

PROJECT DEVELOPMENT STATISTICS					
<b>SITE SUMMARY</b>					
Project Civic Address	1451 Bertram Street, Kelowna BC				
Project Legal Description	LOT 1 DISTRICT LOT 139 OSOYOOS DIVISION VALE DISTRICT PLAN EPP113832				
Existing Zoning Bylaw	Proposed Zoning Bylaw   UC1   DOWNTOWN URBAN CENTRE - RENTAL ONLY				
Project Site Area	4,131.41m <sup>2</sup> (44,485 ft <sup>2</sup> )				
Site Area After MTD Deduction	4,074.51 m <sup>2</sup> (43,384.17 ft <sup>2</sup> )				
Current Permitted Building Height	45m (12 Storeys)				
Bonus FAR for Rental	56m (15 Storeys)				
Proposed Building Height	63m (20 Storeys)				
Building Setbacks	Required   Provided   Notes: Proposed Setbacks are beyond City minimum requirements				
North Property Line	0.00m   3.65m   Supplementary Setback				
East (Rear Line)	0.00m   0.00m   Ministry of Highways Setback				
South Property Line	0.00m   3.65m   Supplementary Setback				
West (Bertram Street)	0.00m   4.1m / 6.0m / 7.5m   Tree Retention / Root Setback (per Arbores Report)				
<b>PROJECT AREA STATISTICS</b>					
	Permitted   Proposed				
Gross Floor Area/GFA	N/A   22,018.25m <sup>2</sup> (237,002ft <sup>2</sup> )				
Gross Floor Area/GFA Daycare	N/A   412.87m <sup>2</sup> (4,448ft <sup>2</sup> )   Daycare Occupancy: 39 Children				
Floor Area Ratio/FAR (Excludes)	N/A   5.5492/m <sup>2</sup> (4,637ft <sup>2</sup> )				
Net Floor Area Ratio/FAR	Base: 3.30 FAR, Add bonus 1.0 FAR (0.05 FAR x 20 storeys)   3.93				
Units per Acre	N/A   153.25 units per acre				
Lot Coverage Permitted (%)	100%   73.5%				
Maximum Tower Floor Plate Area Above 9.0m	1221.00m <sup>2</sup> (13,143ft <sup>2</sup> )   1088.93m <sup>2</sup> (11,721ft <sup>2</sup> )				
Maximum Tower Floor Plate Area Above 22.0m	676.00m <sup>2</sup> (7,278ft <sup>2</sup> )   633.91m <sup>2</sup> (6,823ft <sup>2</sup> )				
<b>PROJECT UNIT SUITE TYPE DISTRIBUTION MIX (NOTE: TOWNHOUSE UNITS INCLUDED IN 2/3 BEDROOM COUNT. SEE UNIT SUMMARY FOR DETAILS)</b>					
UNIT TYPE	TOTAL UNIT COUNT	ACCESSIBLE UNIT COUNT	PERCENTAGE		
STUDIO	4	0	2%		
1 BEDROOM	73	6	41%		
2 BEDROOM	58	14	33%		
3 BEDROOM	41	2	24%		
<b>TOTAL APARTMENT UNITS / TOWNHOMES</b>	<b>176</b>	<b>22</b>	<b>100%</b>		
<b>UNIT TYPE SUMMARY</b>					
RESIDENTIAL APARTMENT UNITS AT TOWER AND PODIUM LEVELS					
NAME	TYPE	LOCATION	TOTAL	AREA (SQM)	AREA (SQFT)
UNIT A0	STUDIO	LEVEL 3	1	41.25 m <sup>2</sup>	444.01 ft <sup>2</sup>
UNIT A1	STUDIO	LEVEL 8	1	40.60 m <sup>2</sup>	437.62 ft <sup>2</sup>
UNIT A2	STUDIO	LEVELS 19 - 20	2	39.50 m <sup>2</sup>	425.17 ft <sup>2</sup>
UNIT B0a	1 BEDROOM	LEVELS 4 - 18	15	48.24 m <sup>2</sup>	519.25 ft <sup>2</sup>
UNIT B0b	1 BEDROOM	LEVELS 5 - 18	13	49.83 m <sup>2</sup>	536.37 ft <sup>2</sup>
UNIT B1a	1 BEDROOM	LEVELS 4 - 7	4	48.83 m <sup>2</sup>	526.37 ft <sup>2</sup>
UNIT B1b	1 BEDROOM	LEVELS 4 - 20	17	49.83 m <sup>2</sup>	536.37 ft <sup>2</sup>
UNIT B2	1 BEDROOM + DEN ACCESSIBLE	LEVEL 4 - 7	1	74.23 m <sup>2</sup>	799.60 ft <sup>2</sup>
UNIT B3	1 BEDROOM + DEN ACCESSIBLE	LEVEL 4	1	74.85 m <sup>2</sup>	805.68 ft <sup>2</sup>
UNIT B4	1 BEDROOM + DEN ACCESSIBLE	LEVELS 4 - 7	4	57.52 m <sup>2</sup>	619.14 ft <sup>2</sup>
UNIT B5	1 BEDROOM	LEVELS 9 - 20	12	57.61 m <sup>2</sup>	620.11 ft <sup>2</sup>
UNIT C0	2 BEDROOM	LEVELS 3 - 7	5	77.96 m <sup>2</sup>	839.37 ft <sup>2</sup>
UNIT C1	2 BEDROOM ACCESSIBLE	LEVEL 4 - 7	4	77.33 m <sup>2</sup>	832.37 ft <sup>2</sup>
UNIT C2	2 BEDROOM + DEN	LEVELS 4 - 7	4	88.84 m <sup>2</sup>	956.27 ft <sup>2</sup>
UNIT C3	2 BEDROOM ACCESSIBLE	LEVELS 4 - 7	4	86.37 m <sup>2</sup>	929.67 ft <sup>2</sup>
UNIT C4	2 BEDROOM ACCESSIBLE	LEVELS 5 - 7	3	93.83 m <sup>2</sup>	1,007.82 ft <sup>2</sup>
UNIT C5	2 BEDROOM + DEN ACCESSIBLE	LEVELS 5 - 7	3	92.93 m <sup>2</sup>	1,000.29 ft <sup>2</sup>
UNIT C6	2 BEDROOM	LEVELS 5 - 18	13	73.80 m <sup>2</sup>	794.58 ft <sup>2</sup>
UNIT C7	2 BEDROOM	LEVELS 8 - 20	13	82.22 m <sup>2</sup>	885.60 ft <sup>2</sup>
UNIT C8	2 BEDROOM	LEVELS 19 - 20	2	79.17 m <sup>2</sup>	852.18 ft <sup>2</sup>
UNIT D0	3 BEDROOM	LEVEL 3	1	86.20 m <sup>2</sup>	921.11 ft <sup>2</sup>
UNIT D1	3 BEDROOM ACCESSIBLE	LEVELS 4 - 5	2	100.72 m <sup>2</sup>	1,084.14 ft <sup>2</sup>
UNIT D2	3 BEDROOM	LEVELS 4 - 7	4	86.06 m <sup>2</sup>	920.34 ft <sup>2</sup>
UNIT D3	3 BEDROOM	LEVELS 8 - 18	11	88.14 m <sup>2</sup>	948.73 ft <sup>2</sup>
UNIT D4	3 BEDROOM	LEVELS 8 - 20	13	89.51 m <sup>2</sup>	963.48 ft <sup>2</sup>
UNIT D5	3 BEDROOM	LEVELS 19 - 20	2	92.14 m <sup>2</sup>	991.79 ft <sup>2</sup>
TOTAL			155		
RESIDENTIAL APARTMENT UNITS AT TOWNHOUSE BASE					
NAME	TYPE	LOCATION	TOTAL	AREA (SQM)	AREA (SQFT)
UNIT T01	1 BEDROOM	LEVEL 3	3	53.09 m <sup>2</sup>	571.46 ft <sup>2</sup>
UNIT T02	1 BEDROOM	LEVEL 3	1	56.27 m <sup>2</sup>	605.69 ft <sup>2</sup>
UNIT T03	1 BEDROOM	LEVEL 3	1	49.17 m <sup>2</sup>	529.26 ft <sup>2</sup>
UNIT T04	1 BEDROOM	LEVEL 3	1	54.76 m <sup>2</sup>	589.43 ft <sup>2</sup>
UNIT T05	2 BEDROOM	LEVEL 3	1	82.72 m <sup>2</sup>	890.39 ft <sup>2</sup>
TOTAL			7		
RESIDENTIAL TOWNHOUSE UNITS					
NAME	TYPE	LOCATION	TOTAL	AREA (SQM)	AREA (SQFT)
TH1	2 BEDROOM	LEVELS 1 - 2	3	113.00m <sup>2</sup>	1,214.38 ft <sup>2</sup>
TH2	3 BEDROOM + DEN	LEVELS 1 - 2	1	147.60 m <sup>2</sup>	1,588.75 ft <sup>2</sup>
TH3	3 BEDROOM	LEVELS 1 - 2	1	124.54 m <sup>2</sup>	1,340.54 ft <sup>2</sup>
TH4	3 BEDROOM + DEN	LEVELS 1 - 2	1	130.38 m <sup>2</sup>	1,403.4 ft <sup>2</sup>
TH5	3 BEDROOM	LEVELS 1 - 2	1	147.25 m <sup>2</sup>	1,585.00 ft <sup>2</sup>
TH6	2 BEDROOM	LEVELS 4 - 5	1	102.75 m <sup>2</sup>	1,105.56 ft <sup>2</sup>
TH7	3 BEDROOM	LEVELS 4 - 5	2	130.45 m <sup>2</sup>	1,404.15 ft <sup>2</sup>
TH8	2 BEDROOM + DEN	LEVELS 4 - 5	1	129.69 m <sup>2</sup>	1,395.97 ft <sup>2</sup>
TH9	2 BEDROOM	LEVELS 4 - 5	1	88.14 m <sup>2</sup>	948.73 ft <sup>2</sup>
TH10	3 BEDROOM	LEVELS 4 - 5	1	132.89 m <sup>2</sup>	1,435.52 ft <sup>2</sup>
TH11	3 BEDROOM	LEVELS 4 - 5	1	153.74 m <sup>2</sup>	1,654.84 ft <sup>2</sup>
TOTAL			14		
<b>AMENITY SPACE (Per Zoning Bylaw No 12375 Table 14.11: Commercial and Urban Centre Zone Development Regulations)</b>					
	COUNT	AREA PER UNIT (PER 14.11)	REQUIRED	PROVIDED	
<b>PRIVATE AND COMMON:</b>					
STUDIO	4	6.0m <sup>2</sup>	24m <sup>2</sup>	32.5m <sup>2</sup>	
1 BEDROOM	73	10.0m <sup>2</sup>	730m <sup>2</sup>	978m <sup>2</sup>	
MORE THAN 1 BEDROOM	85	15.0m <sup>2</sup>	1275m <sup>2</sup>	1818m <sup>2</sup>	
<b>TOTAL</b>	<b>176</b>		<b>2929m<sup>2</sup></b>	<b>2928.5m<sup>2</sup></b>	
<b>COMMON:</b>	176 UNITS	4.0m <sup>2</sup> PER UNIT	704m <sup>2</sup>	1785m <sup>2</sup> (includes Daycare Amenity...)	
<b>VEHICULAR PARKING REQUIREMENT (Per Zoning Bylaw No. 12375 Section 8.3 Table 8.3.1, Residential Multi-Dwelling Parking (Urban Centre Zones))</b>					
	UNIT COUNT	PARKING STALLS/UNIT	REQUIRED (WITH NO CONCESSION)	REQUIRED (WITH 20% RENTAL HOUSING REDUCTION INCENTIVE)	PROVIDED
<b>RESIDENTIAL UNIT PARKING:</b>					
STUDIO UNIT	4	0.8	4	4	4
1 BEDROOM UNIT	73	0.9	66	53	53
2 BEDROOM UNIT	52	1.0	52	42	42
3 BEDROOM UNIT	33	1.0	33	27	27
TOWNHOUSE (2/3 BEDROOM)	14	1.0	14	12	12
TOTAL:	176		169	138	138
<b>RESIDENTIAL VISITOR PARKING (NOTE: INCLUDES 4 SPACES FOR DAYCARE COMPONENT - 1 STALL/1 CHILDREN)</b>					
UNITS	176	0.14	25	20	22
<b>GRAND TOTAL:</b>			<b>158</b>	<b>160</b>	<b>160</b>
BARRIER-FREE ACCESSIBLE STALLS	5 STALL PER 151-200 TOTAL...	5	5	5	5
ALLOWABLE SMALL CAR STALLS	50% OF TOTAL STALLS	80 (MAX ALLOWABLE)			80
<b>Loading Space Requirements (Per Zoning Bylaw No. 12375 Table 8.4 Minimum Loading Requirement)</b>					
		REQUIRED	PROVIDED		
CHILD CARE CENTRE - MAJOR		1 FOR +26 CHILDREN	0		
<b>BICYCLE PARKING REQUIREMENT (NOTE: TOWNHOUSE UNITS INCLUDED IN 2/3 BEDROOM COUNT) (Per Zoning Bylaw No. 12375 Table 8.5 - Minimum Bicycle Parking Requirements)</b>					
DESCRIPTION	UNIT COUNT	BIKE STALL/UNIT	REQUIRED	PROVIDED	
<b>RESIDENTIAL - LONG TERM PARKING:</b>					
STUDIO/1BEDROOM/2BEDROOM	135	0.75	101	101	
3 BEDROOM	41	1	41	41	
TOTAL	176		142	142	
<b>RESIDENTIAL - SHORT TERM PARKING:</b>					
RESIDENTIAL APARTMENT UNITS	162	6 SPACES PER APARTMENT ENTRANCE	6	26	
TOWNHOUSES	14	4 SPACES	4	4	
TOTAL			10	30	
<b>CHILD CARE CENTRE - LONG TERM PARKING:</b>					
CHILD CARE CENTRE		0.2 PER 100m <sup>2</sup> GFA	4	4	
<b>CHILD CARE CENTRE - SHORT TERM PARKING:</b>					
CHILD CARE CENTRE		2.0 PER CHILD CARE ENTRANCE	2	2	
<b>WASTE &amp; RECYCLING REQUIREMENT</b>					
RESIDENTIAL - WASTE & RECYCLING					
DESCRIPTION	UNIT COUNT	NO. OF BINS (3 yr)	REQUIRED	PROVIDED	STAGING
DWELLING UNIT	176	6	73.0m <sup>2</sup>	74.0m <sup>2</sup>	10.0m <sup>2</sup>



