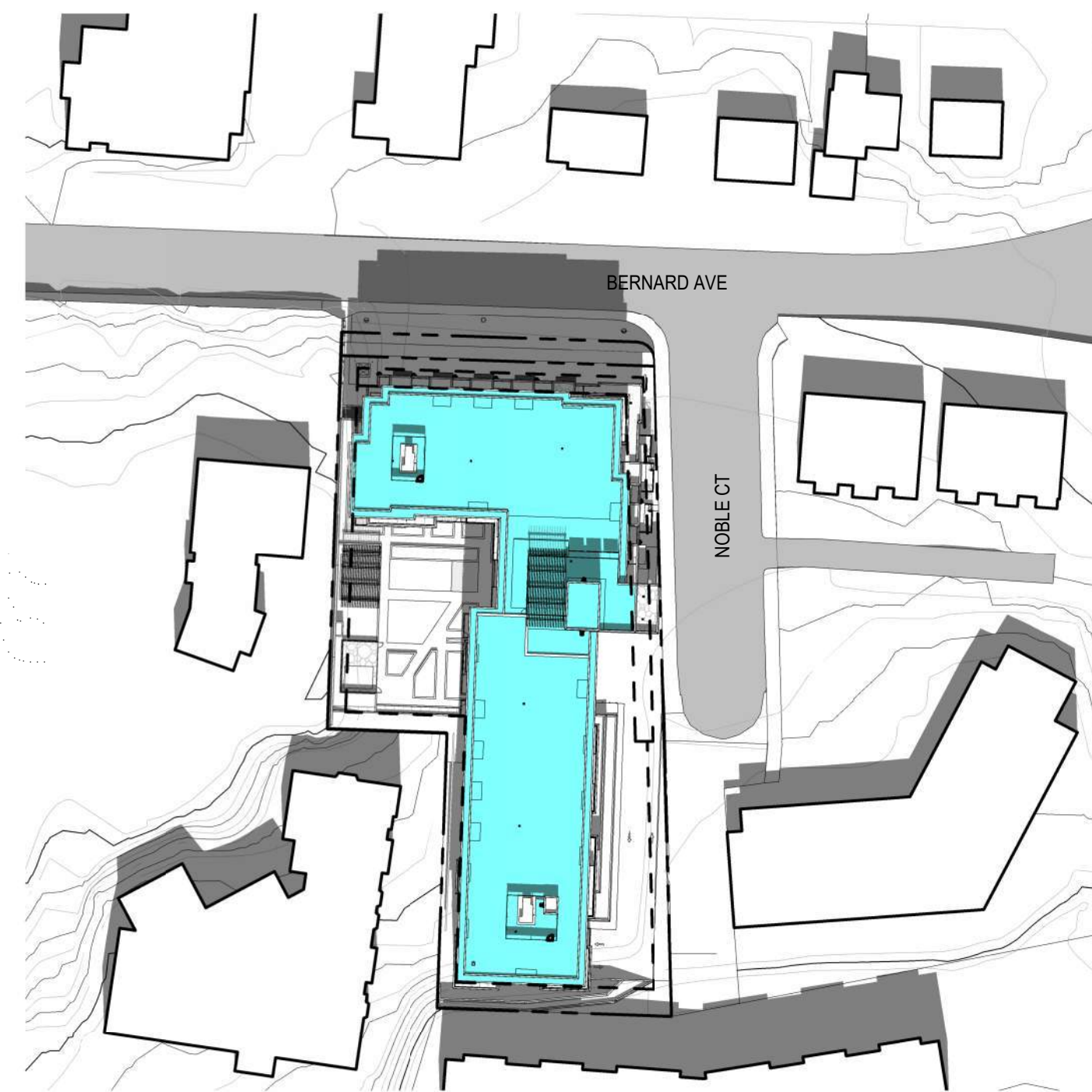
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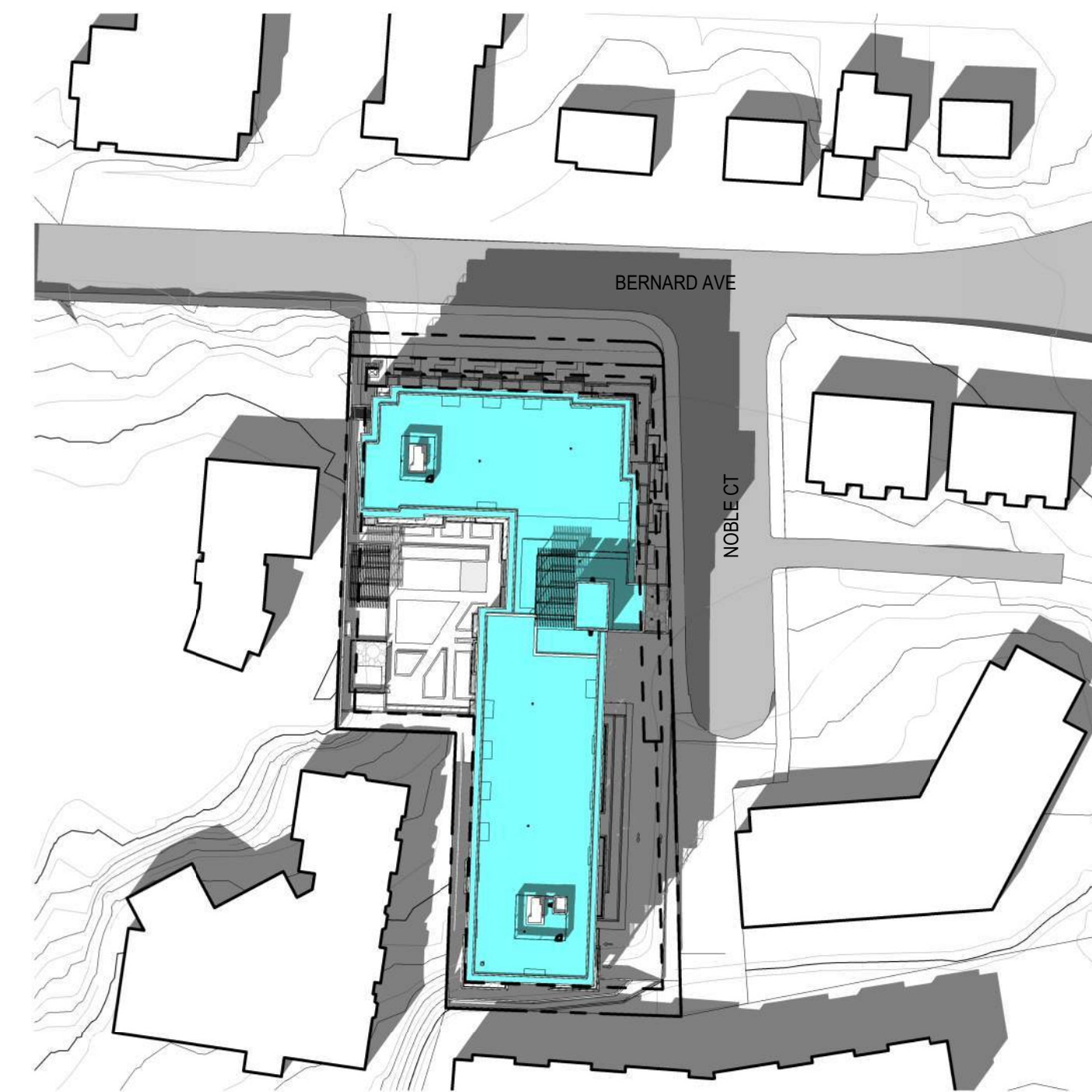
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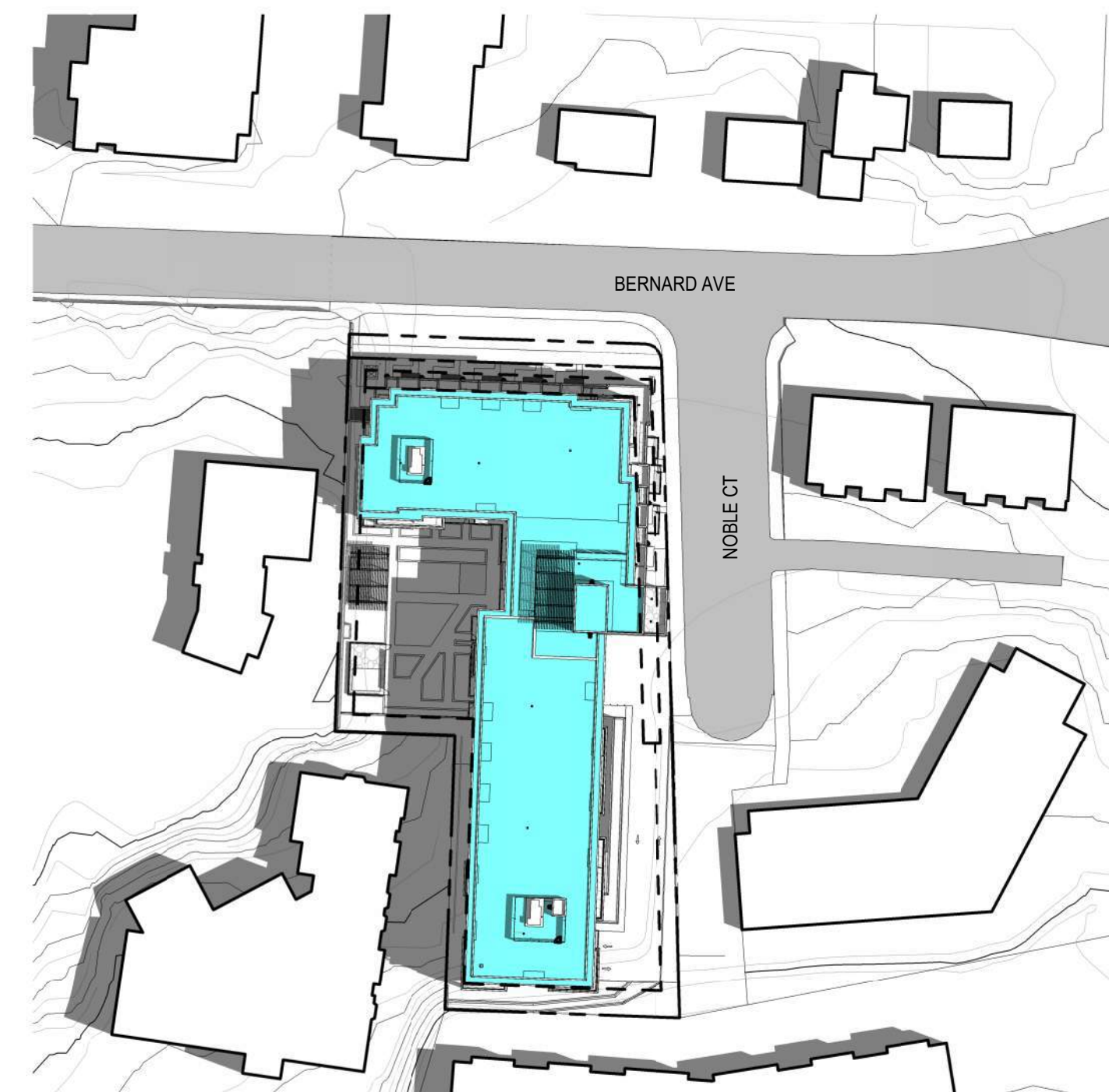
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DP0.2 SCALE: 1:1000



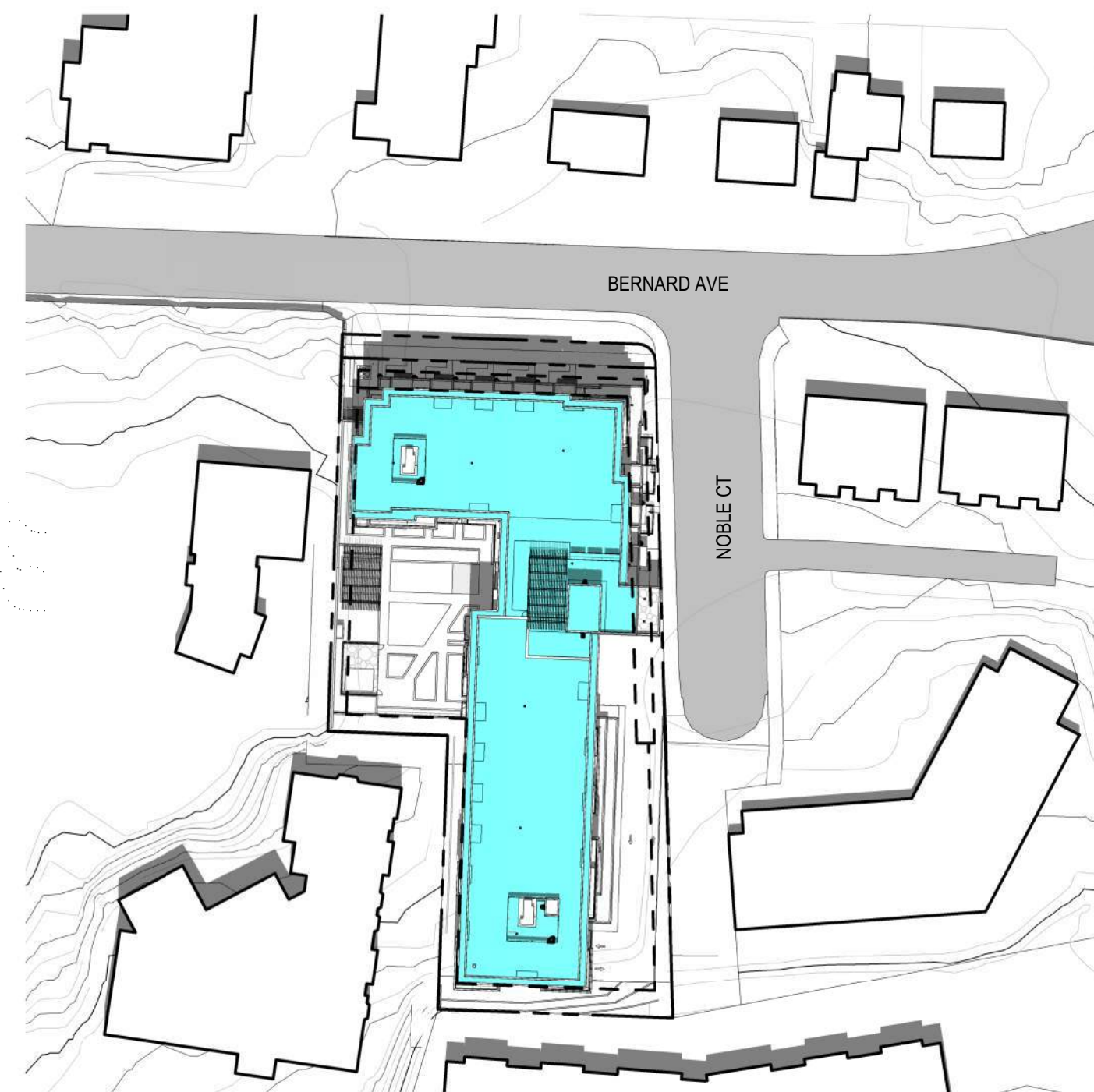
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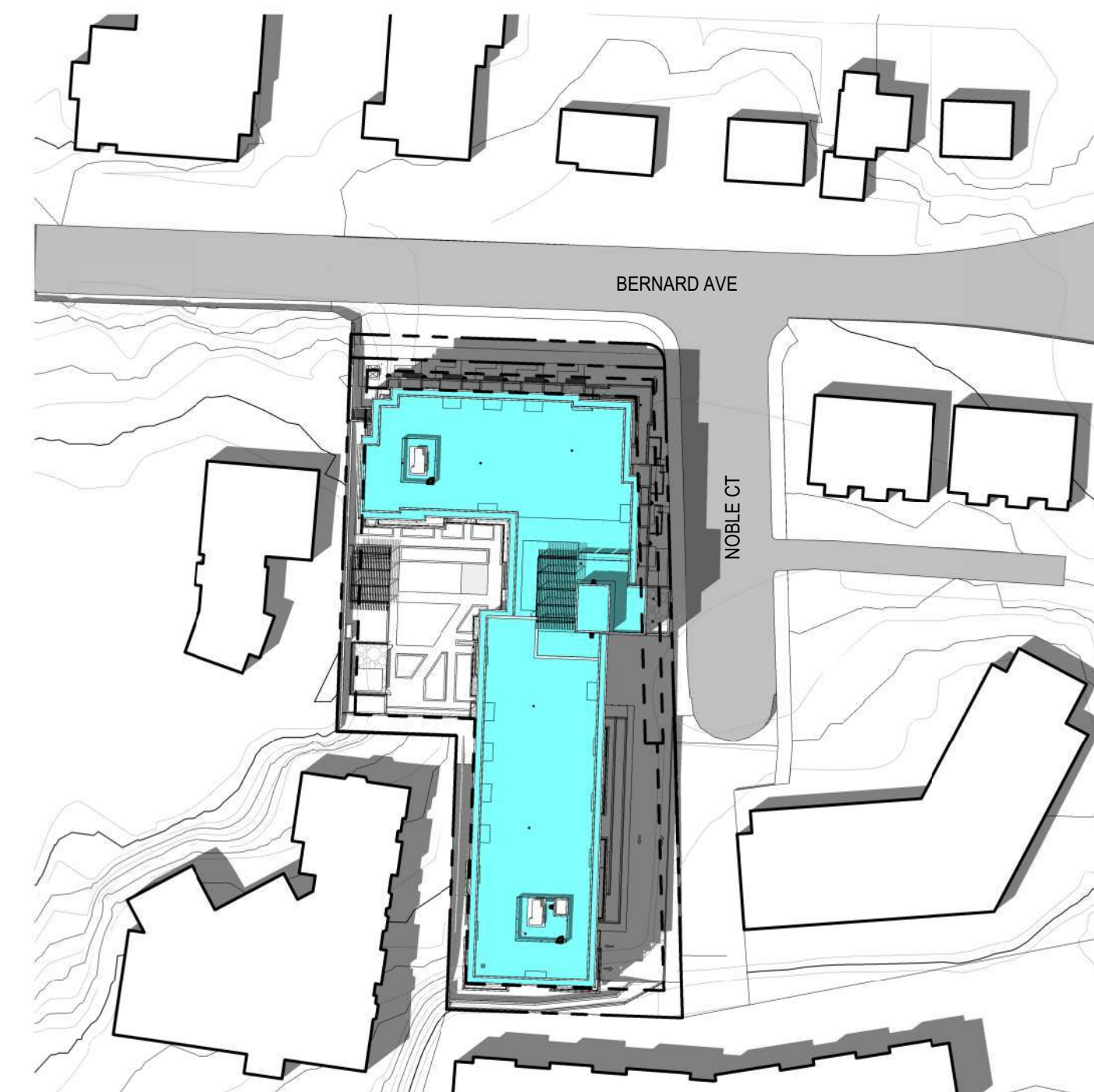
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DP0.2 SCALE: 1:1000



3 JUNE 21 @ 9AM
DP0.2 SCALE: 1:1000



2 JUNE 21 @ 12 NOON
DP0.2 SCALE: 1:1000



1 JUNE 21 @ 2PM
DP0.2 SCALE: 1:1000

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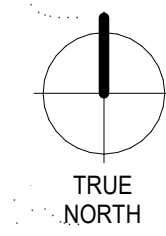
PROJECT
1575 BERNARD AVE

PROJECT ADDRESS
1575 BERNARD AVE,
KELOWNA, BC V1Y 6R8

TITLE
SHADOW STUDY

PROJECT NO.	DRAWN	CHECKED
222-055	Author	Checker

DRAWING NO.	REVISION NO.
DP0.2	2



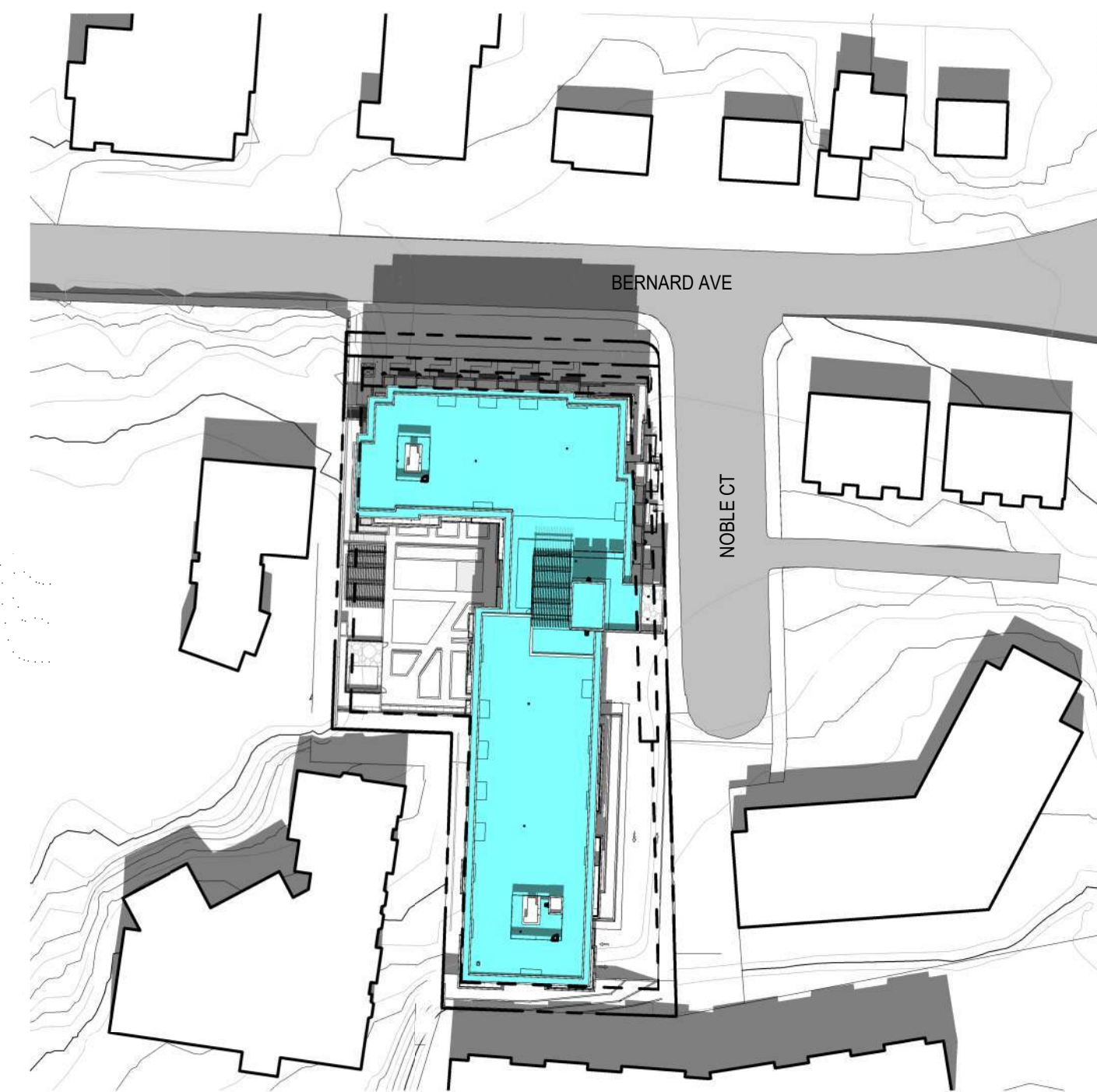
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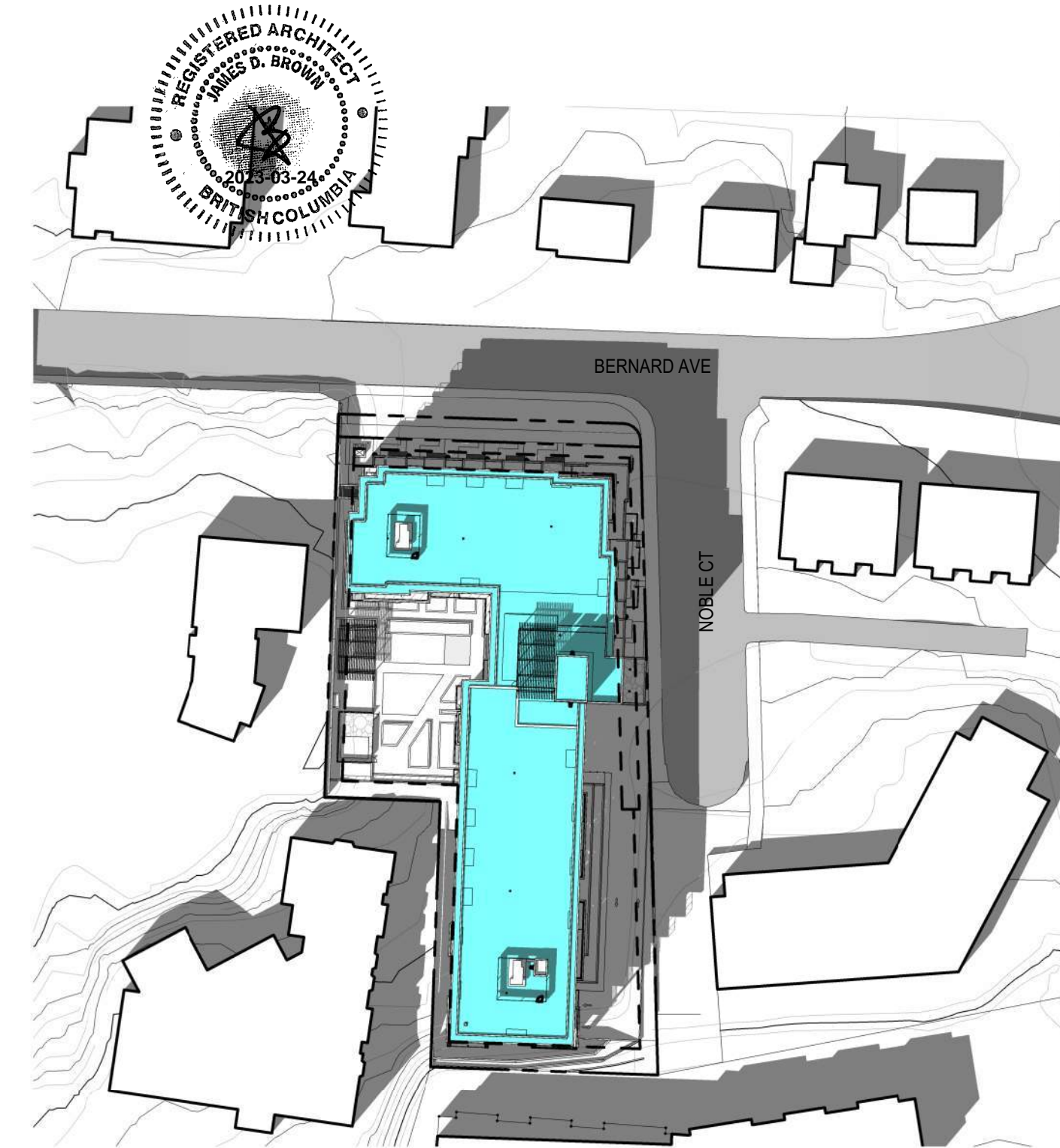
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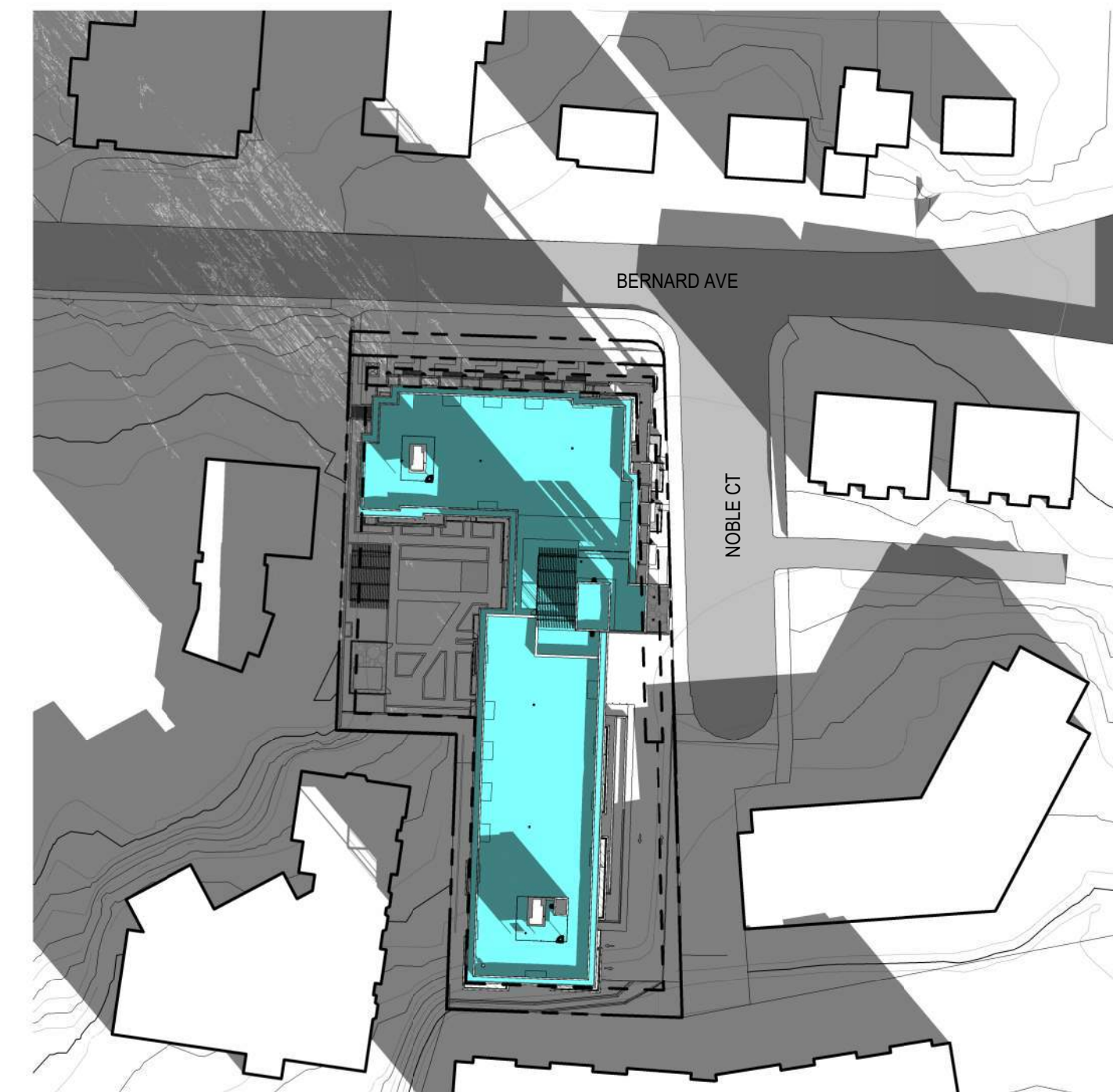
6 SEPTEMBER 21 @ 9AM
DP0.3 SCALE: 1:1000



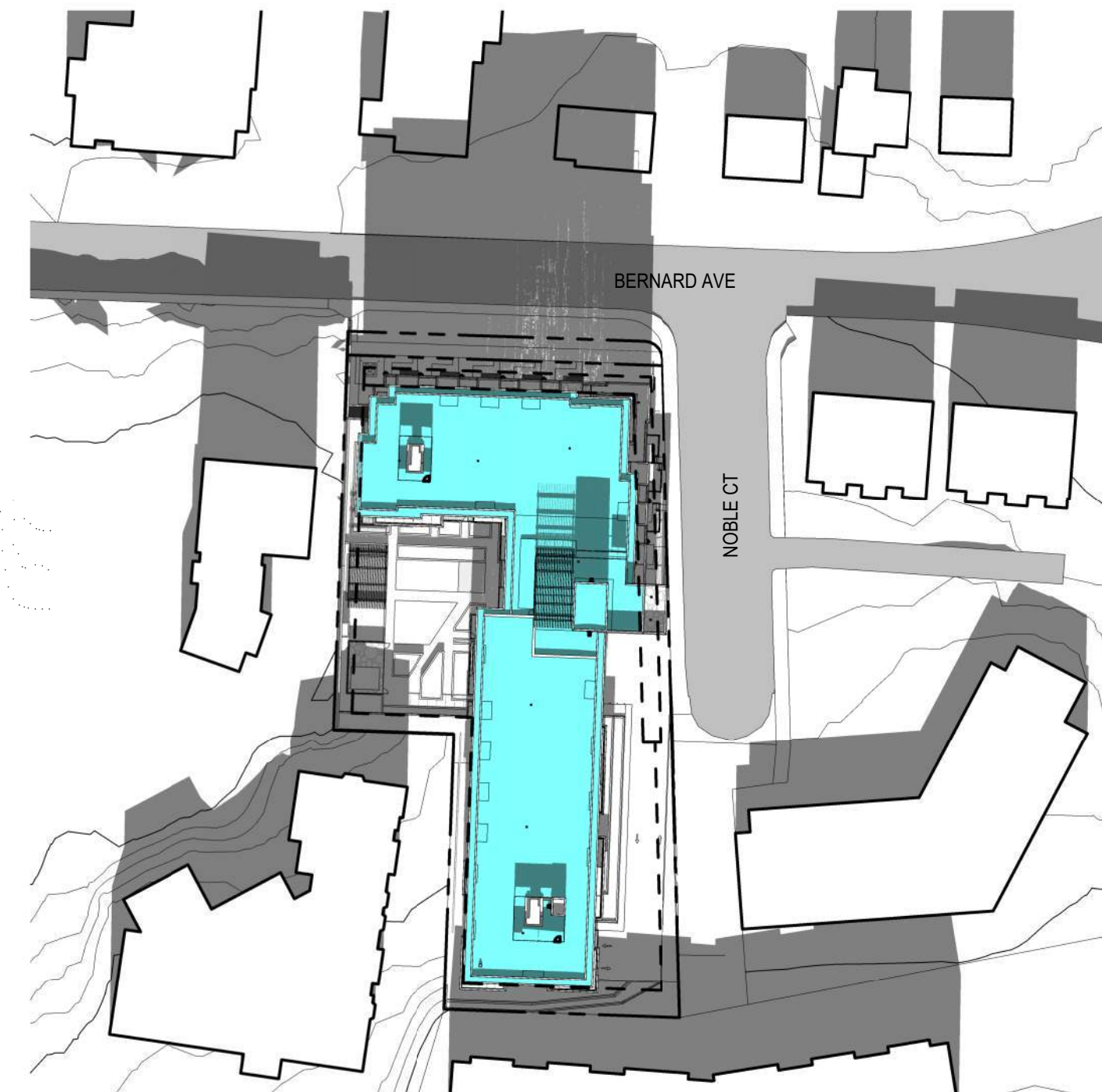
5 SEPTEMBER 21 @ 12 NOON
DP0.3 SCALE: 1:1000



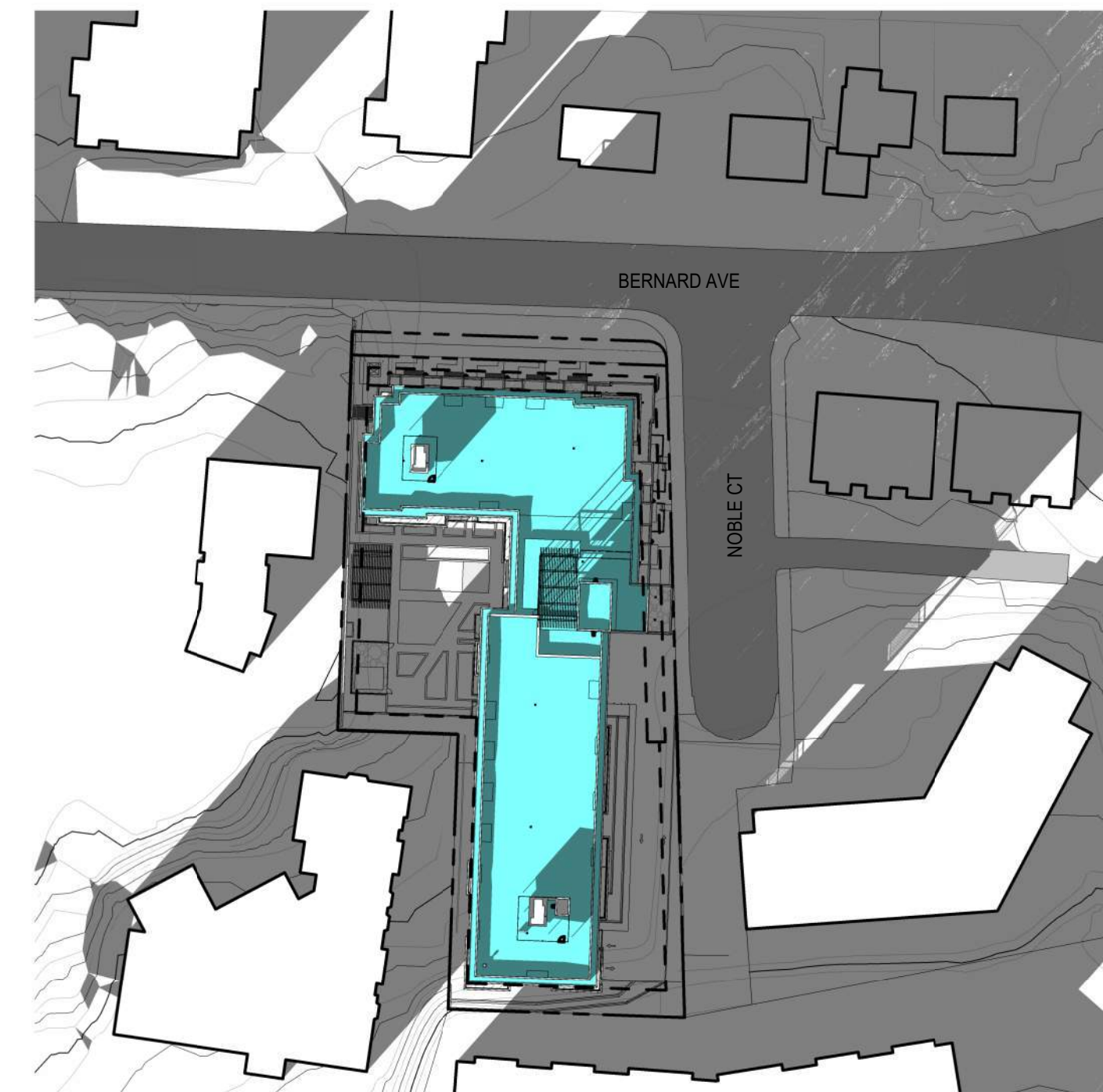
4 SEPTEMBER 21 @ 2PM
DP0.3 SCALE: 1:1000



3 DECEMBER 21 @ 9AM
DP0.3 SCALE: 1:1000



2 DECEMBER 21 @ 12 NOON
DP0.3 SCALE: 1:1000



1 DECEMBER 21 @ 2PM
DP0.3 SCALE: 1:1000

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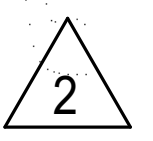
PROJECT ADDRESS
1575 BERNARD AVE,
KELOWNA, BC V1Y 6R8

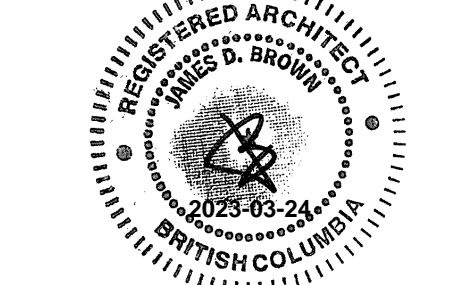
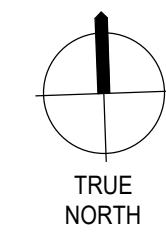
TITLE
SHADOW STUDY