# BC HOUSING

## BERTRAM STREET AFFORDABLE HOUSING PROJECT, KELOWNA, BC



PERSPECTIVE VIEW LOOKING SOUTH-EAST FROM BERTRAM STREET

### DRAWING LIST

- DP0.0 COVER SHEET
- DP0.1 SITE LOCATION
- DP0.2 SITE CONTEXT
- DP0.3 SITE DESIGNATION
- DP0.4 MASSING CONCEPT
- DP0.5 SITE PLAN CONCEPT
- DP0.6 SITE SURVEY
- DP0.7 SHADOW STUDY
- DP1.0 SITE PLAN
- DP1.2 VIEW CORRIDOR
- DP2.0 LEVEL 1 FLOOR & PARKING PLAN
- DP2.1 LEVEL 2 FLOOR & PARKING PLAN
- DP2.2 LEVEL 3 FLOOR & PARKING PLAN
- DP2.3 LEVEL 4 FLOOR PLAN (COURTYARD LEVEL)
- DP2.4 LEVEL 5 FLOOR PLAN
- DP2.5 LEVELS 6-7 FLOOR PLAN
- DP2.6 LEVEL 8 FLOOR PLAN
- DP2.7 LEVELS 9-18 FLOOR PLAN
- DP2.8 LEVEL 19 FLOOR PLAN
- DP2.9 LEVEL 20 FLOOR PLAN
- DP2.10 MECHANICAL PENTHOUSE PLAN
- DP2.11 ROOF PLAN
- DP3.0 BUILDING ELEVATIONS - NORTH
- DP3.1 BUILDING ELEVATIONS - EAST (LANE)
- DP3.2 BUILDING ELEVATIONS - SOUTH
- DP3.3 BUILDING ELEVATIONS - WEST (BERTRAM STREET)
- DP3.4 BUILDING ELEVATIONS - COURTYARD & COURTYARD AMENITY BUILDING
- DP4.0 BUILDING SECTION
- DP4.1 BUILDING SECTION
- DP4.2 BUILDING SECTION
- DP6.0 SITE PLAN DETAILS