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DP0.3





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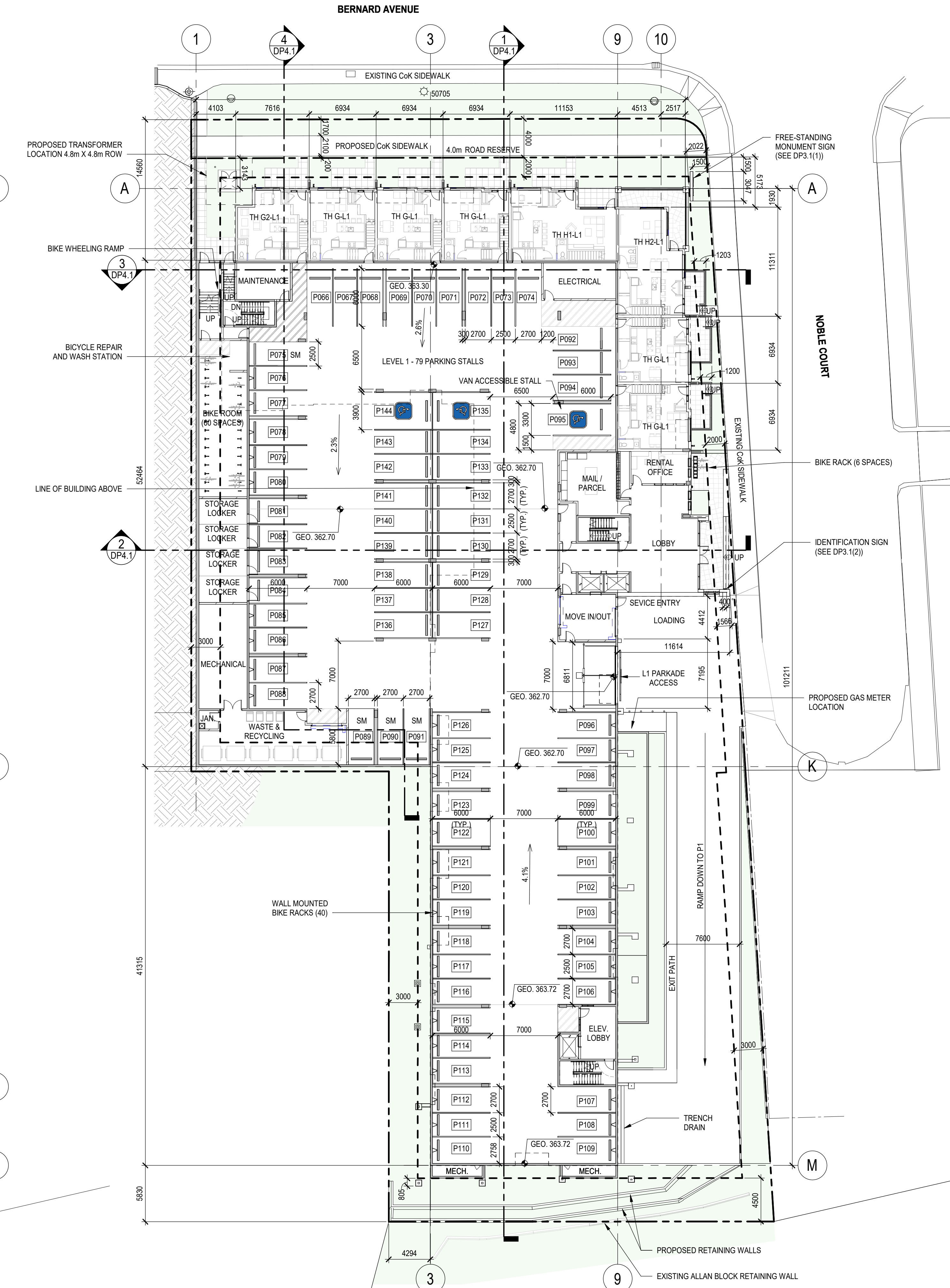
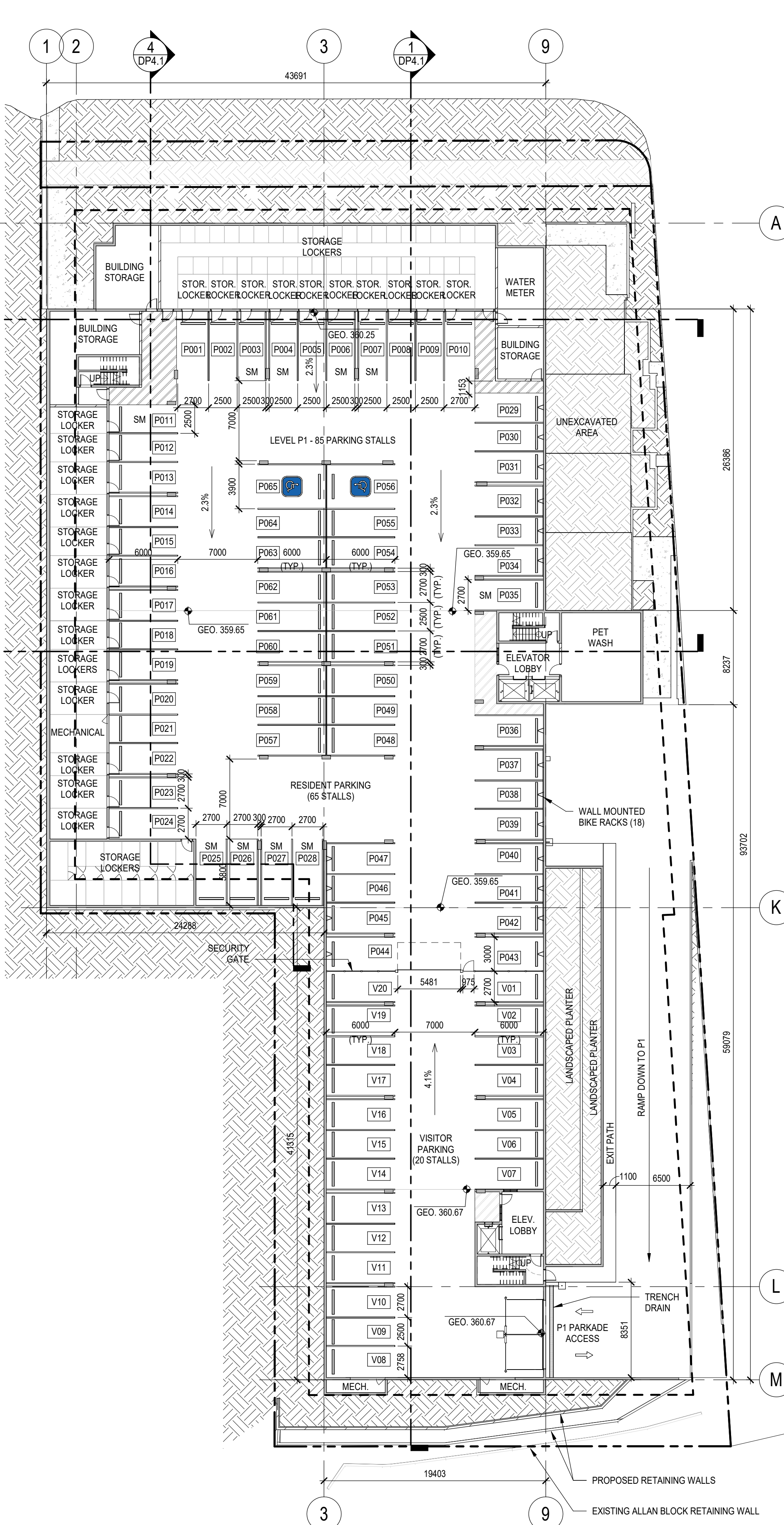
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KELOWNA, BC V1Y 6R8

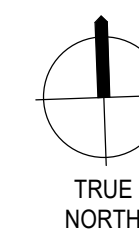
TITLE
**FLOOR PLAN -
LEVEL 0 & LEVEL 1**

PROJECT NO. 222-055
DRAWN Author
CHECKED Checker

DRAWING NO. **DP2.1**
REVISION NO. 2



Autodesk Docs://Bernard Ave/222-055_WPP_BERNARD_R23.rvt 2023-03-21 2:54:36 PM



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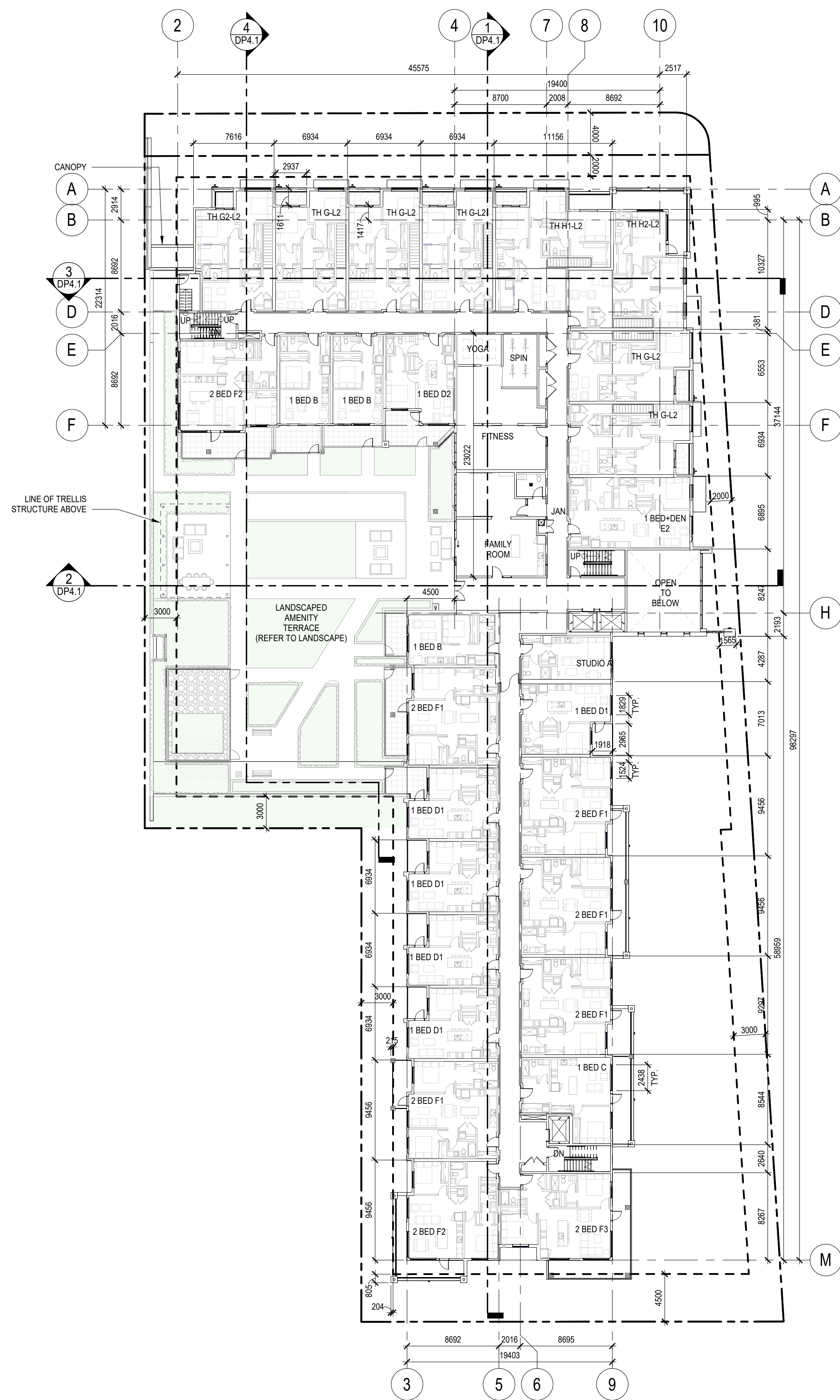
PROJECT ADDRESS
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KELOWNA, BC V1Y 6R8

TITLE

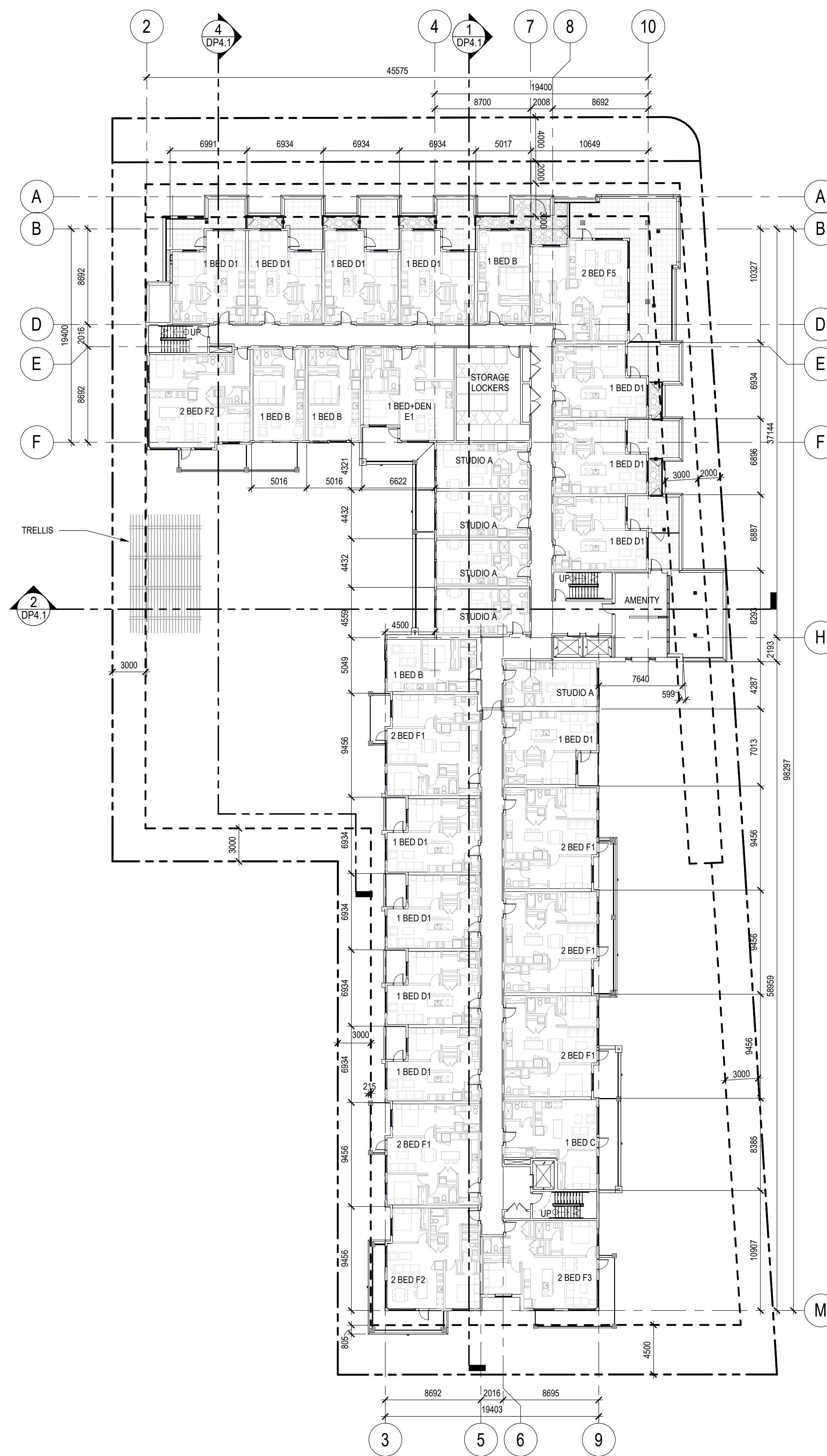
**FLOOR PLAN -
LEVEL 2 & LEVEL 3-4**

PROJECT NO.	DRAWN	CHECKED
222-055	Author	Checker

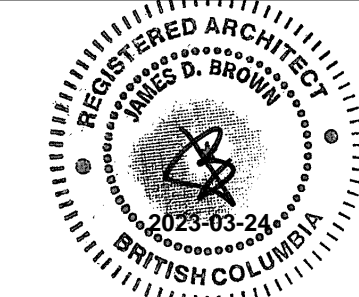
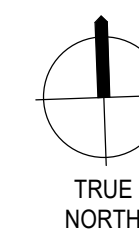
DRAWING NO.	REVISION NO.
DP2.2	2



LEVEL 2
SCALE: 1:250



LEVEL 3-4
SCALE: 1:250



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1575 BERNARD AVE

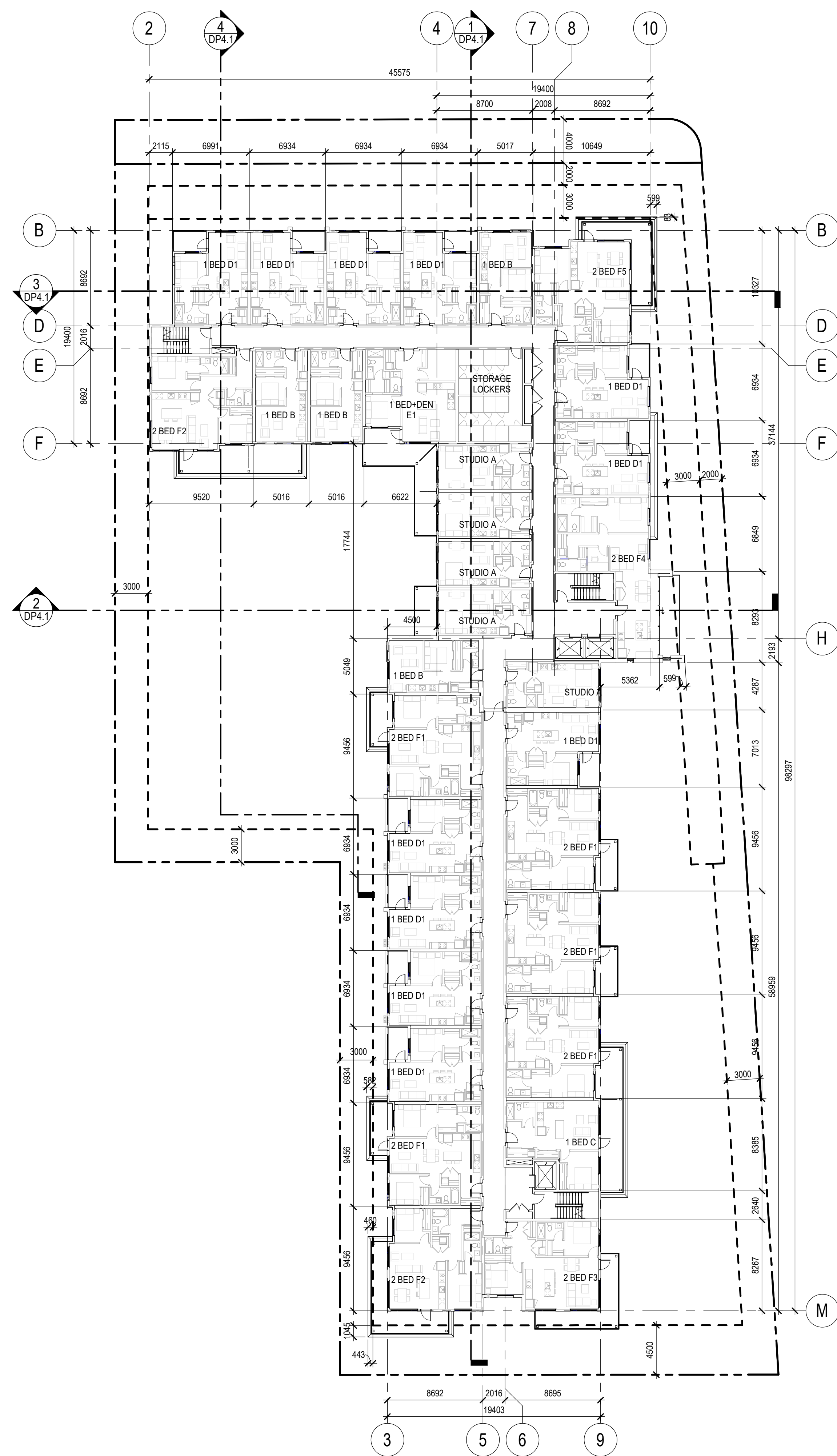
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KELOWNA, BC V1Y 6R8