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COVER SHEET

**BC HOUSING - BERTRAM STREET AFFORDABLE HOUSING PROJECT**  
1451 & 1469 BERTRAM ST., KELOWNA, BC  
BC HOUSING  
220109

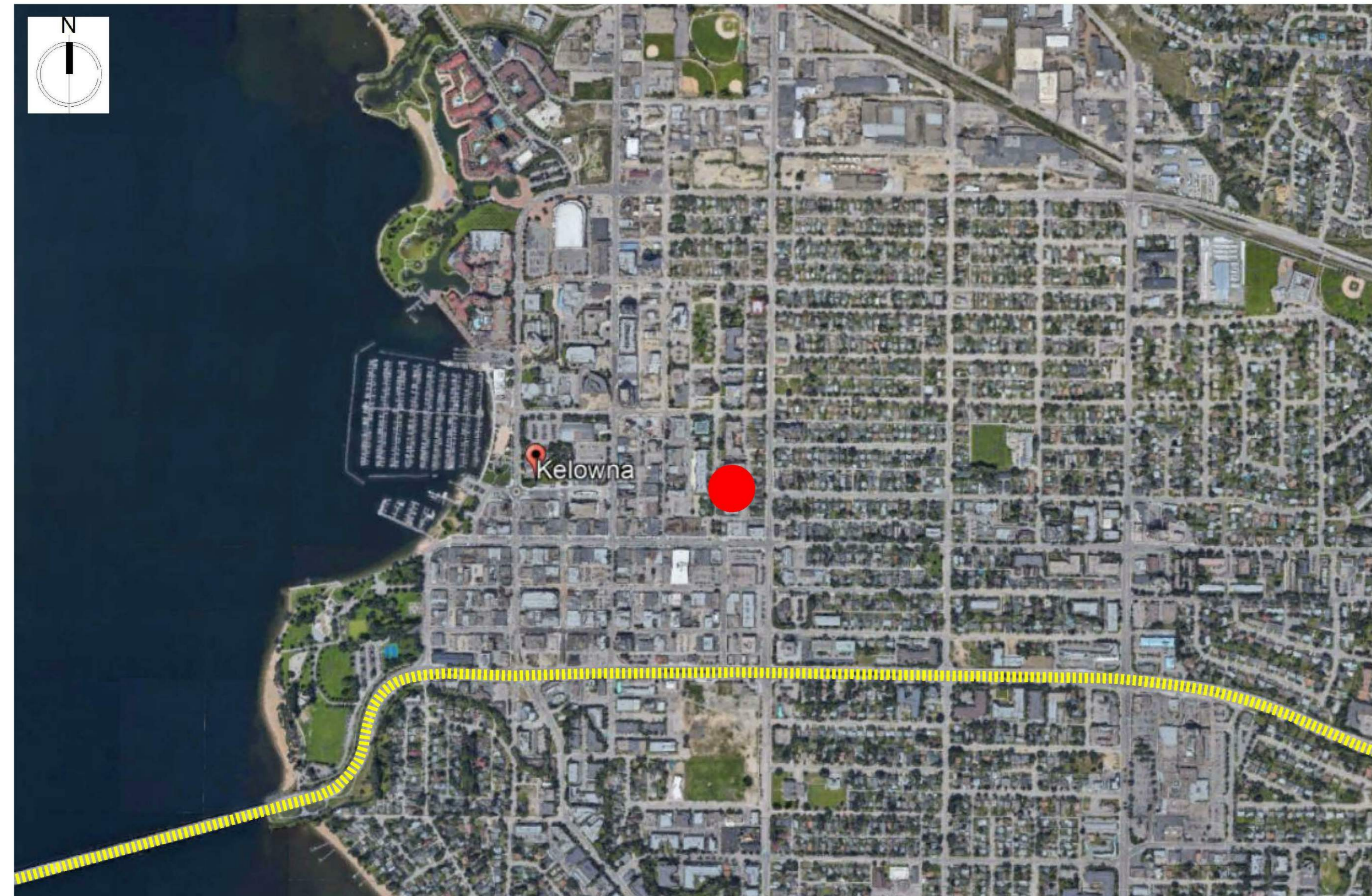
**NOT FOR CONSTRUCTION**

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Verify all dimensions, elevations and details, and report any discrepancies to the Architect prior to construction. Dimensions are shown to face of exterior walling, face of concrete block, face of stud for interior partitions, and combine of demising walls, unless noted otherwise on the drawings.  
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ISSUED FOR	DATE
1. BCN REVIEW	2022-12-18
2. DP SUBMISSION	2022-02-08
3. DP RE-SUBMISSION	2021-07-12
5. BCN REVIEW	2023-08-09
6. DP RE-SUBMISSION	2023-10-20

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CHECKED BY S.J.H.

**DP0.0**



SITE | GREATER CONTEXT

### 1451 & 1469 BERTRAM STREET | SITE | LOCATION

The project site is located in what is considered downtown Kelowna; specifically 1/2 block north of Bernard Avenue and Bertram Street. The site's location to retail, commercial, civic, and transit services will provide a significant amenity to this family oriented residential project. As Bernard Avenue is a major commercial thoroughfare within the downtown core, this provides an immediate amenity to the site. The site itself is 3 city blocks to Lake Okanagan which provides a unique and additional amenity. The site is also 3 city blocks from Harvey Avenue (Highway 97) which is a main highway connecting greater Kelowna and outlying areas such as West Kelowna, Penticton, and Vernon.

The site is designated within this City of Kelowna 2040 OCP as an Urban Centre Site. This project will address the City's long term need to encourage the development of new rental options within the Urban Centre to ensure housing options for a range of ages and incomes. The neighbourhood to the north of the site is predominantly 4+ storey multi-family residential apartment buildings along Doyle Avenue and Bertram Street. North of Doyle Avenue includes the upcoming UBCO Downtown Campus; the north west of the site at Bernard Avenue currently houses the new 33 storey residential highrise and commercial development spearheaded by Mission Group.

The immediate site includes significant and mature street trees. The site grading slopes gently from the south east corner of the site to the north west corner (approximately 1.80% crossfall diagonally across the site).



SITE | LOOKING NORTH EAST



SITE | LOOKING SOUTH EAST

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ISSUED FOR	DATE
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2. DP SUBMISSION	2020-02-08

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CHECKED BY	S.J.H.

DRAWING NO.

DP0.1



1 DP - STREETSCAPE VIEW 01 (LOOKING EAST)  
 DPO.2 / SCALE: 1:1



2 DP - STREETSCAPE VIEW 02 (LOOKING SOUTH EAST)  
 DPO.2 / SCALE: 1:1



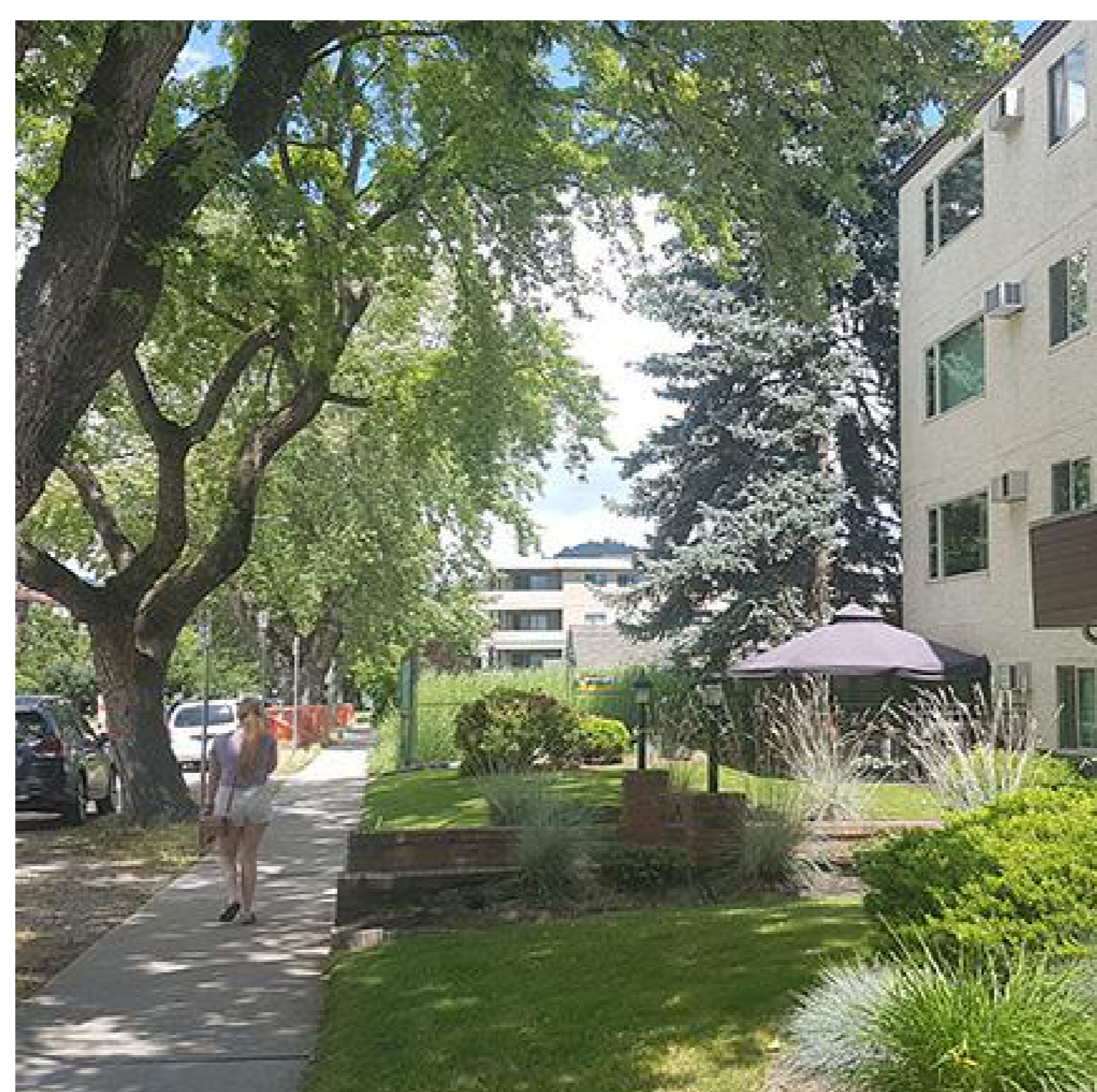
3 DP - STREETSCAPE VIEW 03 (LOOKING NORTH)  
 DPO.2 / SCALE: 1:1



4 DP - STREETSCAPE VIEW 04 (LOOKING NORTH-EAST)  
 DPO.2 / SCALE: 1:1



5 DP - STREETSCAPE VIEW 05 (LOOKING SOUTH EAST)  
 DPO.2 / SCALE: 1:1



6 DP - STREETSCAPE VIEW 06 (LOOKING NORTH)  
 DPO.2 / SCALE: 1:1



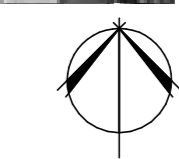
7 DP - STREETSCAPE VIEW 07 (LOOKING NORTH)  
 DPO.2 / SCALE: 1:1



8 DP - STREETSCAPE VIEW 08 (LOOKING NORTH)  
 DPO.2 / SCALE: 1:1



9 DP - STREETSCAPE PLAN  
 DPO.2 / SCALE: 1:100



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ISSUED FOR	DATE
1 BCPI REVIEW	2020-12-16
2 DP SUBMISSION	2020-02-08
3 DP RE-SUBMISSION	2021-07-12
6 DP RE-SUBMISSION	2023-10-20

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CHECKED BY	S.J.H.

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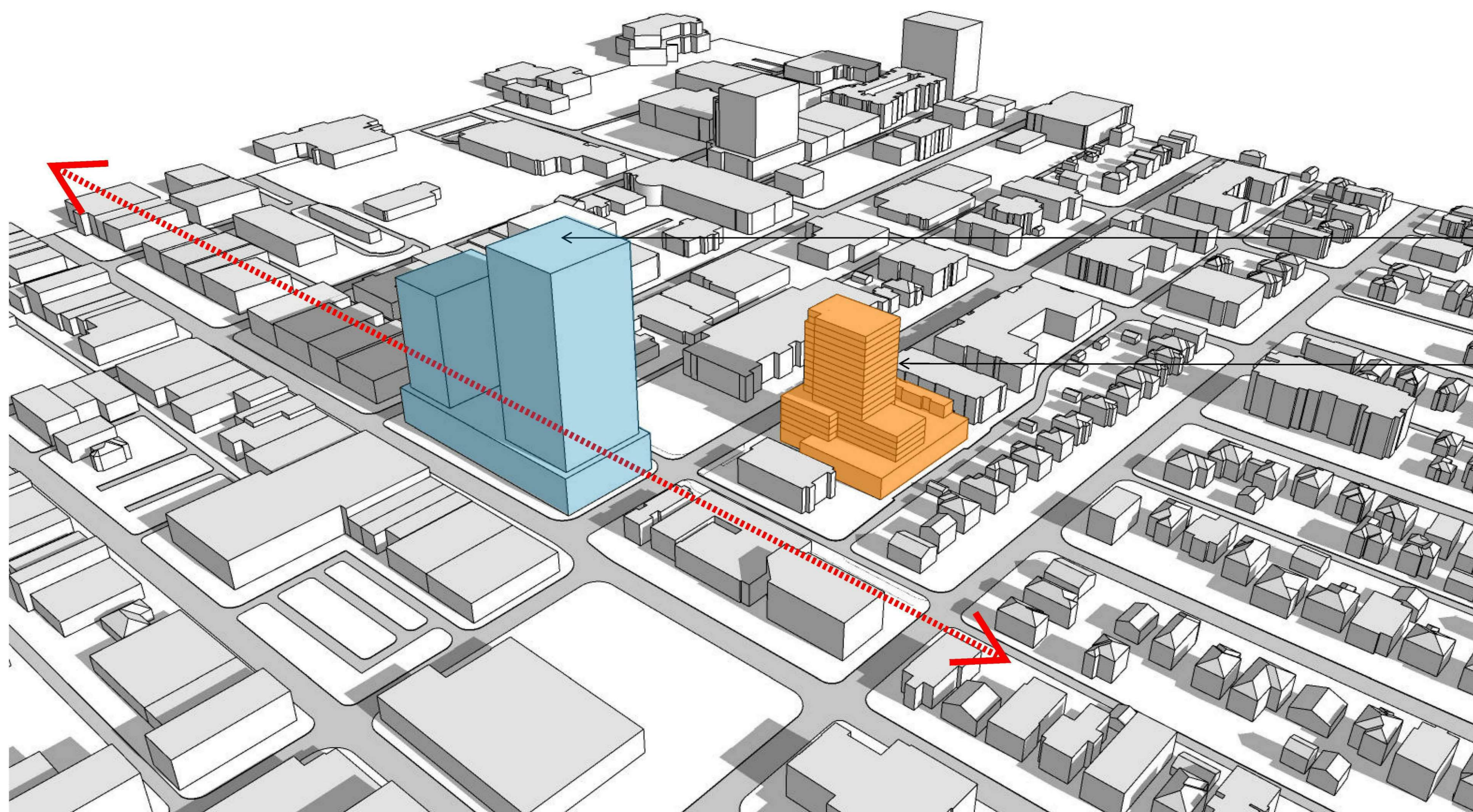
**LOCATION and CITY SITE DESIGNATION**

The 2040 OCP establishes the framework for how the Urban Centre is to develop / form based on carefully formed planning principles and strategies. More so, it is the careful development of and integration of medium to high density of housing types that will provide an urban fabric that promotes the greater intensity of land use and diverse living.