TITLE

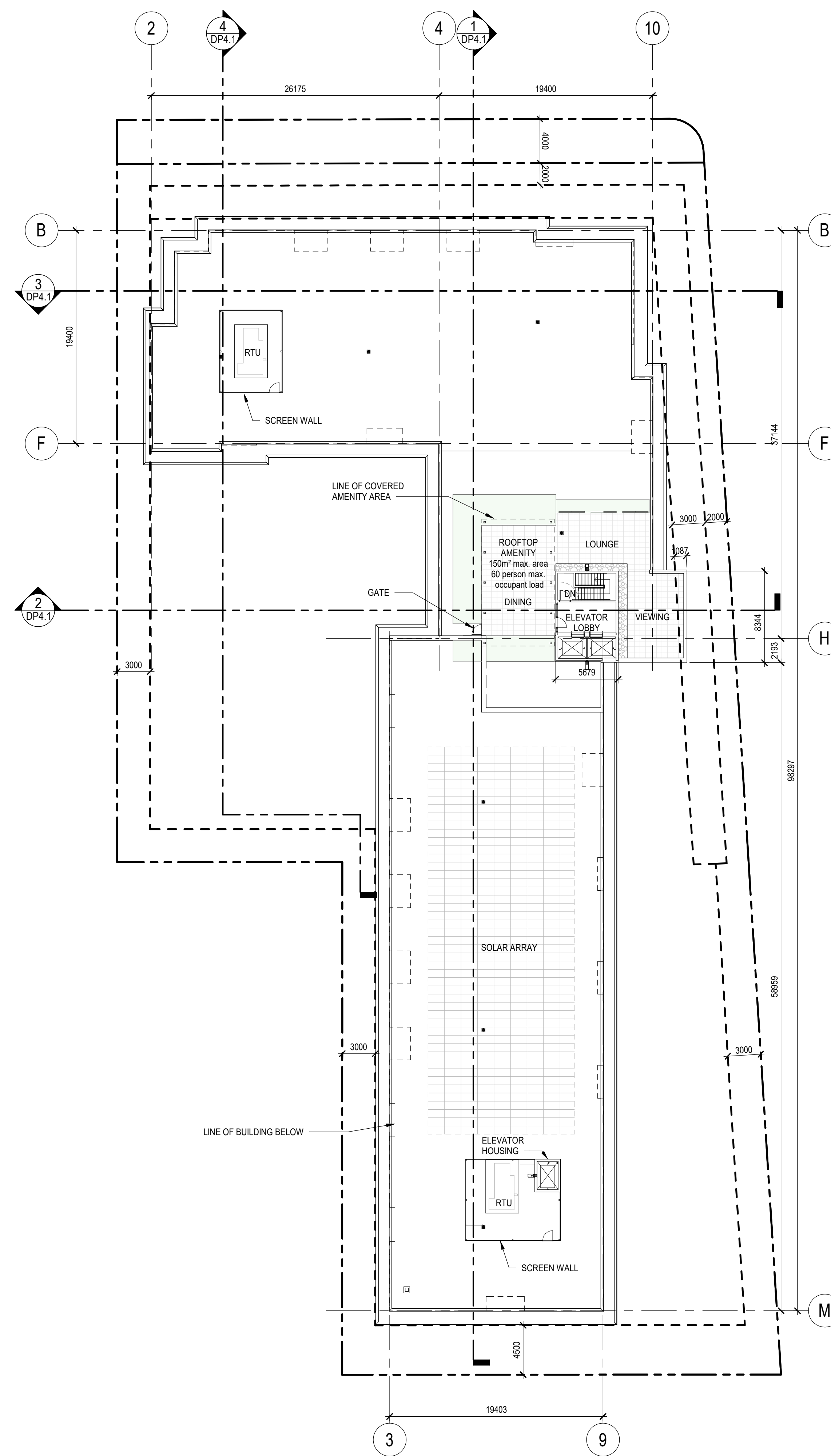
**FLOOR PLAN -
LEVEL 5-6 & ROOF**

PROJECT NO.	DRAWN	CHECKED
222-055	Author	Checker

DRAWING NO.	REVISION NO.
DP2.3	2



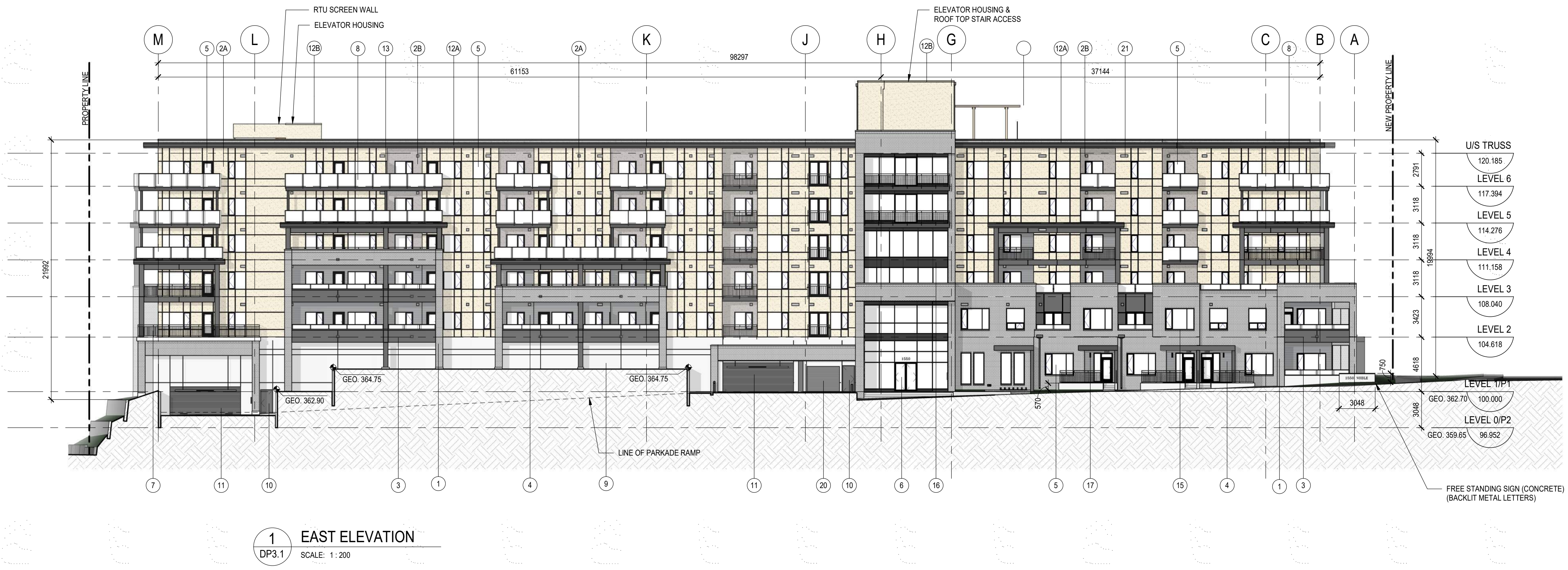
LEVEL 5-6
SCALE: 1:250



ROOF PLAN
SCALE: 1:250

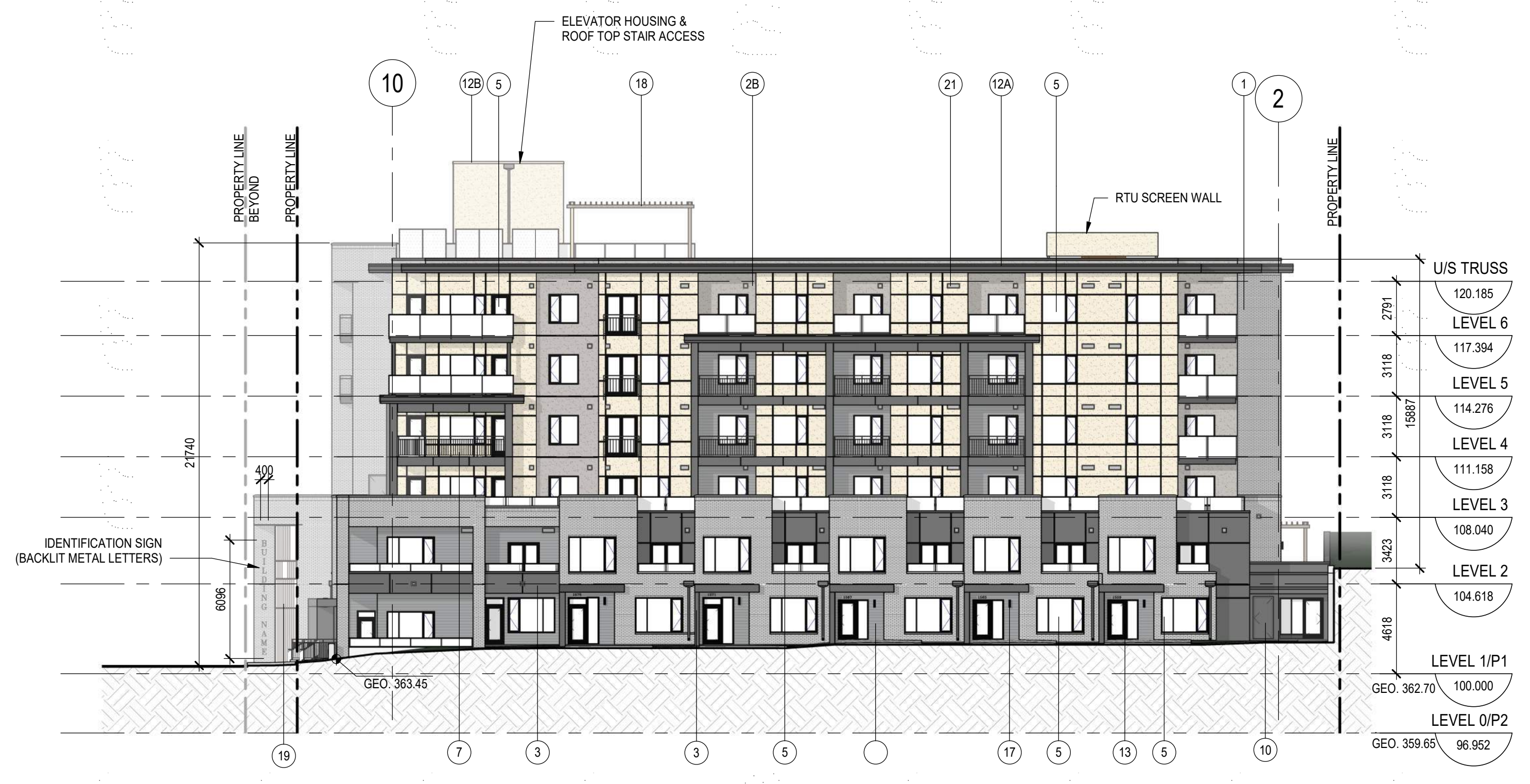


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1 EAST ELEVATION
 DP3.1 SCALE: 1:200

MATERIAL LEGEND			
1	BRICK VENEER (RUNNING BOND) - COLOUR: PEWTER; MORTAR: BUFF	4	WOOD APPARENT SIDING - COLOUR: MONUMENT OAK
2A	STUCCO FINISH (FINE SAND TEXTURE) - COLOUR: TAN (Benjamin Moore, Old Soul - 25%)	5	VINYL WINDOWS AND DOORS C/W CLEAR GLAZING - COLOUR: BLACK
2B	STUCCO FINISH (FINE SAND TEXTURE) - COLOUR: GREY (Benjamin Moore, Castle Gate - 50%)	6	ALUMINUM STOREFRONT GLAZING SYSTEM C/W CLEAR GLAZING - COLOUR: BLACK
3	FIBRE CEMENT PANEL - COLOUR: CHARCOAL (Sherwin Williams, 7069 Iron Ore)	7	ALUMINUM PICKET GUARD RAIL - COLOUR: BLACK
10	HOLLOW METAL DOOR AND STEEL FRAME (CHARCOAL - Sherwin Williams, 7069 Iron Ore)	13	ALUMINUM FRAMED PRIVACY SCREEN (BLACK WITH OPAQUE TEMPERED FROSTED GLAZING)
11	PREFINISHED SECTIONAL OVERHEAD DOOR (CHARCOAL - Sherwin Williams 7069 Iron Ore)	14	RETAINING WALL - ALLAN BLOCK (TO MATCH EXISTING)
12A	PREFINISHED FLASHING / CAP FLASHING - COLOUR: CASCADIA; CHARCOAL	15	CONCRETE CAP & SILL
12B	PREFINISHED FLASHING / CAP FLASHING - COLOUR: CASCADIA; CASHMERE	16	SPANDREL PANEL - COLOUR: BLACK
8	ALUMINUM / GLASS RAILING C/W CLEAR GLAZING - COLOUR: BLACK	9	EXPOSED CONCRETE ARCHITECTURAL FINISH
17	EXTERIOR LIGHT - BLACK	18	TIMBER TRELLIS - STAINED WOOD
19	METAL SCREEN WALL		



2 NORTH ELEVATION
 DP3.1 SCALE: 1:200

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 KELOWNA, BC V1Y 6R8

TITLE
ELEVATIONS

PROJECT NO.	DRAWN	CHECKED
222-055	Author	Checker

DRAWING NO.	REVISION NO.
DP3.1	2

DP3.1



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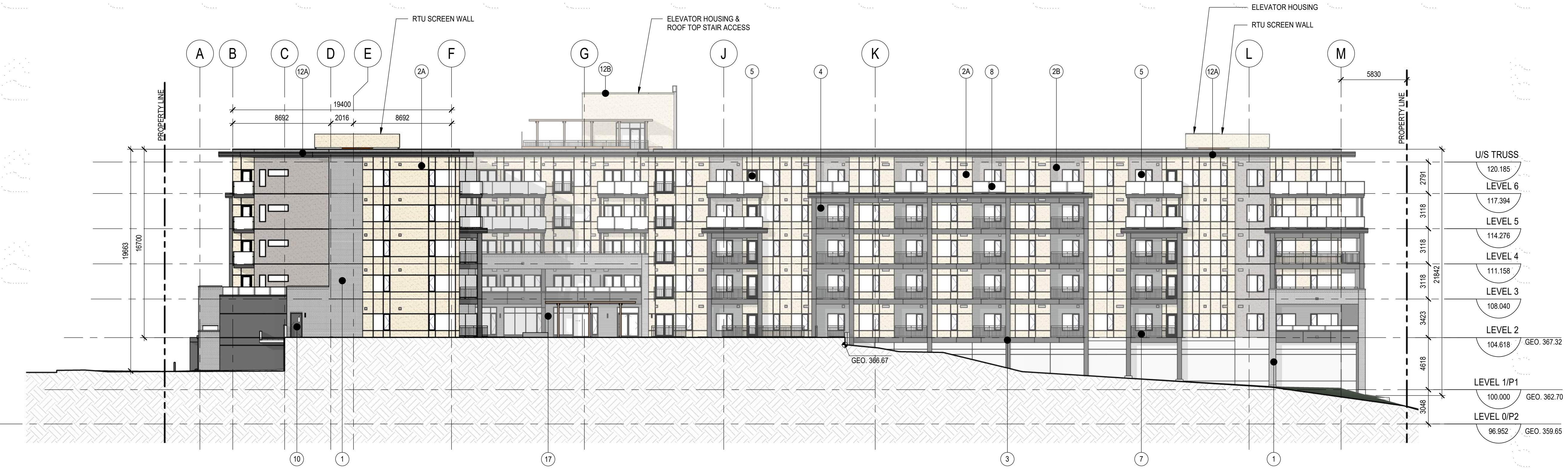
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TITLE
ELEVATIONS

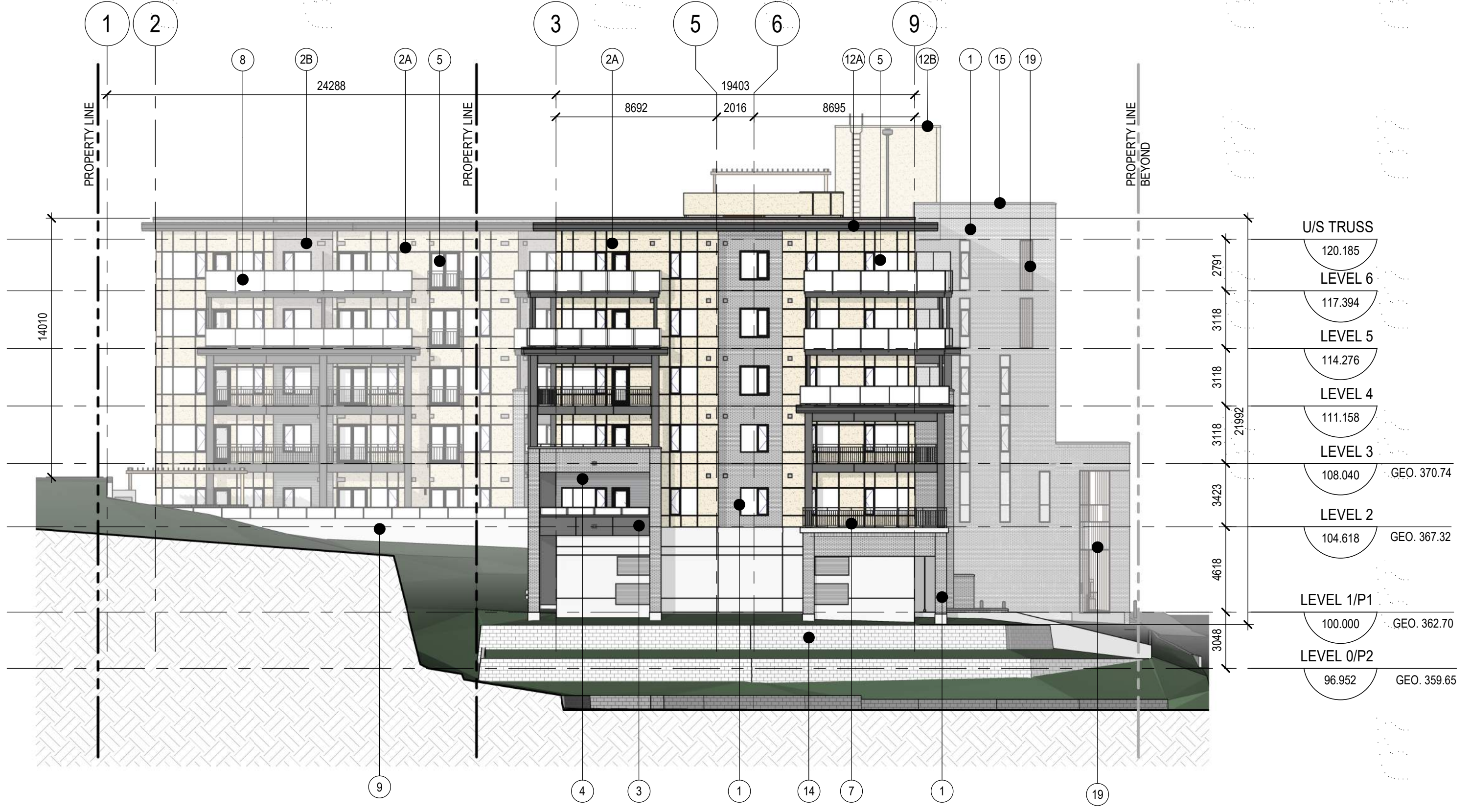
PROJECT NO.	DRAWN	CHECKED
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DRAWING NO.	REVISION NO.
DP3.2	2

DP3.2



1 WEST ELEVATION
DP3.2 SCALE: 1:200

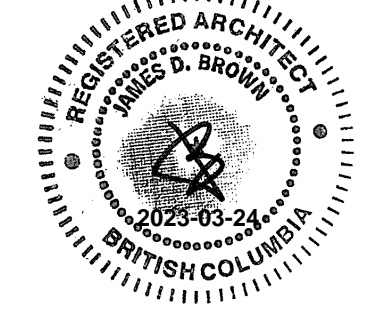


2 SOUTH ELEVATION
DP3.2 SCALE: 1:200

MATERIAL LEGEND			
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		17	EXTERIOR LIGHT - BLACK
		18	TIMBER TRELLIS - STAINED WOOD
		19	METAL SCREEN WALL

Zeidler Architecture

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1 3D - NE Axo
 DP3.3 SCALE:



3 3D - NW Axo
 DP3.3 SCALE:



2 3D - SW Axo
 DP3.3 SCALE:



4 3D - SE Axo
 DP3.3 SCALE:

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PROJECT ADDRESS

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TITLE

3D VIEWS

PROJECT NO.	DRAWN	CHECKED
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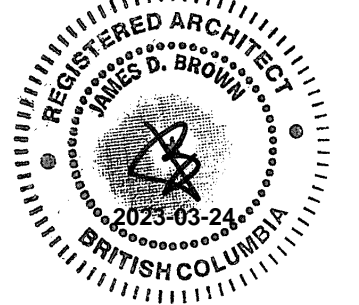
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DP3.3



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2	TRS AMENDED PLANS	2023-03-21
1	ISSUED FOR DP	2023-01-18
A	DP FINAL REVIEW SET	2022-12-16

NO.	ISSUE/ REVISION	DATE
-----	-----------------	------

NOT FOR CONSTRUCTION

PROJECT

1575 BERNARD AVE

PROJECT ADDRESS

1575 BERNARD AVE.
 KELOWNA, BC V1Y 6R8

TITLE

3D VIEWS

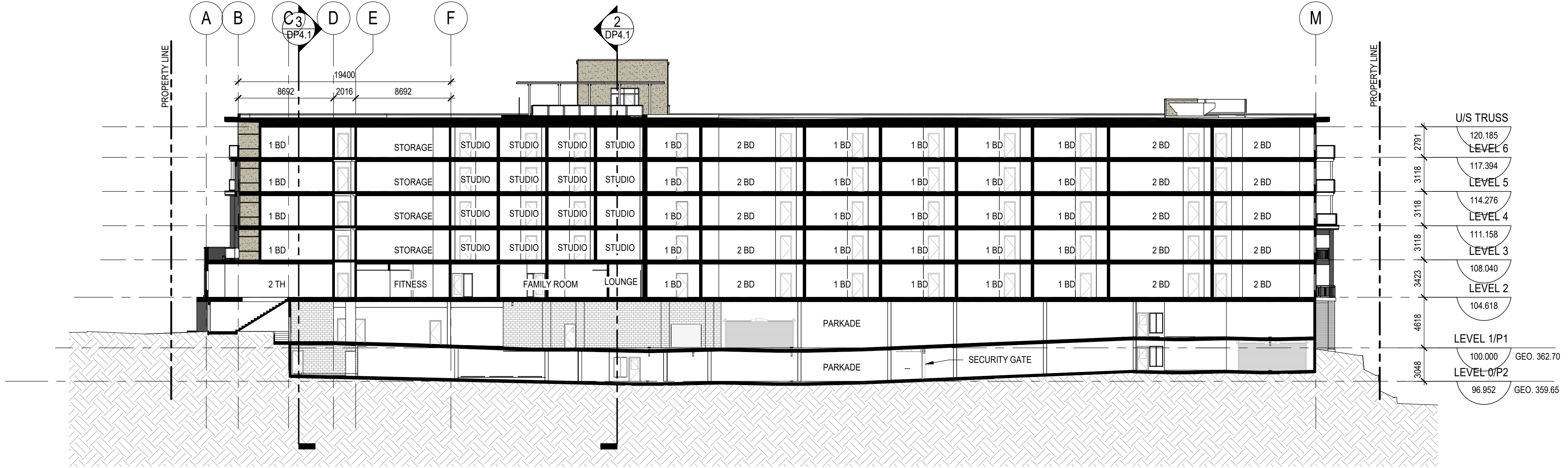
PROJECT NO.	DRAWN	CHECKED
222-055	Author	Checker