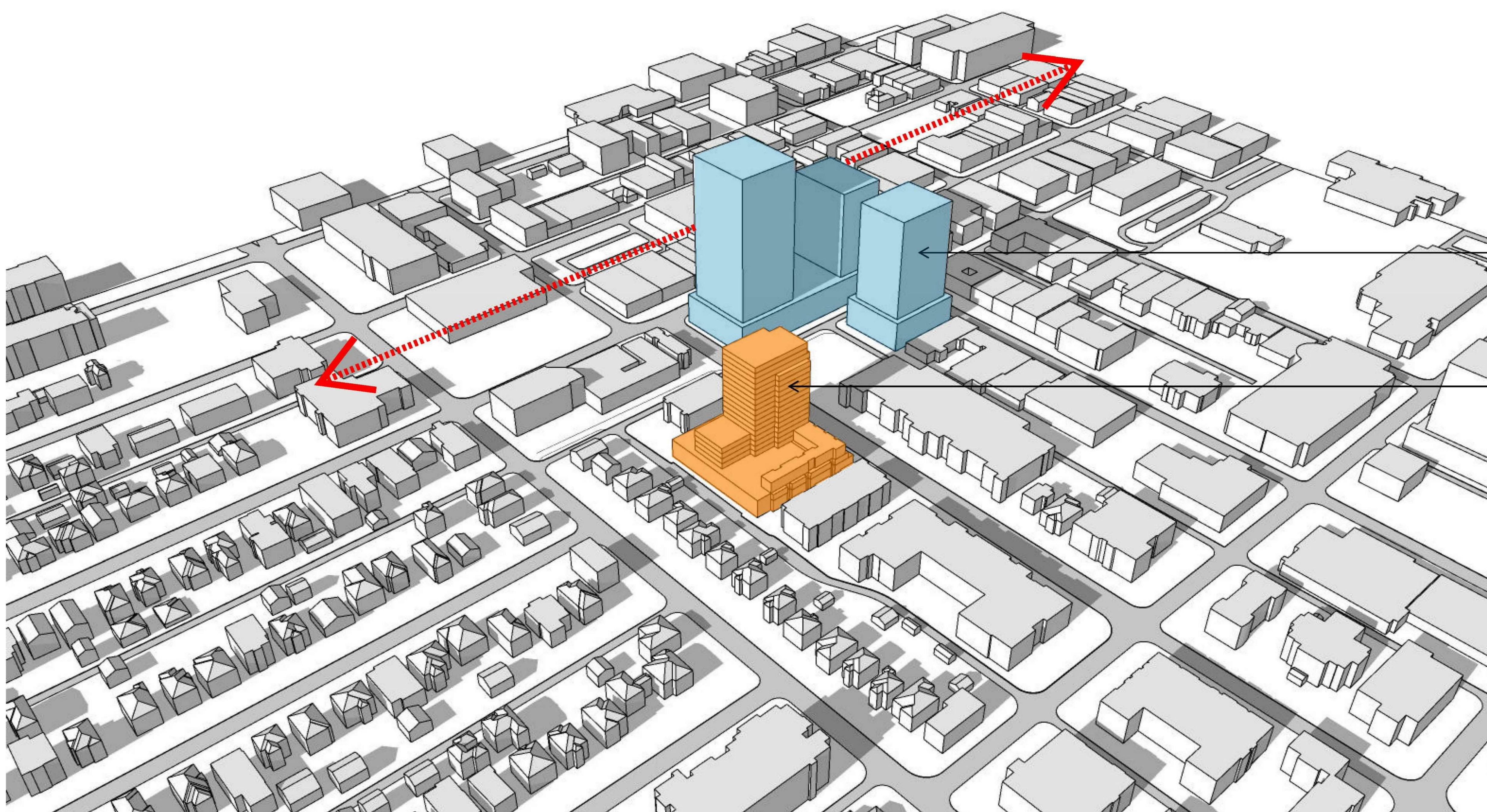
Based on the above, the proposed project is seeking 20 storeys in building height. The vision for this project is to provide non-market family housing that will provide a residential and social benefit to enhance the city's long term vision for downtown housing. The addition and inclusion of this project will also increase the residential population in this area ultimately providing an economic benefit to Kelowna, be it support of local businesses (economic stimulus) as well as providing employment opportunities for this area of the City.

The massing diagrams shown on this drawing sheet shows the proposed project in context with the 34 storey residential project located on Bernard Avenue and Bertram Street. As part of the City's long term vision for this area of Kelowna, this development will also provide added residential diversity to the neighbourhood thus further enhancing the City's recognition that the downtown core will provide greater housing options over the next decade.

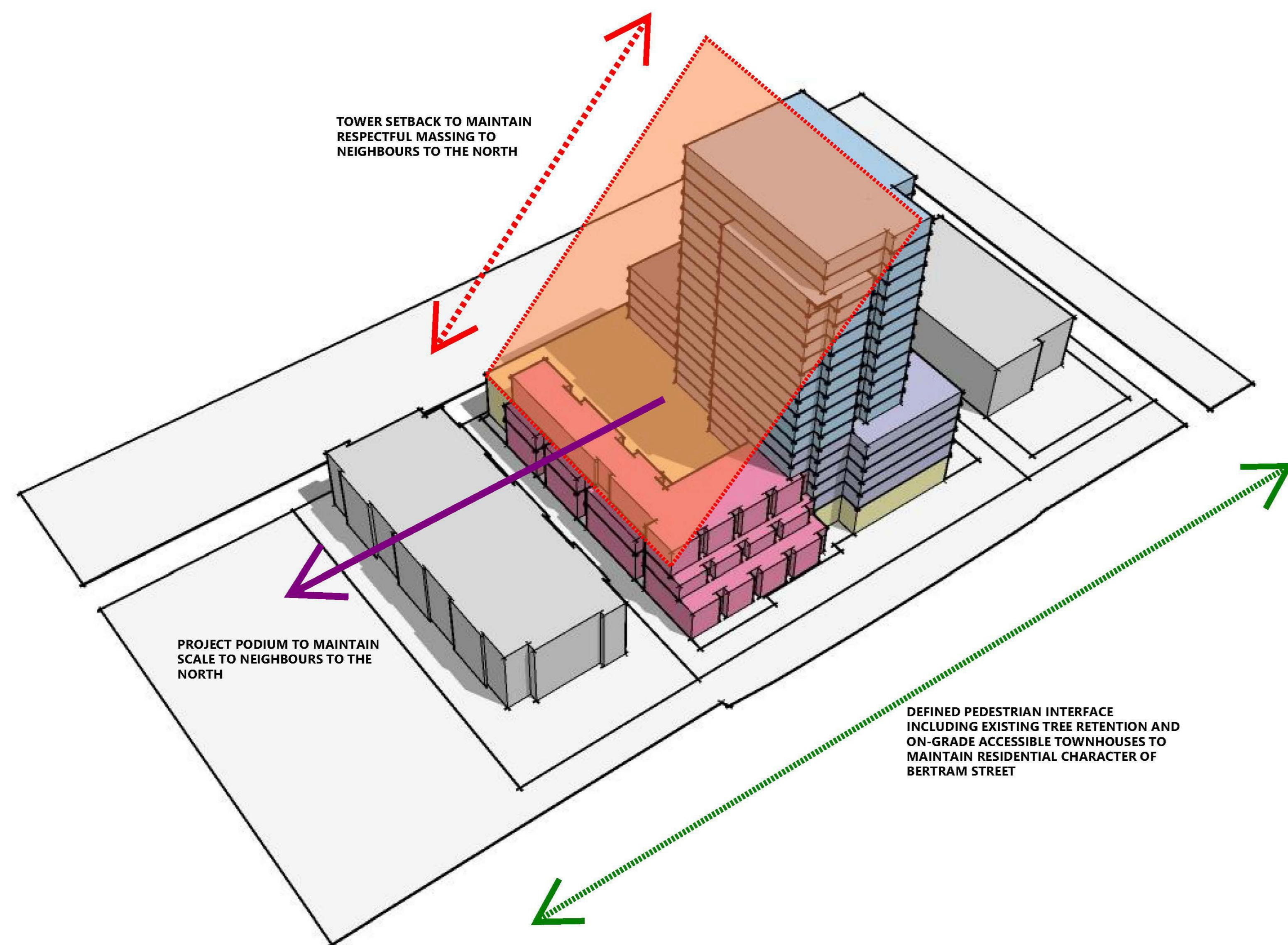
The addition of multiple housing options in the downtown core is indicative of the City's projected population and residential growth rate that forms the focus of the Urban Centre's economic and community development.



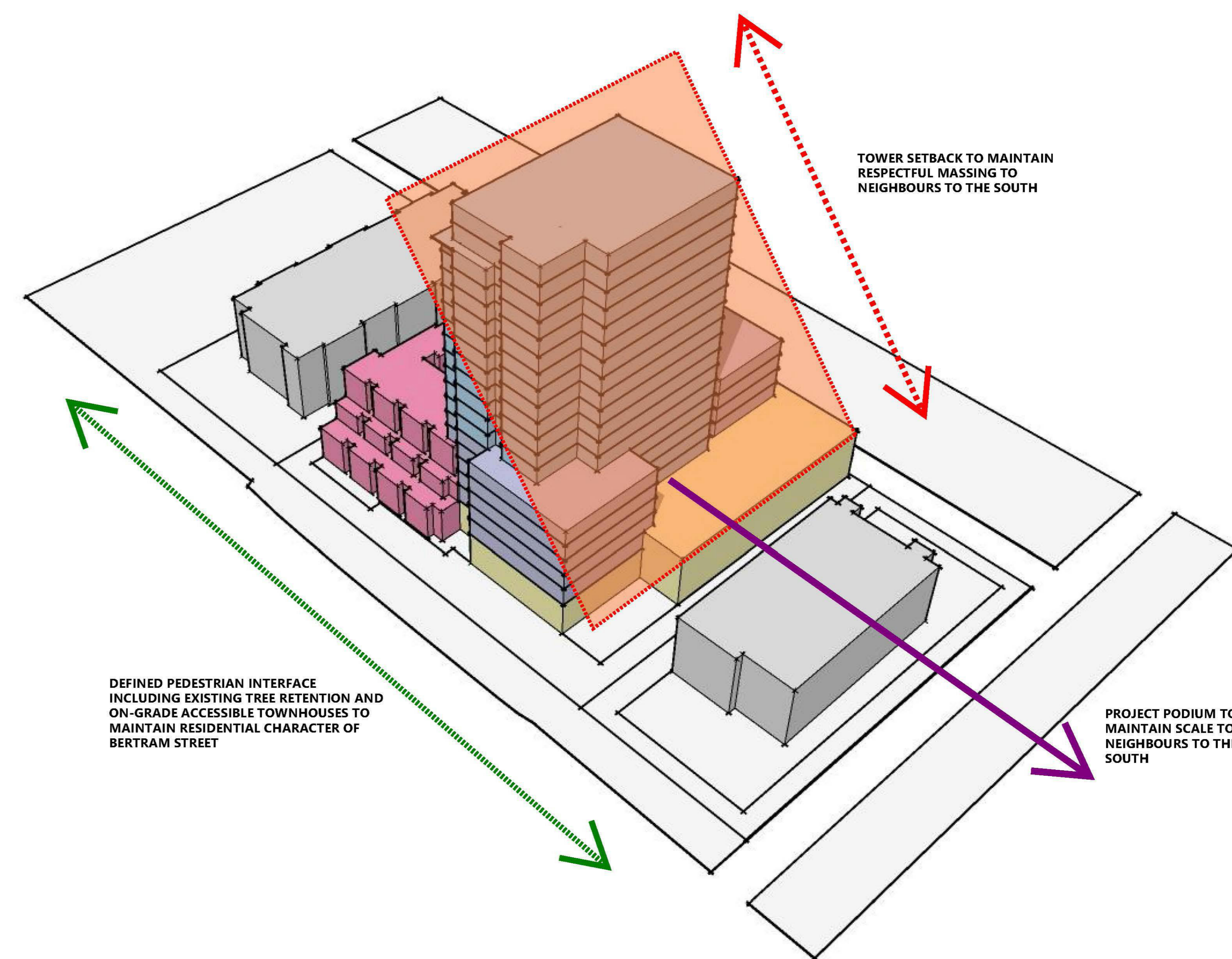
**SITE | MASSING LOOKING SOUTH WEST**



**SITE | MASSING LOOKING NORTH WEST**

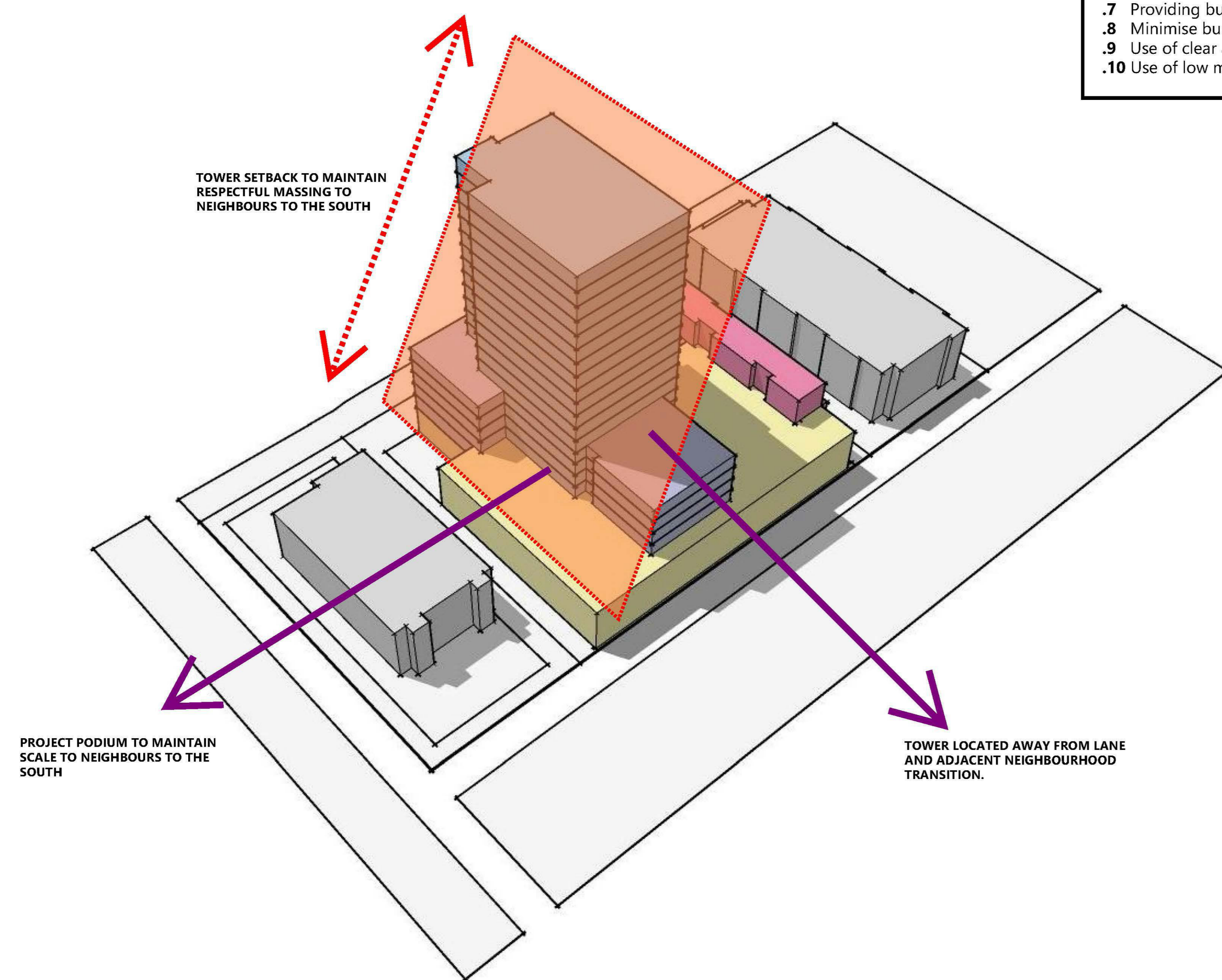


**MASSING DIAGRAM LOOKING SOUTH EAST  
 (from BERTRAM AVENUE)**

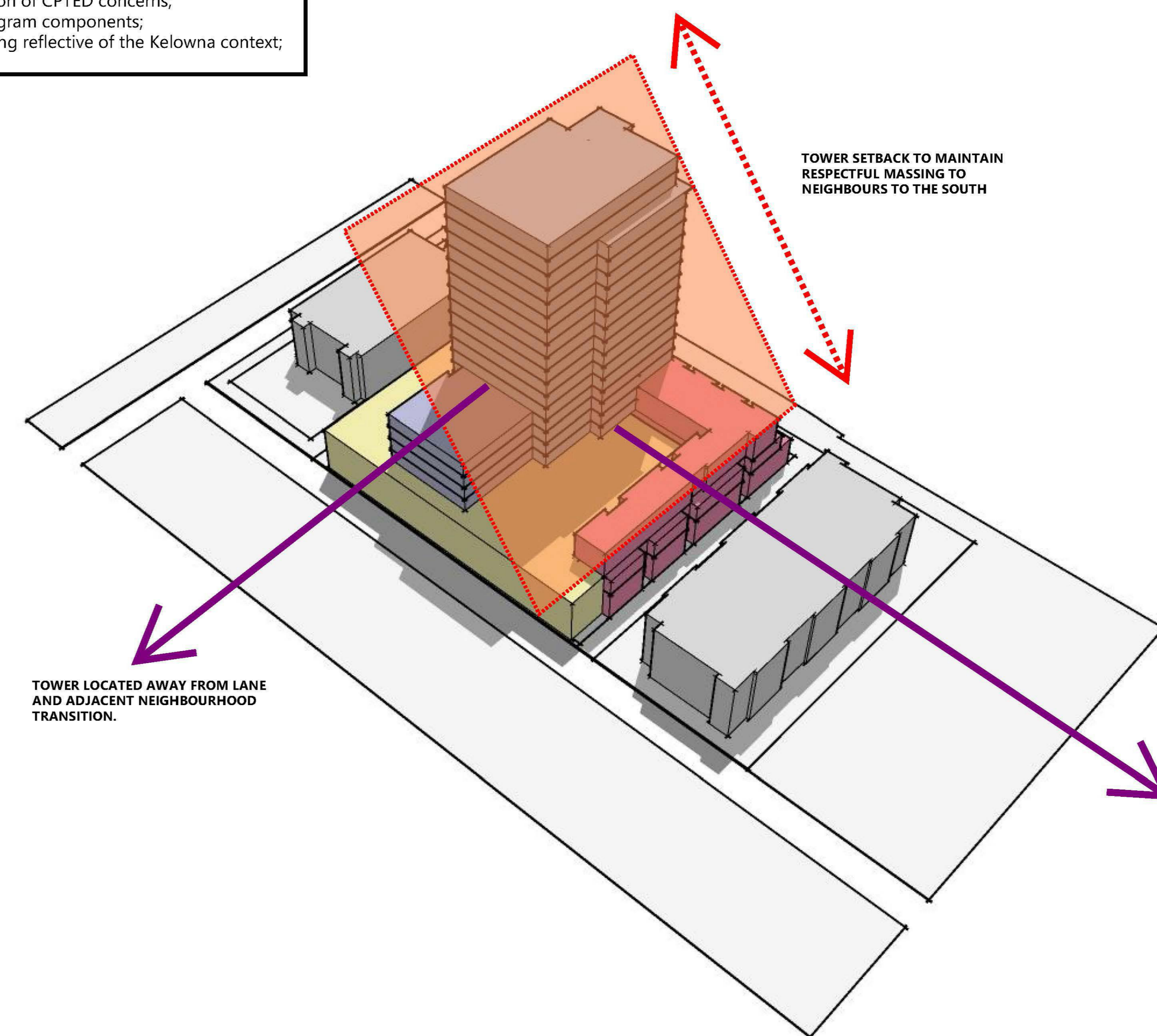


**MASSING DIAGRAM LOOKING NORTH EAST  
 from BERTRAM STREET**

- MASSING PRINCIPLES | PROJECT RESPONSE TO CONTEXT**
- .1 Provide pedestrian scale and tactility by using residential exterior materials;
  - .2 Providing on grade access to define public, semi private, and private spaces;
  - .3 Providing on grade uses to enhance security via "eyes on the street";
  - .4 Use appropriate scale of building elements to further enhance the residential uses;
  - .5 Provide meaningful height transition via townhouses, building base, podium, and tower;
  - .6 Create visual continuity with neighbouring buildings with base building transition;
  - .7 Providing building articulation to enhance massing and detail diversity;