DRAWING NO.	REVISION NO.
DP3.4	2

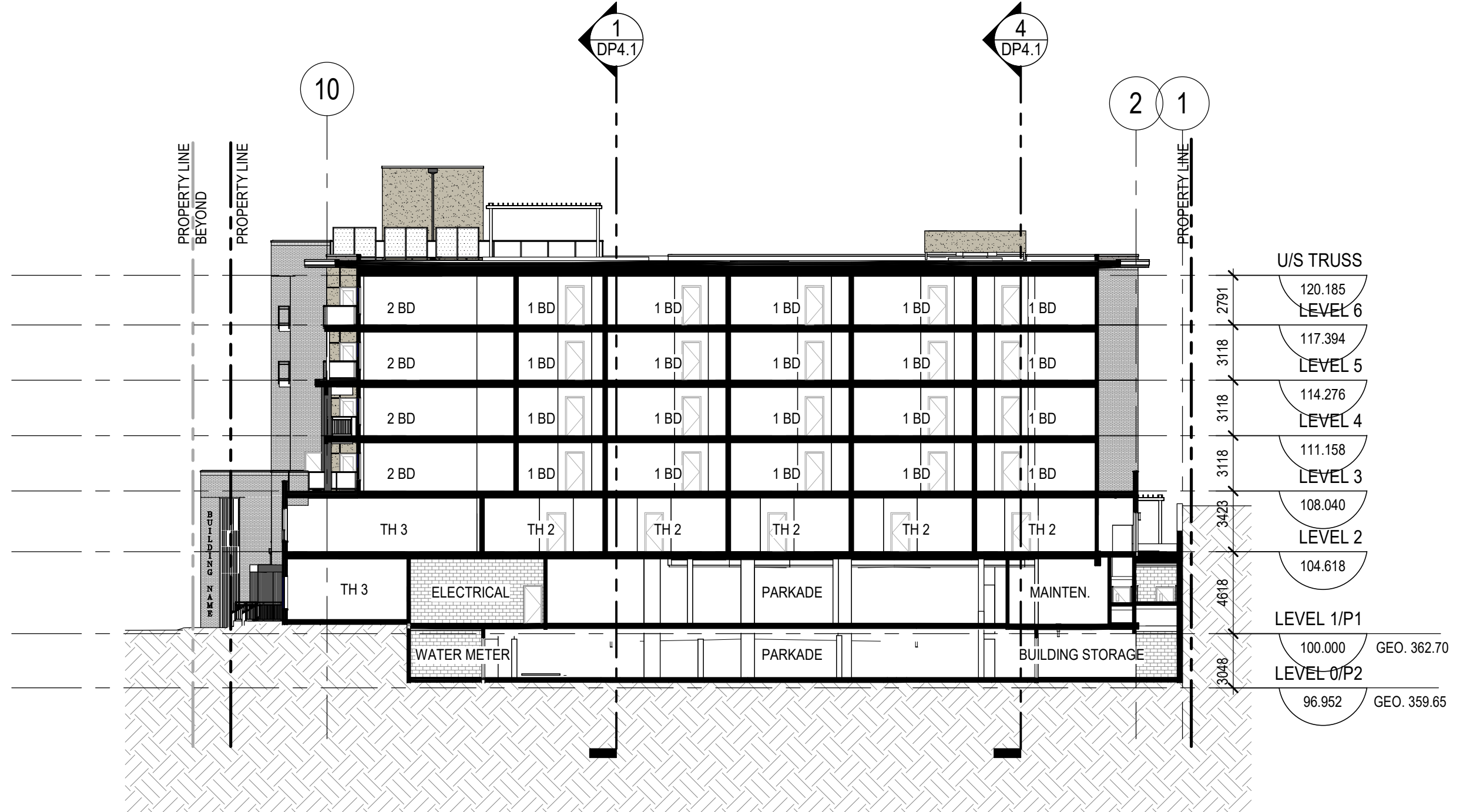




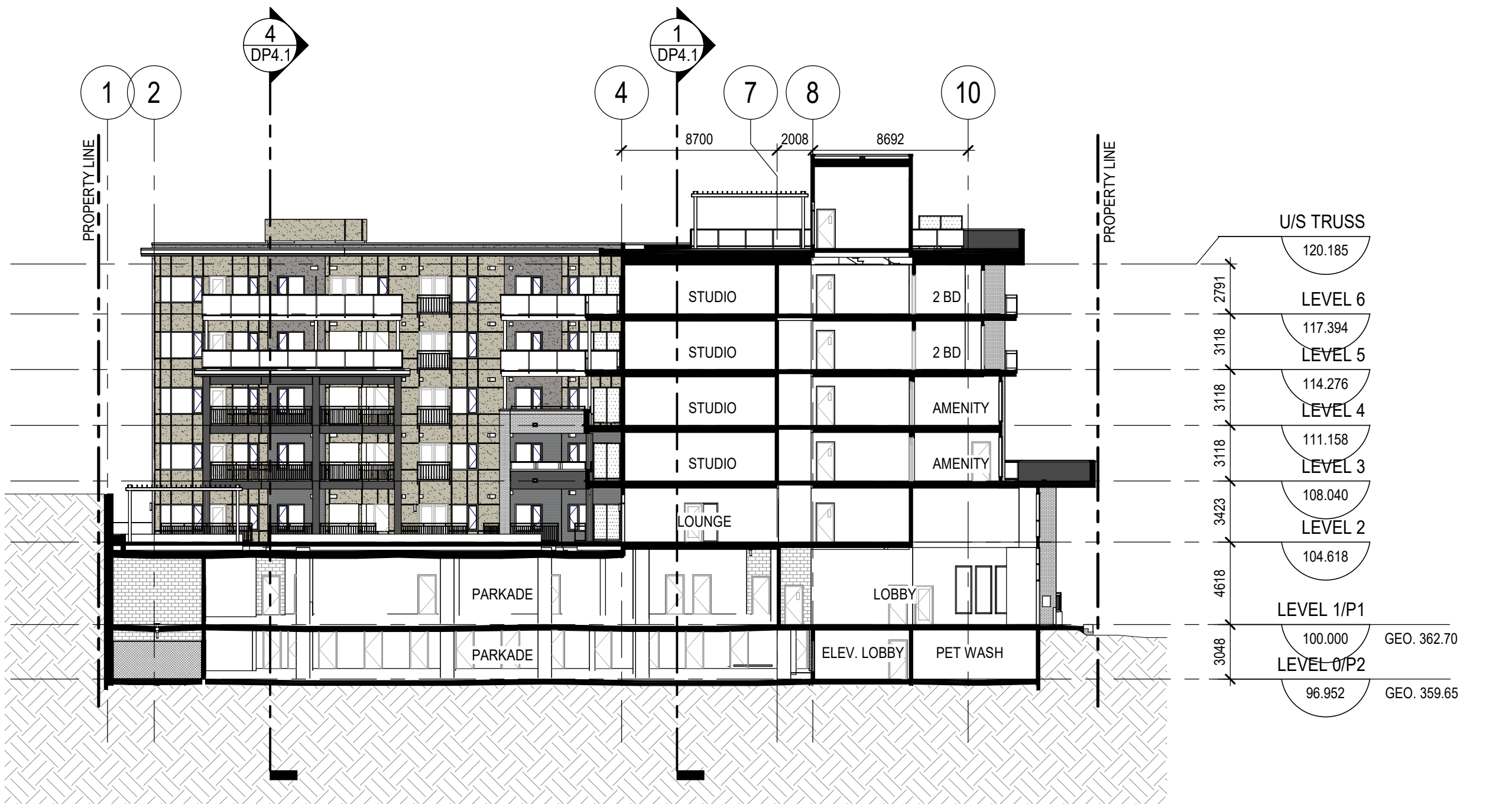
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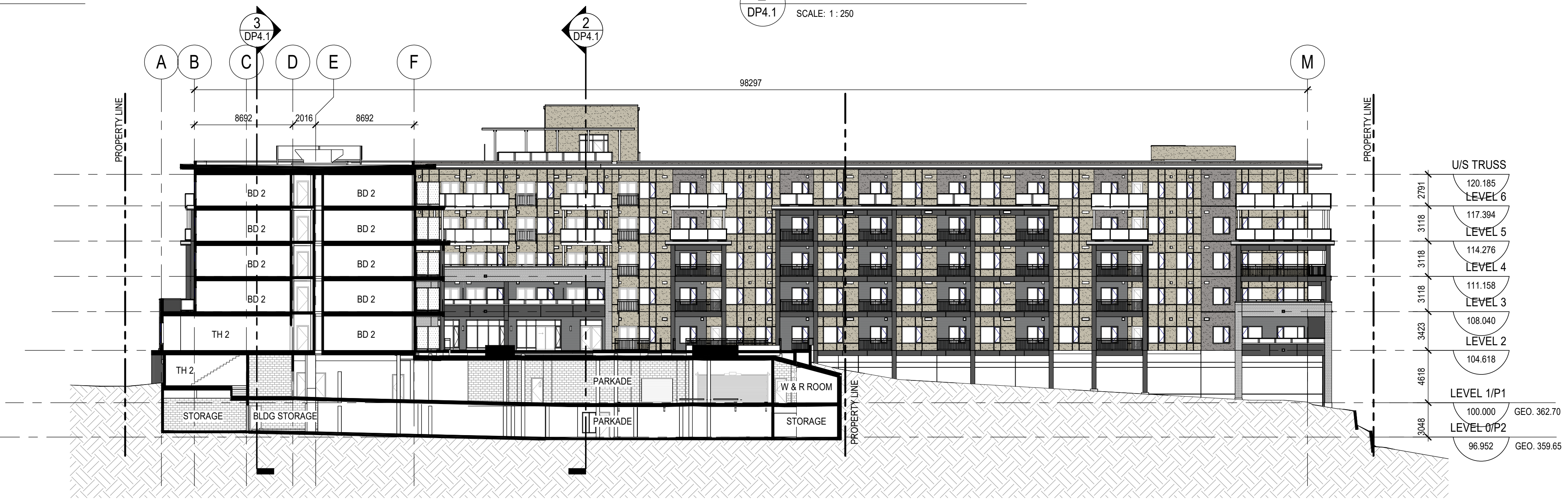
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 DP4.1 SCALE: 1:250



3 SECTION - EAST / WEST
 DP4.1 SCALE: 1:250



2 SECTION - THROUGH LOBBY
 DP4.1 SCALE: 1:250



4 SECTION - THOUGH LANDSCAPED TERRACE
 DP4.1 SCALE: 1:250

NO.	ISSUE / REVISION	DATE
2	TRS AMENDED PLANS	2023-03-21
1	ISSUED FOR DP	2023-01-18
A	DP FINAL REVIEW SET	2022-12-16

NOT FOR CONSTRUCTION

PROJECT
1575 BERNARD AVE

PROJECT ADDRESS
 1575 BERNARD AVE.
 KELOWNA, BC V1Y 6R8

TITLE
BUILDING SECTIONS

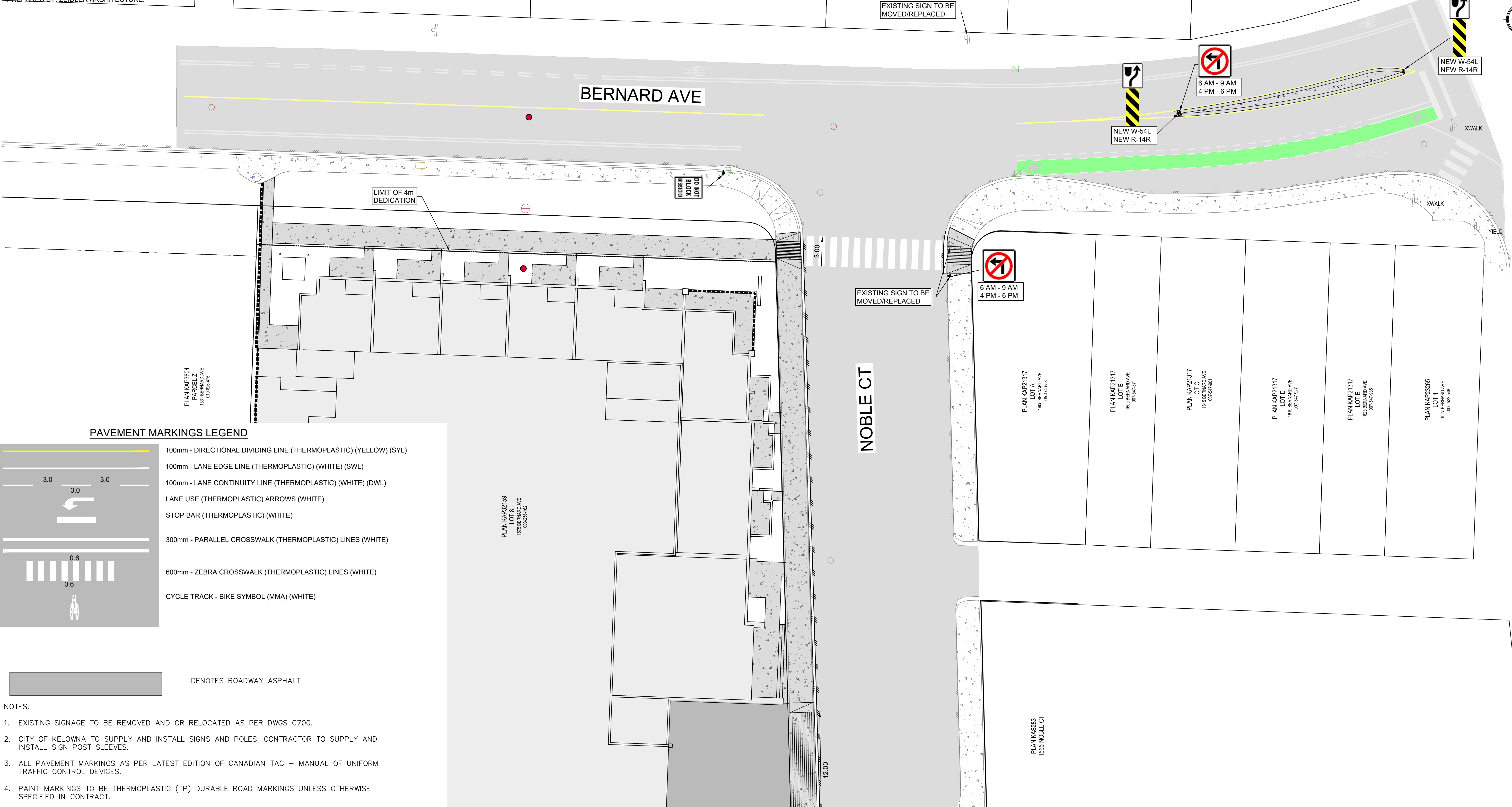
PROJECT NO.	DRAWN	CHECKED
222-055	Author	Checker

DRAWING NO.	REVISION NO.
DP4.1	2

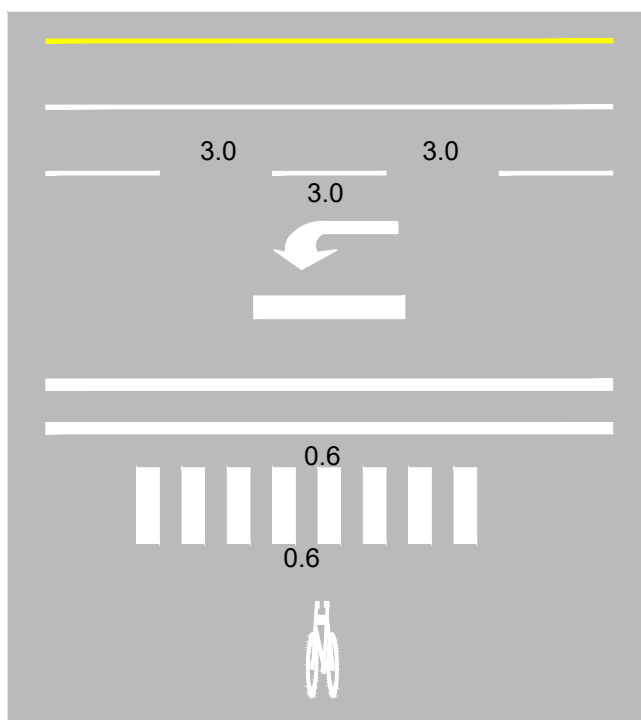
DATE: 2023-03-20 14:27 FILE: X:\2451\Proj\2451-1632-051-1575 Bernard Ave\03 Drawings\02 Production Sheets\01 Site\1632-051 - C-700 Signage and Pavement Markings.dwg

NOTES:
 LEGAL AND TOPOGRAPHICAL INFORMATION
 SHOWN ON THIS DRAWING REFLECTS
 DRAWING NO. 16364 SITE
 DATED MARCH 24, 2022
 PREPARED BY: RUNNALLS DENBY.

SITE PLAN SHOWN ON THIS DWG REFLECTS
 SITE DRAWING NO. DP1.1
 DATED MARCH 22, 2023
 PREPARED BY: ZEIDLER ARCHITECTURE.



PAVEMENT MARKINGS LEGEND



- 100mm - DIRECTIONAL DIVIDING LINE (THERMOPLASTIC) (YELLOW) (SYL)
- 100mm - LANE EDGE LINE (THERMOPLASTIC) (WHITE) (SWL)
- 100mm - LANE CONTINUITY LINE (THERMOPLASTIC) (WHITE) (DWL)
- LANE USE (THERMOPLASTIC) ARROWS (WHITE)
- STOP BAR (THERMOPLASTIC) (WHITE)
- 300mm - PARALLEL CROSSWALK (THERMOPLASTIC) LINES (WHITE)
- 600mm - ZEBRA CROSSWALK (THERMOPLASTIC) LINES (WHITE)
- CYCLE TRACK - BIKE SYMBOL (MMA) (WHITE)

■ DENOTES ROADWAY ASPHALT

NOTES:

1. EXISTING SIGNAGE TO BE REMOVED AND OR RELOCATED AS PER DWGS C700.
2. CITY OF KELOWNA TO SUPPLY AND INSTALL SIGNS AND POLES. CONTRACTOR TO SUPPLY AND INSTALL SIGN POST SLEEVES.
3. ALL PAVEMENT MARKINGS AS PER LATEST EDITION OF CANADIAN TAC - MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
4. PAINT MARKINGS TO BE THERMOPLASTIC (TP) DURABLE ROAD MARKINGS UNLESS OTHERWISE SPECIFIED IN CONTRACT.

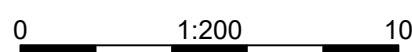
Rev	Date	Description	Drawn	Design	App'd
4	2023-03-20	RE-ISSUED FOR DEVELOPMENT PERMIT	BB	JG	MR
3	2023-02-24	ISSUED FOR 30% DESIGN SUBMISSION	BB	JG	MR
2	2023-01-24	RE-ISSUED FOR DEVELOPMENT PERMIT	BB	JG	DM
1	2022-12-16	ISSUED FOR DEVELOPMENT PERMIT	BB	JG	DP
0	2022-04-08	CONCEPTUAL DESIGN	BB	JG	DP

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ORIGINAL DWG SIZE: ANSI D (22" x 34")



2281 Hunter Road
 Kelowna BC
 Canada V1X 7C5
 T 250 861 8783

PERMIT TO PRACTICE

McElhanney Ltd.
 PERMIT NUMBER: 1003299

Engineers and Geoscientists
 of British Columbia

Approved Sealed

WESTPOINT PROJECTS INC.

612 BERNARD AVE, KELOWNA, BC

1575 BERNARD
 SIGNAGE AND PAVEMENT MARKING

Drawing No.