  - .8 Minimise building logs (specifically at grade) for mitigation of CPTED concerns;
  - .9 Use of clear and distinct signage to identify building program components;
  - .10 Use of low maintenance and high quality building cladding reflective of the Kelowna context;



**MASSING DIAGRAM LOOKING NORTH WEST  
 from LANE**



**MASSING DIAGRAM LOOKING NORTH EAST  
 from LANE**

**NOT FOR  
 CONSTRUCTION**

This drawing supersedes previous issues. Do not scale these drawings.

Verify all dimensions, elevations and datum, and report any discrepancies to the Architect prior to construction. Dimensions are taken to face of exterior walling, face of concrete block, face of stud for interior partition, and combine of demising walls, unless noted otherwise on the drawings.

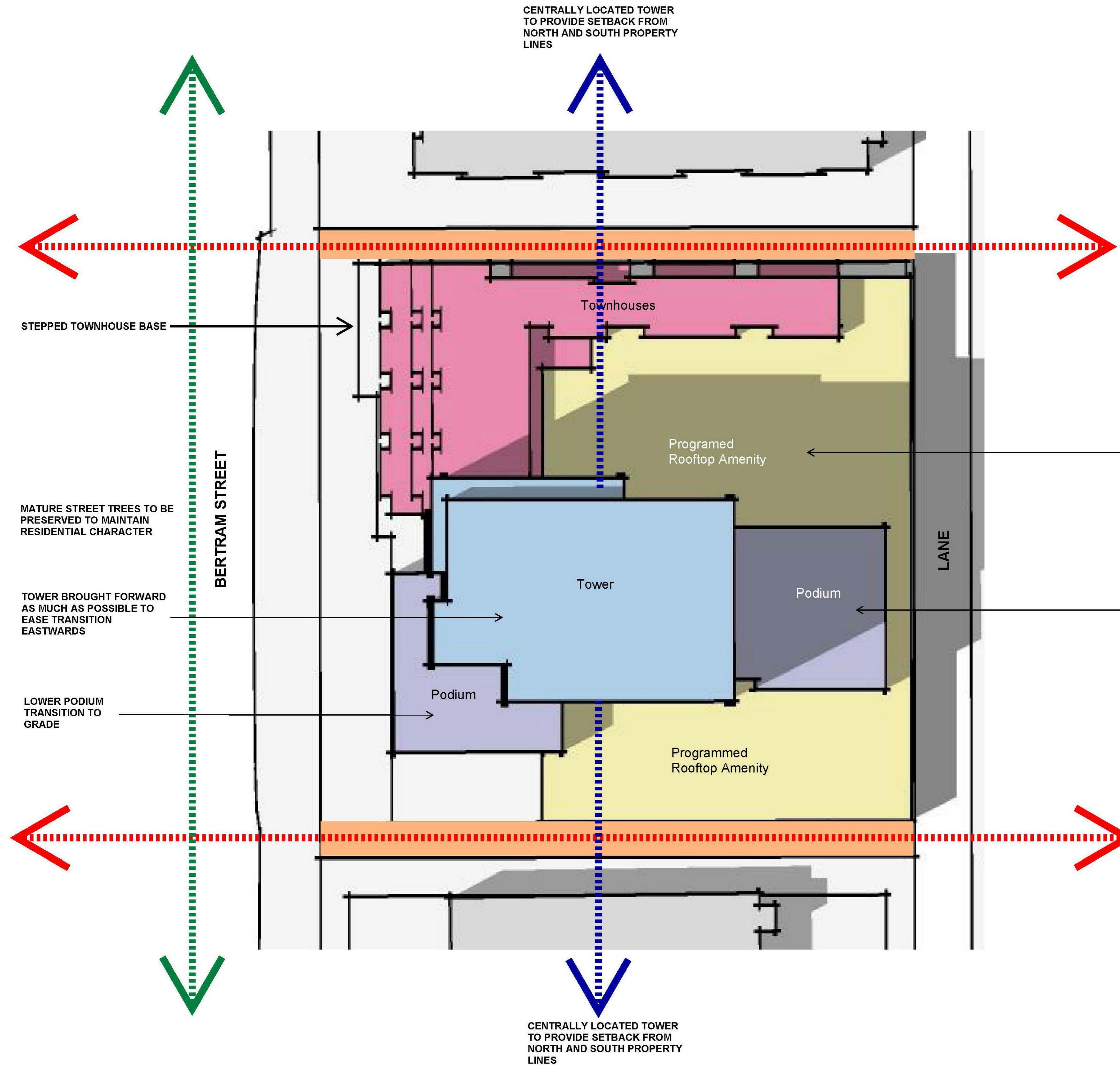
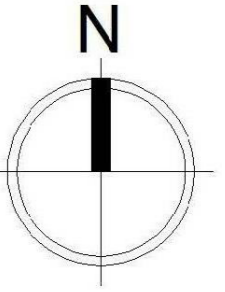
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ISSUED FOR	DATE
1. BCI REVIEW	2020-12-18
2. DP SUBMISSION	2020-02-09
3. DP RE-SUBMISSION	2021-07-12
6. DP RE-SUBMISSION	2023-10-20