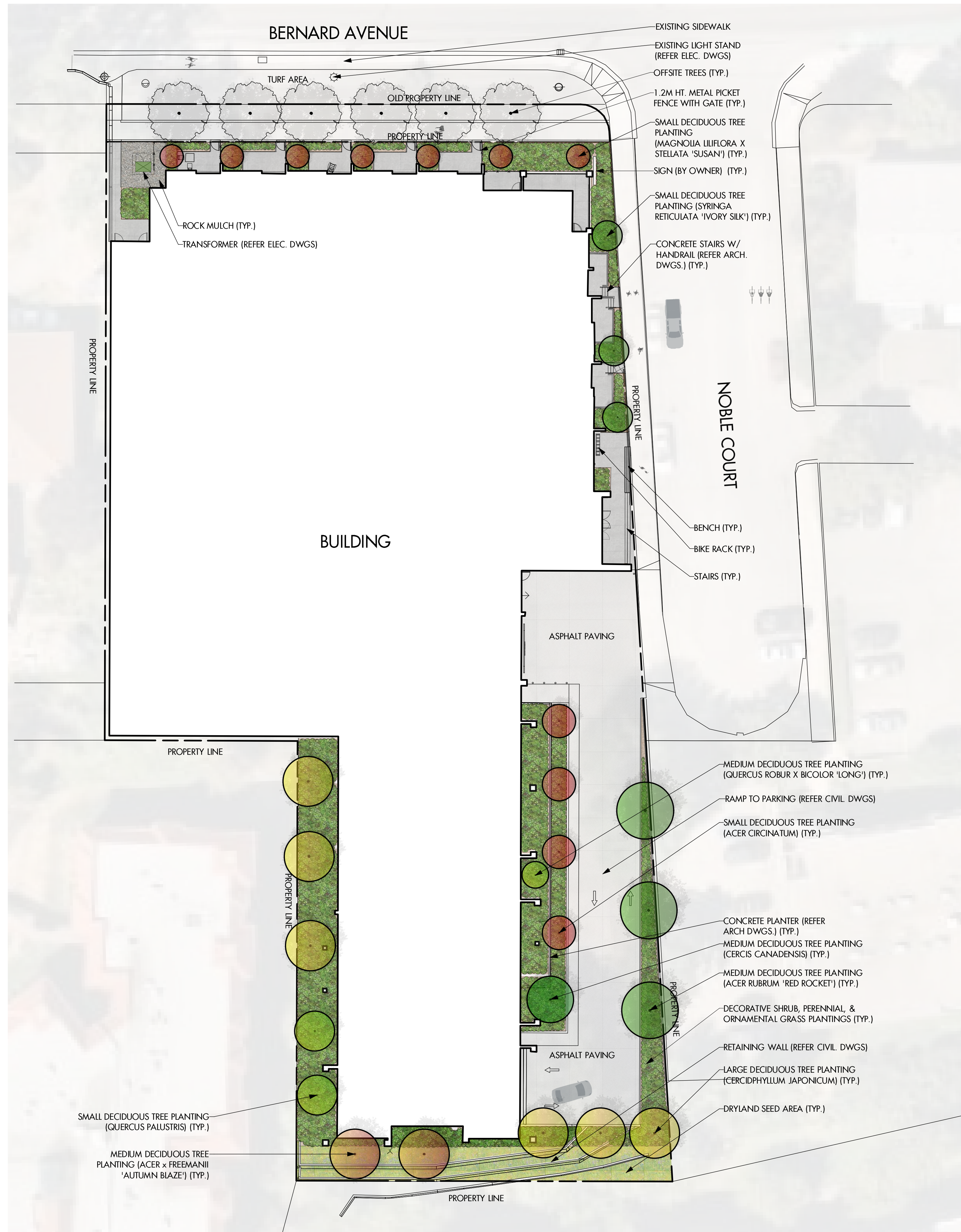
C700

Project Number
 2451-1632-051

Rev.
 4

DESTROY ALL PRINTS BEARING PREVIOUS REVISION

0 5 10 15 20 25 M



NOTES

1. PLANT MATERIAL AND CONSTRUCTION METHODS SHALL MEET OR EXCEED THE CANADIAN NURSERY LANDSCAPE ASSOCIATION STANDARDS.
2. ALL SOFT LANDSCAPE AREAS SHALL BE WATERED BY A FULLY AUTOMATIC TIMED UNDERGROUND IRRIGATION SYSTEM.
3. TREE AND SHRUB BEDS TO BE DRESSED IN A MINIMUM 75mm BLACK WOOD MULCH OR DECORATIVE ROCK MULCH, AS SHOWN IN PLANS. DO NOT PLACE WEED MAT UNDERNEATH TREE AND SHRUB BEDS IN WOOD MULCH AREAS.
4. TREE AND SHRUB BEDS TO RECEIVE A MINIMUM 300mm DEPTH TOPSOIL PLACEMENT. HYDROSEED AREAS TO RECEIVE A MINIMUM OF 50mm DEPTH TOPSOIL PLACEMENT.
5. TURF AREAS FROM SOD SHALL BE NO. 1 GRADE GROWN FROM CERTIFIED SEED OF IMPROVED CULTIVARS REGISTERED FOR SALE IN B.C. AND SHALL BE TOLERANT OF DROUGHT CONDITIONS. A MINIMUM OF 150mm DEPTH OF GROWING MEDIUM IS REQUIRED BENEATH TURF AREAS. TURF AREAS SHALL MEET EXISTING GRADES AND HARD SURFACES FLUSH.
6. HYDROSEEDING DRYLAND SEED AREAS:

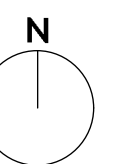
DRYLAND SEED MIXTURE	BY WEIGHT	BY SPECIES
BLUE BUNCH WHEAT GRASS	40%	22%
ROUGH FESCUE	25%	20%
IDAHO FESCUE	15%	19%
PERENNIAL RYEGRASS	10%	7%
SANDBERG BLUEGRASS	5%	13%
JUNE GRASS	4%	18%
CANADA BLUEGRASS	1%	1%

HYDROSEEDING APPLICATION RATE
 NATIVE SEED DRYLAND SEED MIXTURE 125KG/HECTARE
 FERTILIZER 18-18-2, 50% SULPHUR COATED UREA 300KG/HECTARE
 MULCH CANFOR ECOFIBRE PLUS TAC 2,800KG/HECTARE
 TACKIFIER GUAR 3% OF MIX

THE PRECEDING HYDROSEEDING MIXTURE IS TO BE APPLIED TO THE DRYLAND SEED AREA AS SHOWN ON THE DRAWING. SEED MIX TO BE CERTIFIED #1 GRADE BY AGRICULTURE CANADA. REFER MANUFACTURER'S SPECIFICATIONS FOR PRODUCT DELIVERY, STORAGE & PROTECTION.

PLANT LIST

BOTANICAL NAME	COMMON NAME	QTY	SIZE/SPACING & REMARKS
TREES			
ACER CIRCINATUM	VINE MAPLE	4	4cm CAL
ACER x FREEMANII 'AUTUMN BLAZE'	AUTUMN BLAZE FREEMAN MAPLE	2	4cm CAL
ACER PALMATUM 'SANGO-KAKU'	CORAL BARK MAPLE	3	3cm CAL
ACER PALMATUM	JAPANESE MAPLE	1	4cm CAL
ACER x FREEMANII 'AUTUMN BLAZE'	AUTUMN BLAZE MAPLE	2	4cm CAL
CERCIDPHYLLUM JAPONICUM	KATSURA	6	5cm CAL
CERCIS CANADENSIS	EASTERN REDBUD	1	3cm CAL
MAGNOLIA LILIFLORA X STELLATA 'SUSAN'	SUSAN MAGNOLIA	8	3cm CAL
QUERCUS PALUSTRIS	PIN OAK	2	3cm CAL
QUERCUS ROBUR X BICOLOR 'LONG'	REGAL PRINCE OAK	1	4cm CAL
SYRINGA RETICULATA 'IVORY SILK'	IVORY SILK LILAC	3	3cm CAL
POPULUS TREMULOIDES 'ERECTA'	SWEDISH COLUMNAR ASPEN	3	3cm CAL
SHRUBS			
CORNUS ALBA 'BAIHALO'	IVORY HALO DOGWOOD	29	#02 CONT. /1.5M O.C. SPACING
FORSYTHIA INTERMEDIA 'COURDIAU'	GOLDEN PEEP FORSYTHIA	45	#02 CONT. /1.2M O.C. SPACING
PICEA ABIES 'NIDIFORMIS'	BIRD'S NEST SPRUCE	29	#02 CONT. /1.5M O.C. SPACING
PINUS SYLVESTRIS 'GLAUCA NANA'	DWARF BLUE SCOTCH PINE	20	#02 CONT. /1.8M O.C. SPACING
ROSA RUGOSA 'BLANC DE COUBERT'	BLANC DE COUBERT ROSE	29	#02 CONT. /1.5M O.C. SPACING
SPIRAEA BUMALDA 'GOLDFLAME'	GOLDFLAME SPIREA	45	#02 CONT. /1.2M O.C. SPACING
PERENNIALS & ORNAMENTAL GRASSES			
CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	65	#01 CONT. /0.9M O.C. SPACING
HELICTOTRICHON SEMPERVIRENS	BLUE OAT GRASS	262	#01 CONT. /0.45M O.C. SPACING
NEPETA X FAASSENII 'WALKER'S LOW'	WALKER'S LOW CATMINT	65	#01 CONT. /0.9M O.C. SPACING
SEDUM SPECTABILE 'AUTUMN JOY'	AUTUMN JOY STONECROP	117	#01 CONT. /0.75M O.C. SPACING
RUDBECKIA FULGIDA 'GOLDSTURM'	GOLDSTURM CONEFLOWER	146	#01 CONT. /0.6M O.C. SPACING



PROJECT TITLE
**1575 BERNARD AVENUE
 MULTIFAMILY**

Kelowna, BC

DRAWING TITLE
**CONCEPTUAL
 LANDSCAPE PLAN
 GROUND FLOOR**

ISSUED FOR / REVISION

NO.	DATE	REVISION
1	22.12.21	Review
2	23.01.24	Review
3	23.03.20	Issue for DP
4		
5		

PROJECT NO. 22-1088

DESIGN BY GS

DRAWN BY LA

CHECKED BY FB

DATE JAN. 24, 2023

SCALE 1:250

PAGE SIZE 24x36"

SEAL

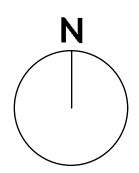
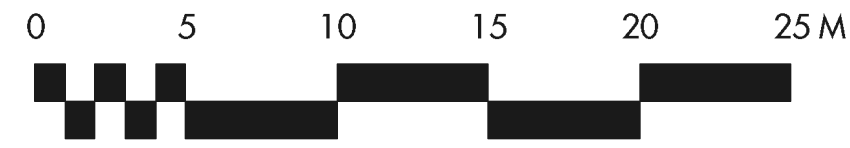


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PROJECT TITLE

**1575 BERNARD AVENUE
MULTIFAMILY**

Kelowna, BC

DRAWING TITLE

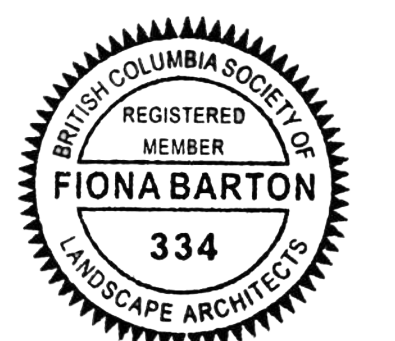
**CONCEPTUAL
LANDSCAPE PLAN
SECOND FLOOR**

ISSUED FOR / REVISION

1	22.12.21	Review
2	23.01.24	Review
3	23.03.20	Issue for DP
4		
5		

PROJECT NO.	22-1088
DESIGN BY	GS
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DATE	JAN. 24, 2023
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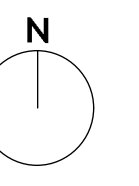
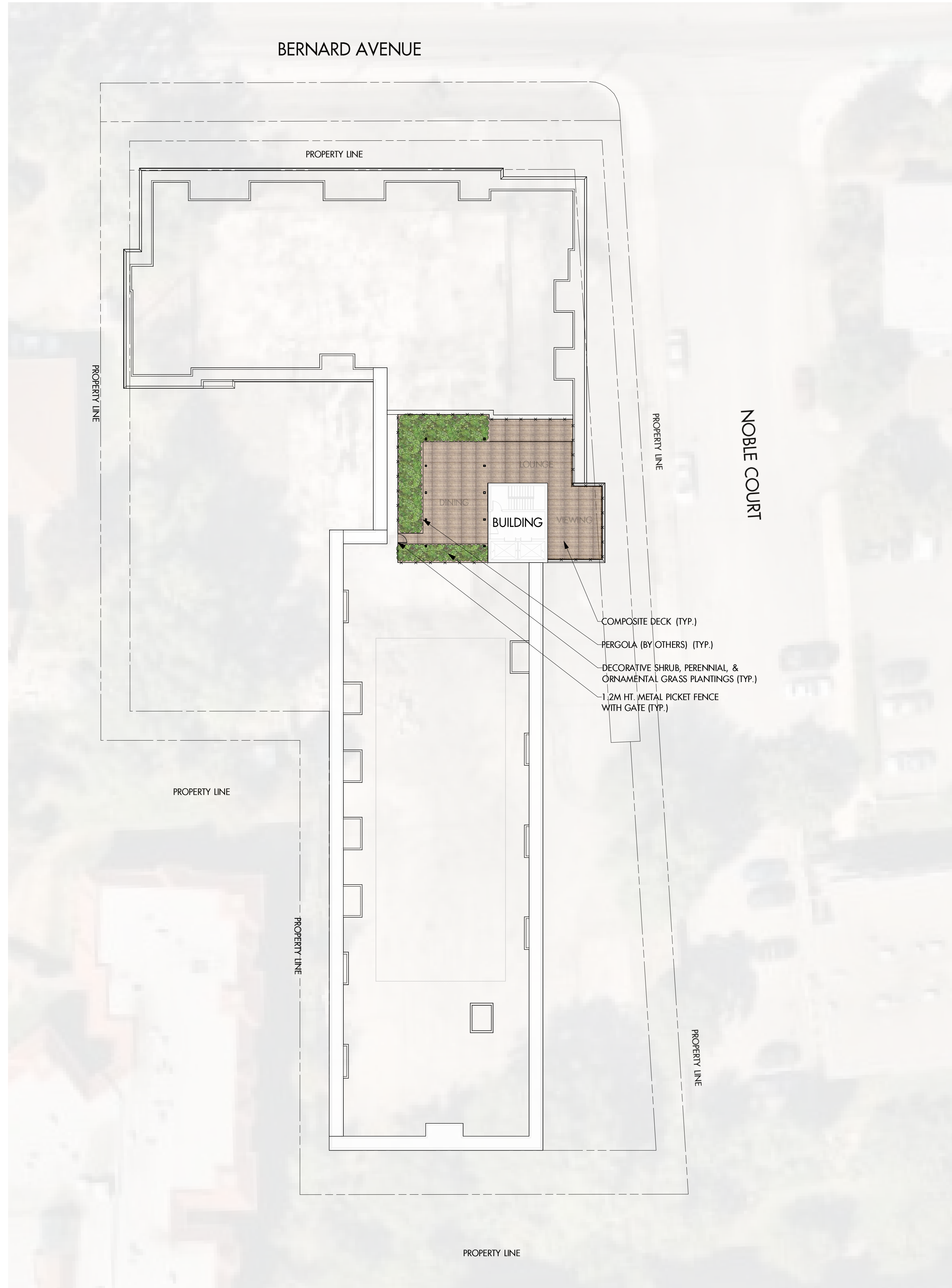
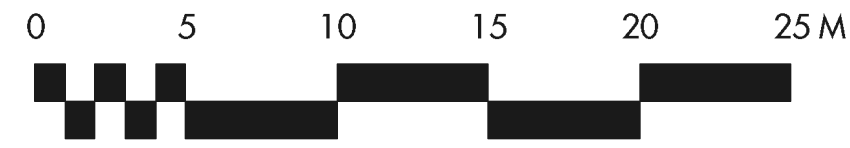
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DRAWING NUMBER

L2/8

* REFER PAGE L1 FOR NOTES AND PLANT LIST



PROJECT TITLE

**1575 BERNARD AVENUE
 MULTIFAMILY**

Kelowna, BC

DRAWING TITLE

**CONCEPTUAL
 LANDSCAPE PLAN
 (ROOF)**

ISSUED FOR / REVISION

1	22.12.21	Review
2	23.01.24	Review
3	23.03.20	Issue for DP
4		
5		

PROJECT NO. 22-1088

DESIGN BY GS

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DATE JAN. 24, 2023

SCALE 1:250

PAGE SIZE 24x36"

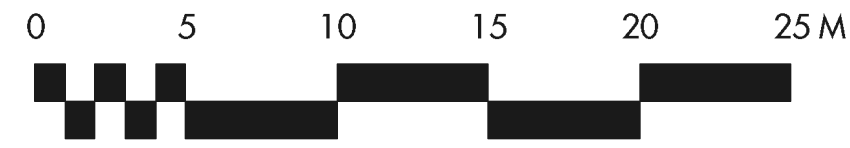
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L3/8

* REFER PAGE L1 FOR NOTES AND PLANT LIST



WATER CONSERVATION CALCULATIONS

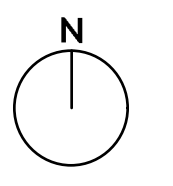
LANDSCAPE MAXIMUM WATER BUDGET (WB) = 979 cu.m. / year
 ESTIMATED LANDSCAPE WATER USE (WU) = 665 cu.m. / year
 WATER BALANCE = 314 cu.m. / year
 *REFER ATTACHED IRRIGATION APPLICATION FOR DETAILED CALCULATIONS

IRRIGATION LEGEND

- ZONE #1: LOW VOLUME POP-UP SPRAYHEADS FOR TURF AREAS
 TOTAL AREA: 103 sq.m.
 MICROCLIMATE: NORTHWEST EXPOSURE, PARTIALLY SHADED BY BUILDING AND TREES
 ESTIMATED ANNUAL WATER USE: 34 cu.m.
- ZONE #2: LOW VOLUME POP-UP SPRAYHEADS FOR TURF AREAS
 TOTAL AREA: 65 sq.m.
 MICROCLIMATE: EAST EXPOSURE, PARTIALLY SHADED BY TREES & BUILDINGS
 ESTIMATED ANNUAL WATER USE: 22 cu.m.
- ZONE #3: LOW VOLUME POP-UP SPRAYHEADS FOR TURF AREAS
 TOTAL AREA: 168 sq.m.
 MICROCLIMATE: SOUTHEAST EXPOSURE, PARTIALLY SHADED BY TREES & BUILDINGS
 ESTIMATED ANNUAL WATER USE: 56 cu.m.
- ZONE #4: HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS
 TOTAL AREA: 127 sq.m.
 MICROCLIMATE: SOUTHEAST EXPOSURE, PARTIALLY SHADED BY TREES
 ESTIMATED ANNUAL WATER USE: 42 cu.m.
- ZONE #5: HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS
 TOTAL AREA: 188 sq.m.
 MICROCLIMATE: SOUTH WEST EXPOSURE, PARTIALLY SHADED BY BUILDING AND TREES
 ESTIMATED ANNUAL WATER USE: 63 cu.m.
- ZONE #6: HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS
 TOTAL AREA: 99 sq.m.
 MICROCLIMATE: NORTHWEST EXPOSURE, PARTIALLY SHADED BY TREES
 ESTIMATED ANNUAL WATER USE: 33 cu.m.
- ZONE #7: LOW VOLUME POP-UP SPRAYHEADS FOR TURF AREAS
 TOTAL AREA: 91 sq.m.
 MICROCLIMATE: NORTHWEST EXPOSURE, PARTIALLY SHADED BY TREES
 ESTIMATED ANNUAL WATER USE: 78 cu.m.
- ZONE #8: LOW VOLUME POP-UP SPRAYHEADS FOR TURF AREAS
 TOTAL AREA: 91 sq.m.
 MICROCLIMATE: NORTHEAST EXPOSURE, PARTIALLY SHADED BY TREES
 ESTIMATED ANNUAL WATER USE: 78 cu.m.
- ZONE #9: HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS
 TOTAL AREA: 129 sq.m.
 MICROCLIMATE: SOUTHWEST EXPOSURE, PARTIALLY SHADED BY TREES
 ESTIMATED ANNUAL WATER USE: 43 cu.m.
- ZONE #10: HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS
 TOTAL AREA: 157 sq.m.
 MICROCLIMATE: SOUTHWEST EXPOSURE, PARTIALLY SHADED BY TREES
 ESTIMATED ANNUAL WATER USE: 52 cu.m.
- ZONE #11: LOW VOLUME POP-UP SPRAYHEADS FOR TURF AREAS
 TOTAL AREA: 73 sq.m.
 MICROCLIMATE: SOUTHWEST EXPOSURE, PARTIALLY SHADED BY TREES
 ESTIMATED ANNUAL WATER USE: 63 cu.m.
- ZONE #12: LOW VOLUME POP-UP SPRAYHEADS FOR TURF AREAS
 TOTAL AREA: 84 sq.m.
 MICROCLIMATE: SOUTHWEST EXPOSURE, PARTIALLY SHADED BY TREES
 ESTIMATED ANNUAL WATER USE: 72 cu.m.
- ZONE #13: HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS
 TOTAL AREA: 88 sq.m.
 MICROCLIMATE: SOUTHWEST EXPOSURE
 ESTIMATED ANNUAL WATER USE: 29 cu.m.

IRRIGATION NOTES

1. IRRIGATION PRODUCTS AND INSTALLATION METHODS SHALL MEET OR EXCEED THE REQUIREMENTS OF THE WATER USE REGULATION BYLAW NO. 10480 AND THE SUPPLEMENTARY SPECIFICATIONS IN THE CITY OF KELOWNA BYLAW 7900 (PART 6, SCHEDULE 5).
2. THE IRRIGATION SYSTEM SHALL MEET THE REQUIREMENTS, REGULATIONS, AND BYLAWS OF THE WATER PURVEYOR.
3. THE IRRIGATION SYSTEM SHALL BE EQUIPPED WITH AN APPROVED BACKFLOW PREVENTION DEVICE, WATER METER, AND SHUT OFF VALVE LOCATED OUTSIDE THE BUILDING ACCESSIBLE TO THE CITY.
4. AN APPROVED SMART CONTROLLER SHALL BE INSTALLED. THE IRRIGATION SCHEDULING TIMES SHALL UTILIZE A MAXIMUM ET VALUE OF 7" / MONTH (KELOWNA JULY ET), TAKING INTO CONSIDERATION SOIL TYPE, SLOPE, AND MICROCLIMATE.
5. DRIP LINE AND EMITTERS SHALL INCORPORATE TECHNOLOGY TO LIMIT ROOT INTRUSION.
6. IRRIGATION SLEEVES SHALL BE INSTALLED TO ROUTE IRRIGATION LINES UNDER HARD SURFACES AND FEATURES.
7. IRRIGATION PIPE SHALL BE SIZED TO ALLOW FOR A MAXIMUM FLOW OF 1.5m /SEC.
8. A FLOW SENSOR AND MASTER VALVE SHALL BE CONNECTED TO THE CONTROLLER AND PROGRAMMED TO STOP FLOW TO THE SYSTEM IN CASE OF AN IRRIGATION WATER LEAK.



PROJECT TITLE

**1575 BERNARD AVENUE
 MULTIFAMILY**

Kelowna, BC

DRAWING TITLE

**WATER CONSERVATION /
 IRRIGATION PLAN
 GROUND FLOOR**

ISSUED FOR / REVISION

NO.	DATE	REVISION
1	22.12.21	Review
2	23.03.20	Issue for DP
3		
4		
5		

PROJECT NO: 22-1088

DESIGN BY: GS

DRAWN BY: LA

CHECKED BY: FB

DATE: DEC. 21, 2022

SCALE: 1:250

PAGE SIZE: 24x36"

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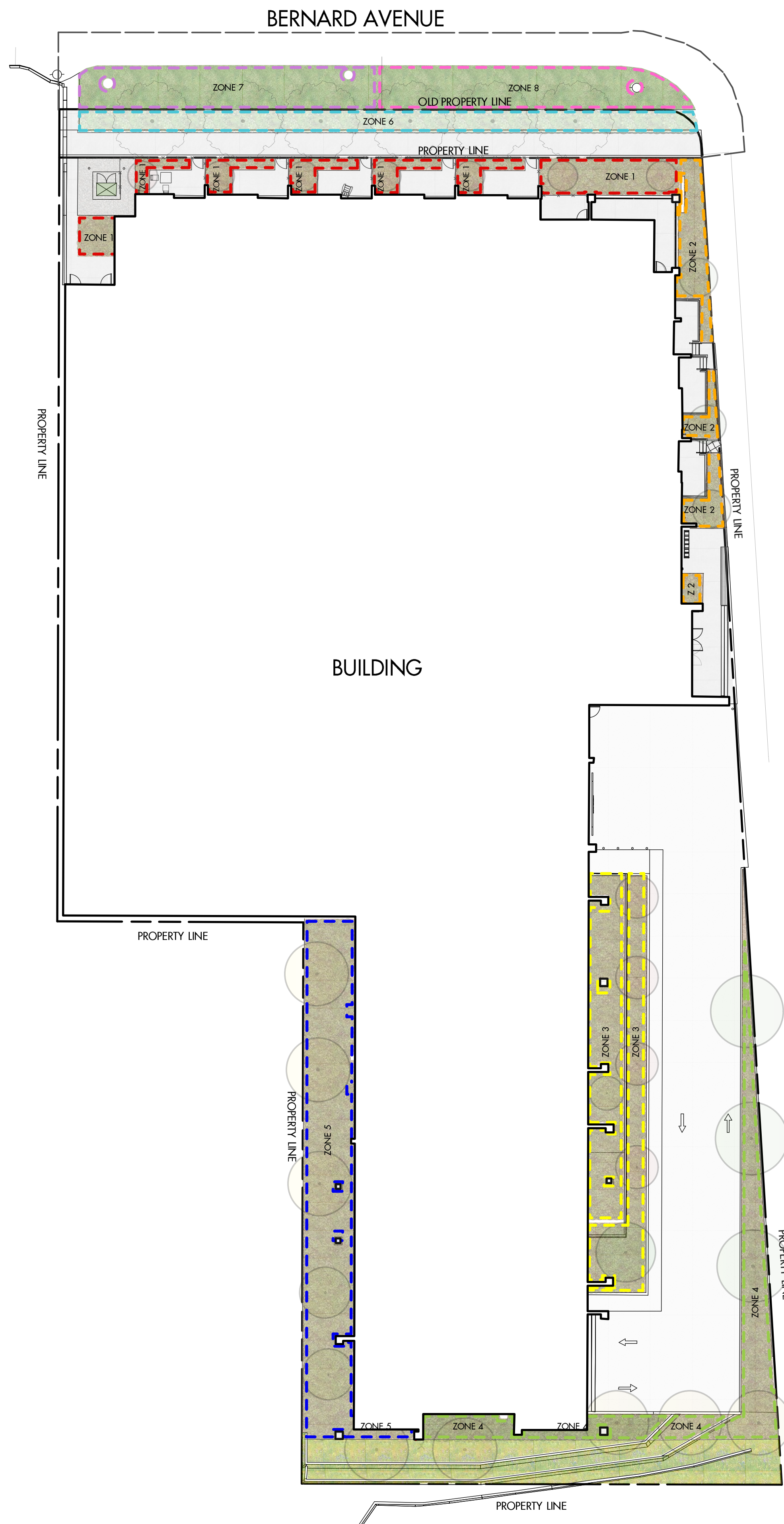


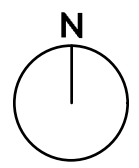
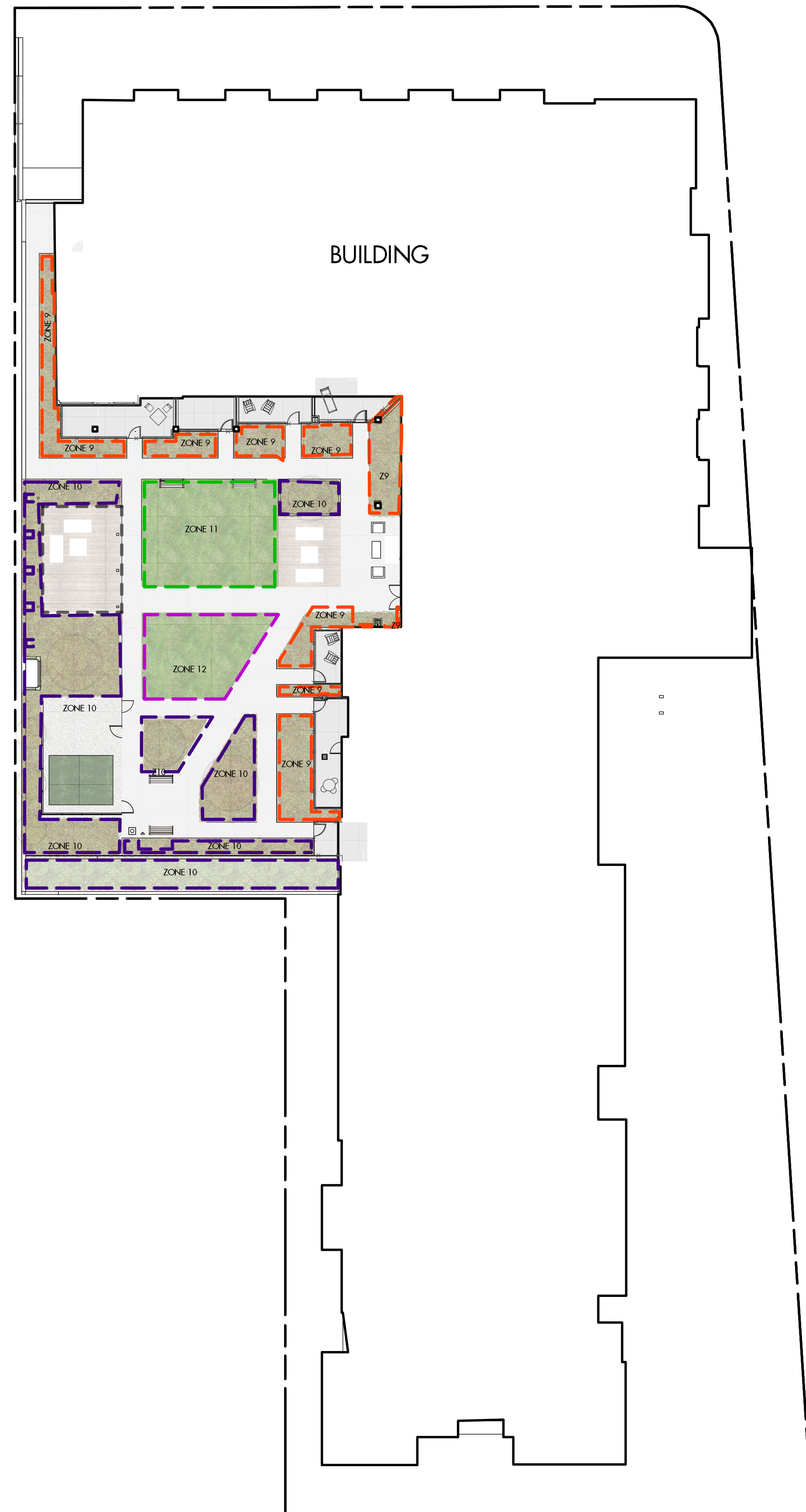
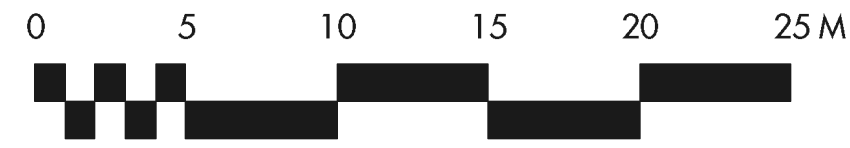
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PROJECT TITLE

**1575 BERNARD AVENUE
MULTIFAMILY**

Kelowna, BC

DRAWING TITLE

**WATER CONSERVATION /
IRRIGATION PLAN
SECOND FLOOR**

ISSUED FOR / REVISION

1	22.12.21	Review
2	23.03.20	Issue for DP
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PAGE SIZE 24x36"

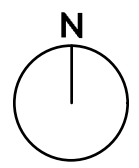
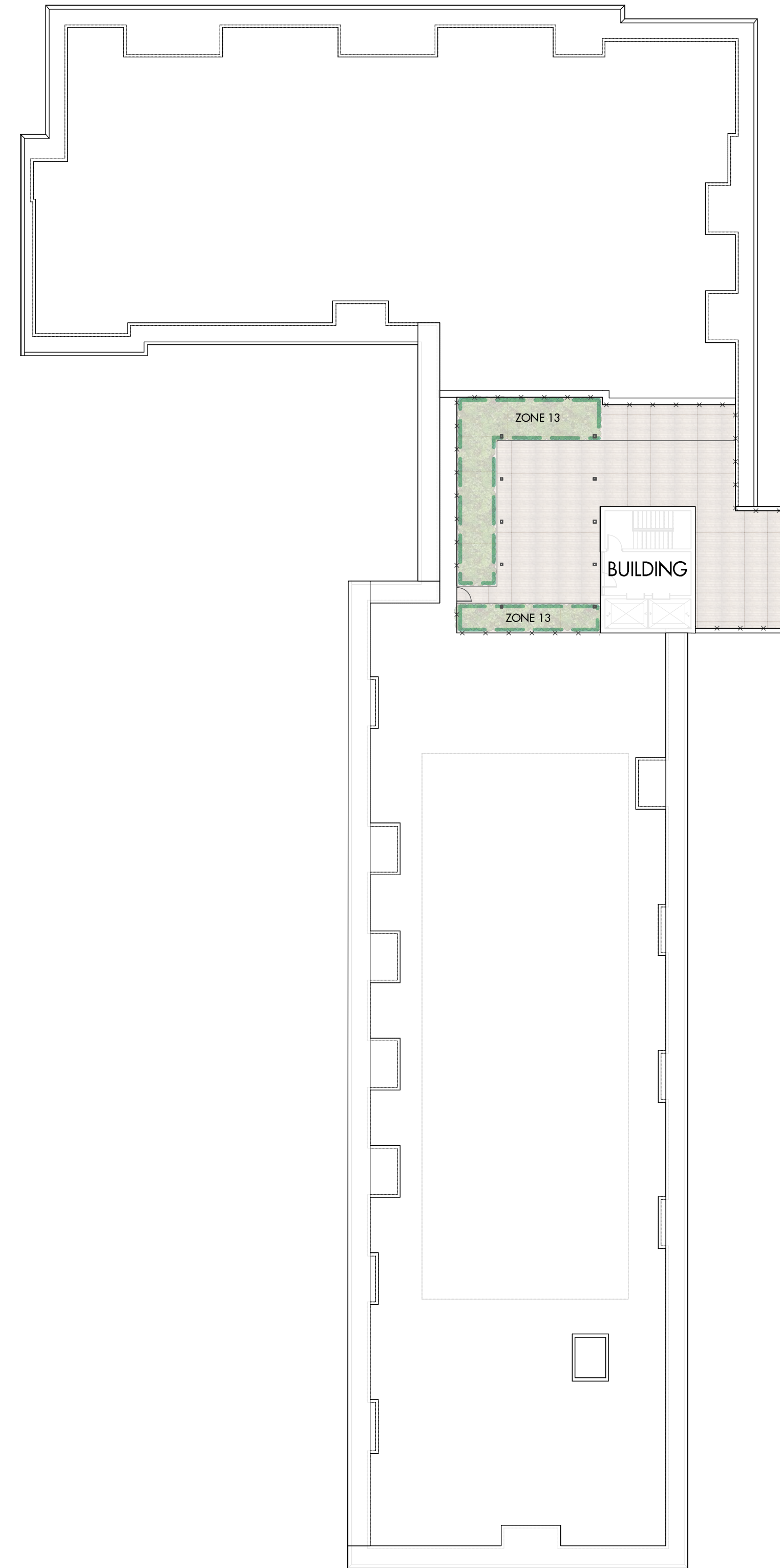
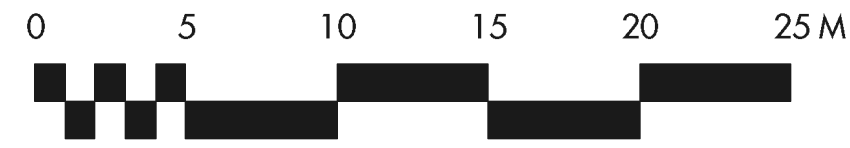
SEAL



DRAWING NUMBER

L5/8

* REFER PAGE L3 FOR IRRIGATION NOTES AND LEGEND



PROJECT TITLE

**1575 BERNARD AVENUE
 MULTIFAMILY**

Kelowna, BC

DRAWING TITLE

**WATER CONSERVATION /
 IRRIGATION PLAN
 (ROOF)**

ISSUED FOR / REVISION

1	22.12.21	Review
2	23.03.20	Issue for DP
3		
4		
5		

PROJECT NO. 22-1088

DESIGN BY GS

DRAWN BY IA

CHECKED BY FB

DATE DEC. 21, 2022

SCALE 1:250

PAGE SIZE 24x36"

SEAL



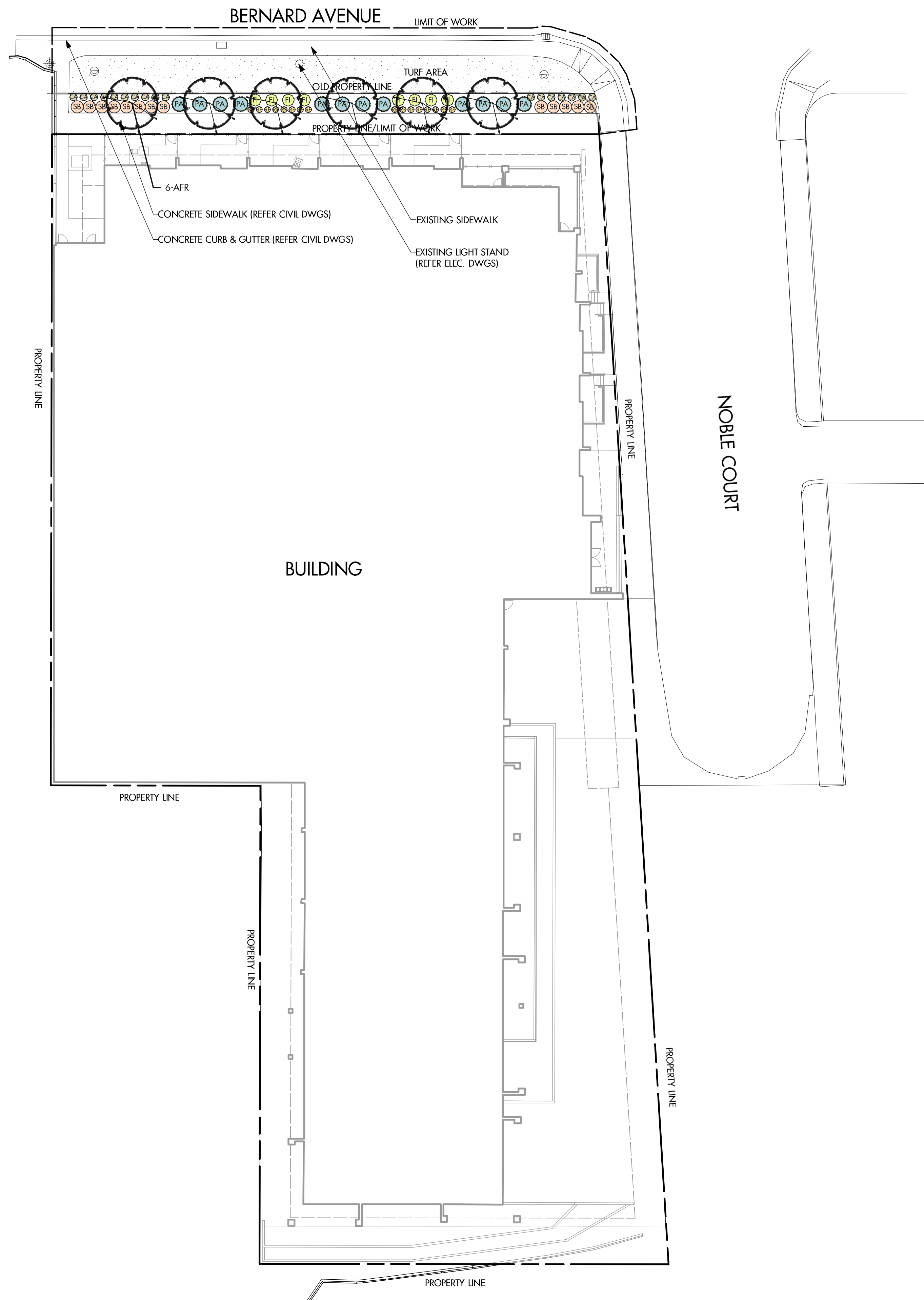
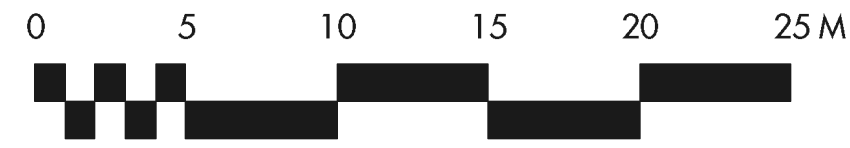
DRAWING NUMBER

L6/8

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* REFER PAGE L3 FOR IRRIGATION NOTES AND LEGEND

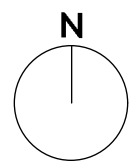


LANDSCAPE NOTES

- 1. SPECIFICATIONS**
 ALL WORK TO MEET PROJECT SPECIFICATIONS & CITY OF KELOWNA BYLAW 7900, SUBDIVISION BYLAW, SCHEDULE 5, AND ALL STANDARDS OR SPECIFICATIONS ESTABLISHED IN THE LATEST EDITION OF THE CANADIAN LANDSCAPE STANDARD, PUBLISHED JOINTLY BY THE CANADIAN NURSERY LANDSCAPE ASSOCIATION (CNLA) AND THE CANADIAN SOCIETY OF LANDSCAPE ARCHITECTS (CSLA).
- 2. DIMENSIONS**
 ALL WRITTEN DIMENSIONS SUPERSEDE SCALED DIMENSIONS.
- 3. INSPECTIONS**
 THE CONTRACTOR IS RESPONSIBLE TO GIVE THE SITE INSPECTOR 48 HOURS NOTICE BEFORE ALL REQUIRED INSPECTIONS.
- 4. LIMIT OF WORK**
 ALL WORK OF THE CONTRACTOR SHALL BE WITHIN THE LIMIT OF WORK/ PROPERTY LINE SHOWN ON THE DRAWING. THE CONTRACTOR SHALL VERIFY THE LIMIT OF WORK ON SITE WITH THE SITE INSPECTOR PRIOR TO CONSTRUCTION.
- 5. DESIGN INTENT**
 THESE DRAWINGS REPRESENT THE GENERAL DESIGN INTENT TO BE IMPLEMENTED ON THE SITE. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING LANDSCAPE ARCHITECT FOR ANY ADDITIONAL CLARIFICATION OR DETAILS NECESSARY TO ACCOMMODATE SITE CONDITIONS OR ARCHITECTURAL DETAILS.
- 6. CONTRACTORS' JOB SITE CONDITIONS**
 CONTRACTOR AGREES TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR SITE CONDITIONS DURING CONSTRUCTION, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD THE OWNER AND THE LANDSCAPE ARCHITECT HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE LANDSCAPE ARCHITECT.
- 7. COMPOSITE BASE SHEET**
 THE PROPOSED IMPROVEMENTS SHOWN ON THESE DRAWINGS ARE SUPERIMPOSED ON A BASE SHEET. THIS BASE SHEET IS COMPILED FROM THE TOPOGRAPHIC SURVEY, OTHER ARCHITECTURAL AND/OR ENGINEERING DOCUMENTS, AND OTHER DATA AS MADE AVAILABLE TO THE LANDSCAPE ARCHITECT. THE LANDSCAPE ARCHITECT SHALL NOT BE HELD LIABLE FOR CHANGES, INACCURACIES, OMISSIONS, OR OTHER ERRORS ON THESE DOCUMENTS. THE COMPOSITE BASE SHEET IS PROVIDED AS AN AID ONLY AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR REVIEWING THESE DOCUMENTS AND INCORPORATING/INTEGRATING ALL CONSTRUCTION AS REQUIRED TO ACCOMMODATE SAME, ARCHITECT.
- 8. UTILITIES**
 PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE UTILITY COMPANIES INVOLVED AND REQUESTING A VISUAL VERIFICATION OF THE LOCATIONS OF THEIR UNDERGROUND FACILITIES. MOST UTILITY COMPANIES ARE MEMBERS OF THE UNDERGROUND SERVICE ALERT 'CALL BEFORE YOU DIG' PROGRAM. THE CONTRACTOR OR ANY SUBCONTRACTOR FOR THIS CONTRACT SHALL NOTIFY MEMBERS 48 HOURS IN ADVANCE OF PERFORMING EXCAVATION WORK BY CALLING THE TOLL-FREE NUMBER (800) 474-6886. EXCAVATION IS DEFINED AS BEING 18 OR MORE INCHES IN DEPTH BELOW THE EXISTING SURFACE.
 THE CONTRACTOR IS CAUTIONED THAT ONLY EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATION, AND DEPTHS OF SUCH UNDERGROUND UTILITIES. HOWEVER, THE CONSULTANT CAN ASSUME NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF ITS DELINEATION OF SUCH UNDERGROUND UTILITIES, NOR FOR THE EXISTENCE OF OTHER BURIED OBJECTS OR UTILITIES WHICH ARE NOT SHOWN ON THESE DRAWINGS.
- 9. SLEEVING**
 REFER TO IRRIGATION PLAN FOR REQUIREMENTS OF SLEEVING UNDER PAVING.
- 10. PROJECT STAKING**
 ALL PROPOSED SITE FEATURES SHALL BE STAKED IN FIELD FOR REVIEW BY THE OWNER'S INSPECTOR PRIOR TO CONSTRUCTION. ALL CURVES SHALL BE SMOOTH AND CONTINUOUS WITH CAREFULLY MATCHED TANGENTS.
- 11. GRADING AND DRAINAGE**
 ALL PROPOSED PAVING AND TURF AREAS SHALL SMOOTHLY CONFORM TO EXISTING ADJACENT FEATURES. PROVIDE POSITIVE DRAINAGE ON ALL PAVING AND THROUGHOUT ALL TURF & PLANTING AREAS.
- 12. CONTROL JOINTS**
 CONTROL JOINTS WITHIN CONCRETE PAVING ARE TO BE SPACED AS FOLLOWS: SCORE JOINTS ARE TO BE A MAXIMUM OF 3.0m APART & EXPANSION JOINTS ARE TO BE A MAXIMUM OF 9.0m APART.
- 13. GROWING MEDIUM PLACEMENT**
 GROWING MEDIUM SHALL BE PLACED AT 150mm MIN. DEPTH IN ALL TURF AREAS, AS SHOWN ON DRAWINGS UNLESS OTHERWISE NOTED. CONTRACTOR TO IMPORT GROWING MEDIUM OR SCREEN, AMEND & PLACE STOCKPILED ON-SITE TOPSOIL. GROWING MEDIUM TO MEET PROPERTIES FOR TREE FITS & LOW TRAFFIC LAWN AREAS, AS PER TABLE 2 IN THE CITY OF KELOWNA'S SUPPLEMENTAL TOPSOIL & FINISH GRADING SPECIFICATIONS.
- 14. BACKFILL**
 EXCAVATED MATERIAL NOT SUITABLE FOR BACKFILLING SHALL BE REMOVED AND LEGALLY DISPOSED OFF-SITE.
- 15. ROOT BARRIER**
 SHALL BE 450mm DEEP, AVAILABLE FROM DEEP ROOT OR APPROVED EQUAL. INSTALL IN 6.0m TYP. LENGTHS, AS SHOWN ON THE DRAWINGS. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.

PLANT LIST

KEY	BOTANICAL NAME	COMMON NAME	QTY	SIZE/SPACING & REMARKS
TREES				
AFR	ACER x FREEMANII 'AUTUMN BLAZE'	AUTUMN BLAZE FREEMAN MAPLE	6	4cm CAL
SHRUBS				
FI	FORSYTHIA INTERMEDIA 'COURDUJAU'	GOLDEN PEEP FORSYTHIA	8	#02 CONT. /1.2M O.C. SPACING
PA	PICEA ABIES 'NIDIFORMIS'	BIRD'S NEST SPRUCE	12	#02 CONT. /1.5M O.C. SPACING
SB	SPIRAEA BUMALDA 'GOLDFLAME'	GOLDFLAME SPIREA	13	#02 CONT. /1.2M O.C. SPACING
PERENNIALS & ORNAMENTAL GRASSES				
CA	CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	17	#01 CONT. /0.9M O.C. SPACING
RF	RUDBECKIA FULGIDA 'GOLDSTURM'	GOLDSTURM CONEFLOWER	16	#01 CONT. /0.6M O.C. SPACING



PROJECT TITLE
**1575 BERNARD AVENUE
 MULTIFAMILY**
 Kelowna, BC

DRAWING TITLE
**OFFSITE
 LANDSCAPE PLAN**

ISSUED FOR / REVISION

1	22.12.09	Review
2	22.12.20	Review
3		
4		
5		

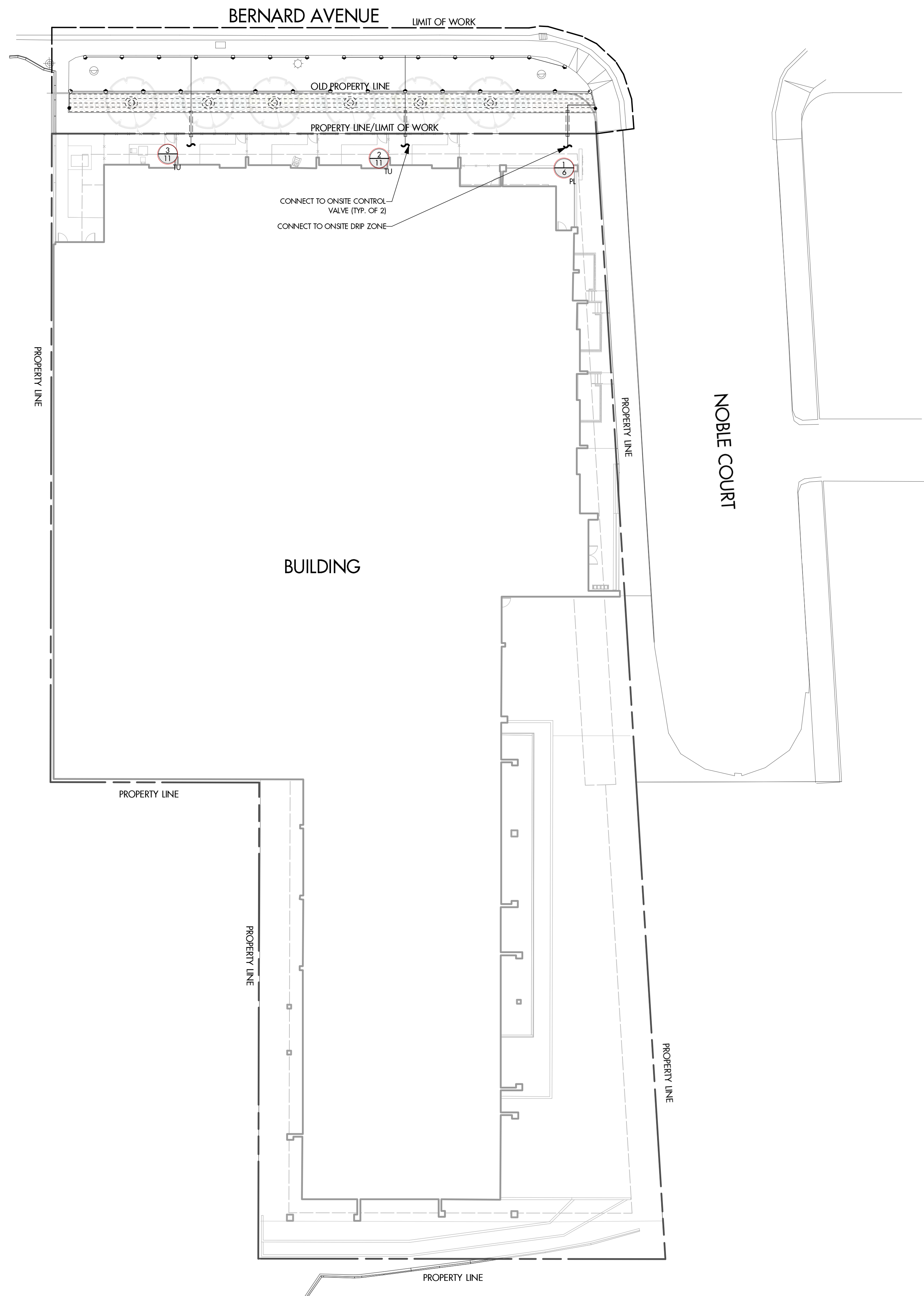
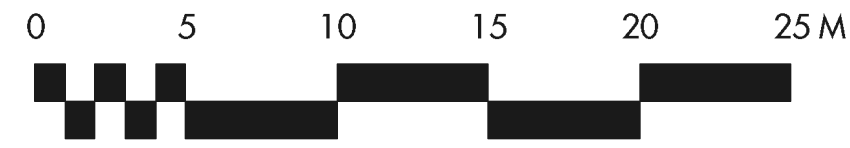
PROJECT NO. 22-1088

DESIGN BY	GS
DRAWN BY	LA
CHECKED BY	FB
DATE	DEC. 20, 2022
SCALE	1:250
PAGE SIZE	24x36"

SEAL



DRAWING NUMBER
L7/8



IRRIGATION LEGEND

- SUBSURFACE DRIP SYSTEM FOR PLANTING AREAS; NETAFIM TECHLINE CV, 0.4 GPM, 0.45m EMITTER SPACING & 0.45m +/- LATERAL SPACING. SUPPLY & FLUSH MANIFOLDS TO BE 1" CLASS 200 PVC.
- POP-UP SPRAYHEAD W/ FIXED SPRAY NOZZLES (12" RADIUS); RAIN-BIRD 1804PRESSAM W/ TORO PRECISION SERIES NOZZLES
- FLUSH VALVE; 3/4" SCHEDULE 40 PVC BALL VALVE
- VALVE NUMBER
GALLONS PER MINUTE (GPM)
LANDSCAPE TYPE (TU-TURF AREA, PL-PLANTING AREA)
- LATERAL LINE; CLASS 200 PVC PIPE, 1" UNLESS NOTED
- IRRIGATION SLEEVE; SCHEDULE 40 PVC, 3" MIN. OR TWICE THE DIA. OF PIPE CONTAINED. INSTALL IRRIGATION WIRING IN SEPARATE 2" ELECTRICAL CONDUIT. EXTEND SLEEVE 0.3m PAST EDGE OF HARD SURFACE.

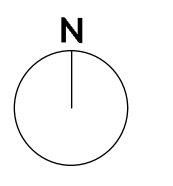
IRRIGATION ZONE CHART

ZONE #	VALVE SIZE	LANDSCAPE TYPE	PRODUCT TYPE	APPLICATION RATE	OPERATING PRESSURE	ZONE FLOW	OPERATING TIME
1	1"	PLANTING AREA	DRIP	7.4mm/hr	40 PSI	6 GPM	45 MINS / 2X PER WEEK
2	1"	TURF AREA	SPRAYHEADS	25.4mm/hr	50 PSI	11 GPM	20 MINS / 3X PER WEEK
3	1"	TURF AREA	SPRAYHEADS	25.4mm/hr	50 PSI	11 GPM	20 MINS / 3X PER WEEK
TOTAL RUNTIME PER WEEK = 210 MINS / WEEK (3.5 HRS)							

*CALCULATED FOR OFF-SITE PROXIMITY ONLY
 **OPERATING TIMES ARE SHOWN AS A BASE THEORETICAL SCHEDULE ONLY, BASED ON EVERY DAY WATERING IN JULY. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR SETTING THE IRRIGATION SCHEDULE TO ENSURE THAT PLANT MATERIAL RECEIVES ADEQUATE WATERING.

IRRIGATION NOTES

- SPECIFICATIONS**
ALL SPECIFIED WORK TO MEET THE PROJECT SPECIFICATIONS, AND ALL STANDARDS OR SPECIFICATIONS ESTABLISHED IN THE LATEST EDITION OF THE CANADIAN LANDSCAPE STANDARD, PUBLISHED JOINTLY BY THE CANADIAN NURSERY LANDSCAPE ASSOCIATION (CNLA) AND THE CANADIAN SOCIETY OF LANDSCAPE ARCHITECTS (CSLA).
- VERIFICATION**
SYSTEM DESIGN IS BASED ON (10) G.P.M. & (75) P.S.I. AVAILABLE AT THE POINT OF CONNECTION. VERIFY SAME AND NOTIFY THE OWNER'S REPRESENTATIVE IF SUCH DATA ADVERSELY AFFECTS THE OPERATION OF THE SYSTEM. SUCH NOTICE SHALL BE MADE IN WRITING AND PRIOR TO COMMENCING IRRIGATION WORK.
- UTILITIES**
VERIFY LOCATION OF ALL ON-SITE UTILITIES. RESTORATION OF DAMAGED UTILITIES SHALL BE MADE AT THE CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE.
- SCHEMATIC**
SYSTEM FEATURES ARE SHOWN SCHEMATICALLY FOR GRAPHIC CLARITY. INSTALL ALL PIPING AND VALVES IN COMMON TRENCHES WHERE FEASIBLE AND INSIDE PLANTING AREAS WHENEVER POSSIBLE.
- WATER SERVICE LINE**
EXISTING.
- ELECTRICAL SERVICE**
BY OTHERS, REFER ELECTRICAL DWGS
- SLEEVING**
ADEQUATELY SIZE ALL SLEEVES SHOWN ON PLAN. SLEEVES SHALL BE INSTALLED AT THE NECESSARY DEPTHS PRIOR TO PAVEMENT CONSTRUCTION. SLEEVING SHALL EXTEND 300MM FROM EDGE OF PAVING INTO LAWN OR PLANTING AREA, AND SHALL HAVE ENDS CLEARLY MARKED ABOVE GRADE UNLESS OTHERWISE SHOWN.
- GRAPHIC CLARITY**
MAIN LINE & IRRIGATION COMPONENTS SHOW ON PLAN FOR GRAPHIC CLARITY. CONTRACTOR TO VERIFY ALL MATERIALS IN THE FIELD. VALVE BOXES TO BE LOCATED IN PLANTING AREAS.
- TESTS AND INSPECTIONS**
AT VARIOUS MILESTONES DURING CONSTRUCTION, INSPECTION AND TESTING OF COMPONENTS WILL BE REQUIRED TO ENSURE PERFORMANCE OF IRRIGATION SYSTEM MEETS EXPECTED STANDARDS. PROVIDE EQUIPMENT AND PERSONNEL NECESSARY FOR PERFORMANCE OF INSPECTIONS AND TESTS. CONDUCT ALL INSPECTIONS AND TESTS IN THE PRESENCE OF THE CONTRACT ADMINISTRATOR. KEEP WORK UNCOVERED AND ACCESSIBLE UNTIL SUCCESSFUL COMPLETION OF INSPECTION OR TEST.
- COMPONENTS**
ALL INTERIOR POINT OF CONNECTION COMPONENTS TO BE BRASS.



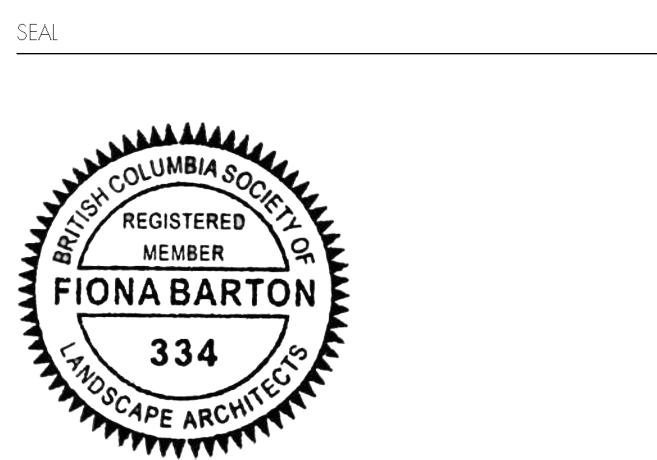
PROJECT TITLE
1575 BERNARD AVENUE MULTIFAMILY
 Kelowna, BC

DRAWING TITLE
OFFSITE IRRIGATION PLAN

ISSUED FOR / REVISION

NO.	DATE	REVISION
1	22.12.09	Review
2	22.12.21	Review
3		
4		
5		

PROJECT NO. 22-1088
 DESIGN BY GS
 DRAWN BY LA
 CHECKED BY FB
 DATE DEC. 21, 2022
 SCALE 1:250
 PAGE SIZE 24x36"



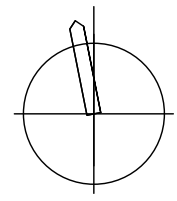
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SCALE 1:100

NO.	ISSUE/ REVISION	DATE
1	REVIEW	23.03.20
2		
3		
4		
5		
6		
7		

PROJECT

1575 BERNARD AVENUE

PROJECT ADDRESS
 1575 BERNARD AVENUE
 KELOWNA, BC

TITLE

STRUCTURAL SOIL REVIEW

PROJECT NO. 22-1088 DRAWN LA CHECKED GS

DRAWING NO. REVISION NO.

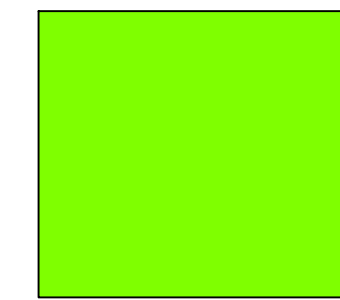
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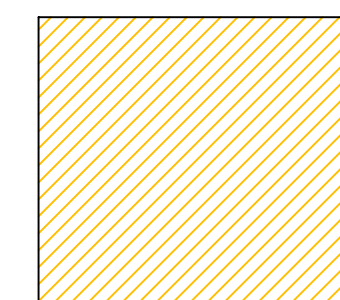
GROWING MEDIUM REQUIRED IN FRONTYARD BUFFER AS PER BYLAW = 107 cu.m

STRUCTURAL SOIL AREA AVAILABLE IN SETBACK AND ADJACENT PATIO AREA PROVIDE AN ADDITIONAL 62.1 cu.m OF GROWING TO MEDIUM TO MEET BYLAW REQUIREMENTS.

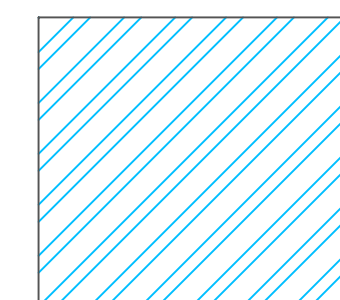
TOTAL GROWING MEDIUM AREA AVAILABLE = 129.5 cu.m



PLANTING AREA WITHIN 2m SETBACK
 GROWING MEDIUM AREA IN SETBACK = 67.4m²



PRIVATE PATIO AREA WITHIN 2m SETBACK
 STRUCTURAL SOIL AREA IN SETBACK = 26.2m²



PRIVATE PATIO/PLANTING AREA ADJACENT TO 2m SETBACK
 STRUCTURAL SOIL AVAILABLE ADJACENT TO SETBACK = 35.9m²
 *CITY OF KELOWNA HAVE VERBALLY CONFIRMED AREA ADJACENT CAN BE USED TO ACHIEVE REQUIRED GROWING MEDIUM