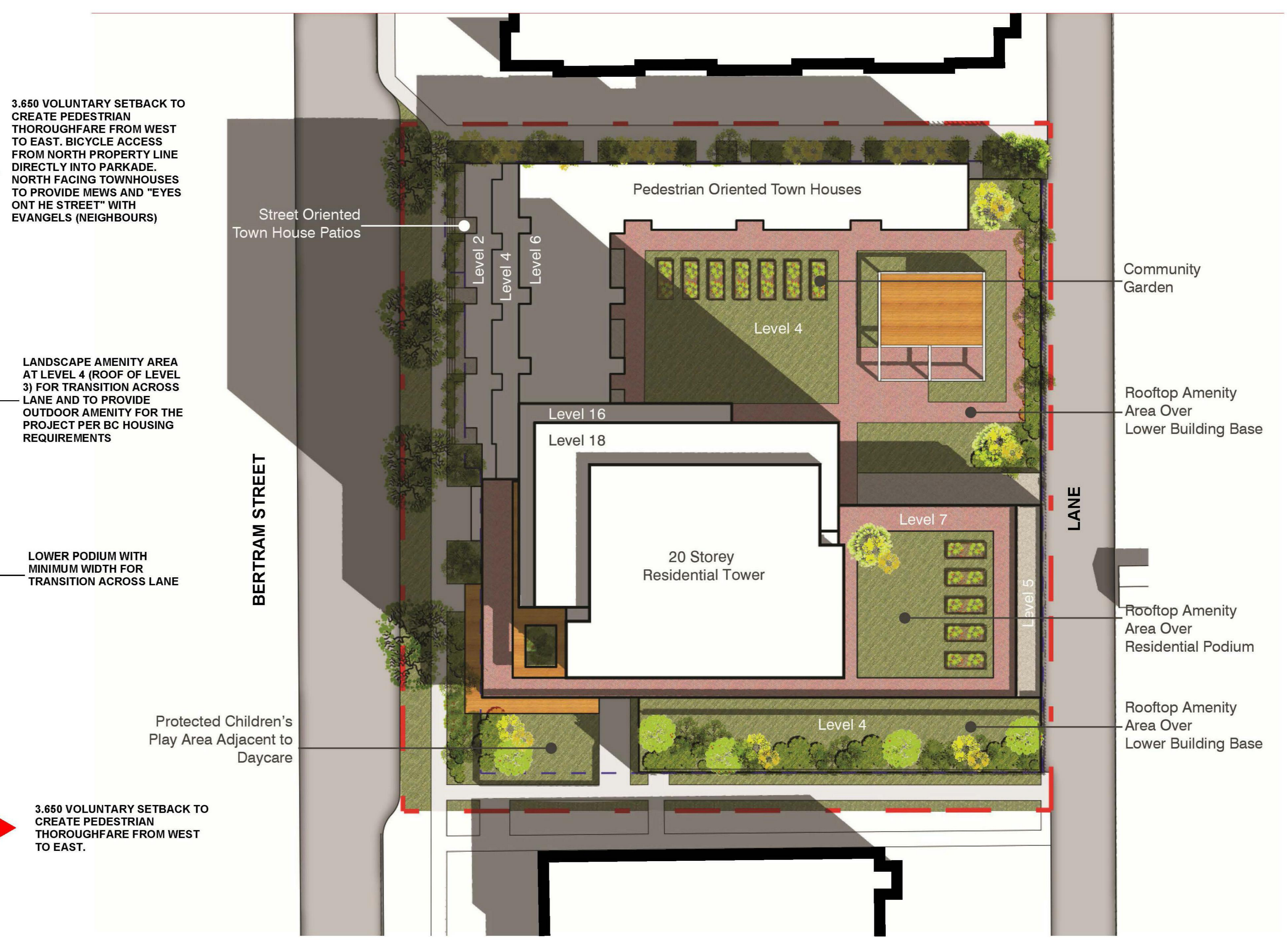
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CHECKED BY	S.J.H.

DRAWING NO.

**DP0.4**



**PLAN | BUILDING ARRANGEMENT | CONCEPT & APPROACH**



**PLAN | BUILDING ARRANGEMENT & PROGRAM**

**NOT FOR CONSTRUCTION**

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ISSUED FOR	DATE
1. BC REVIEW	2020-12-18
2. DP SUBMISSION	2020-02-08
3. DP RE-SUBMISSION	2021-07-12
6. DP RE-SUBMISSION	2023-10-20

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CHECKED BY S.J.H.

DRAWING NO. **DP0.5**

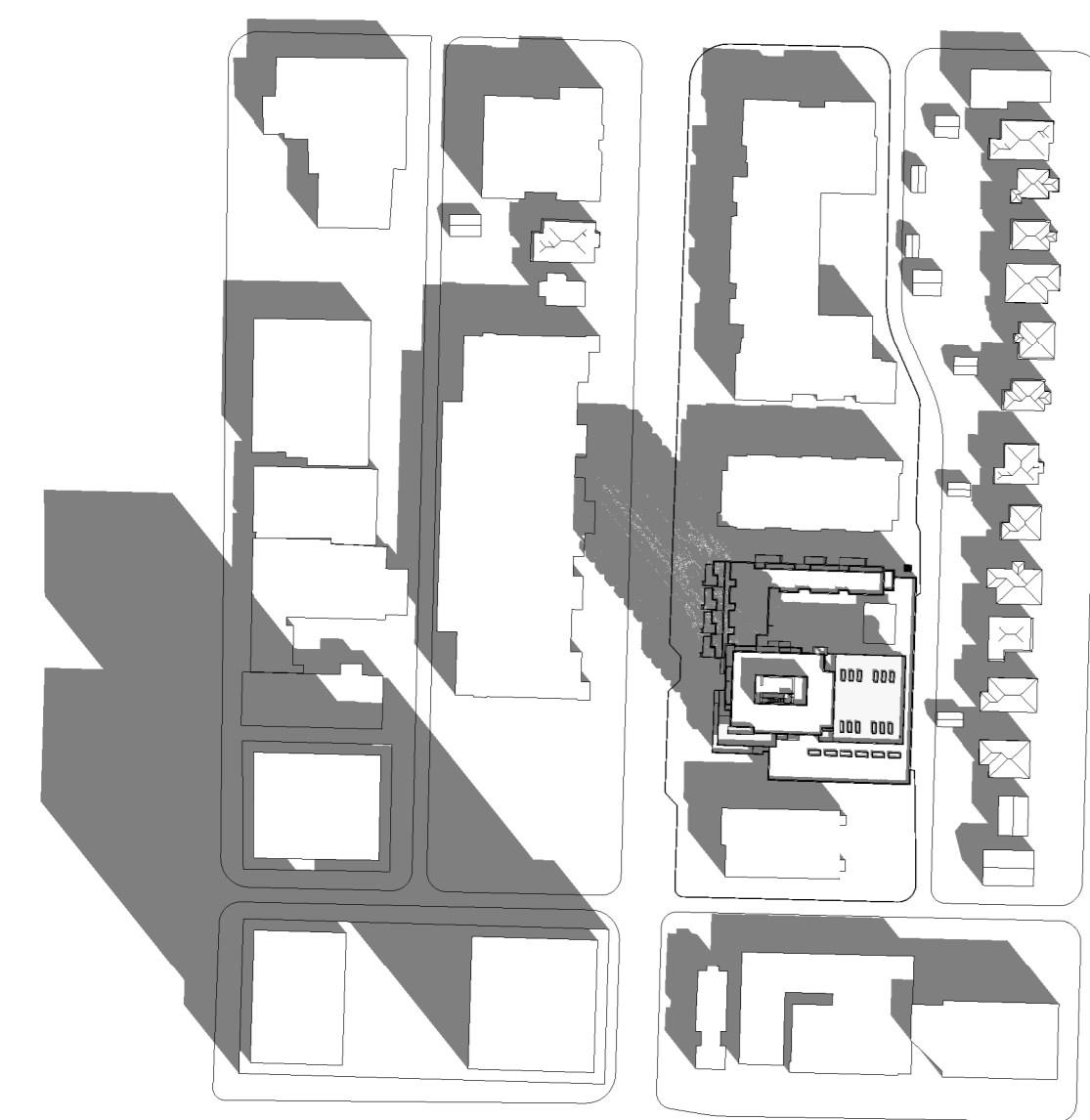
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ISSUED FOR	DATE
4 DP RE-SUBMISSION	2021-08-24
6 DP RE-SUBMISSION	2023-10-20

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DRAWN BY	MD
CHECKED BY	SH

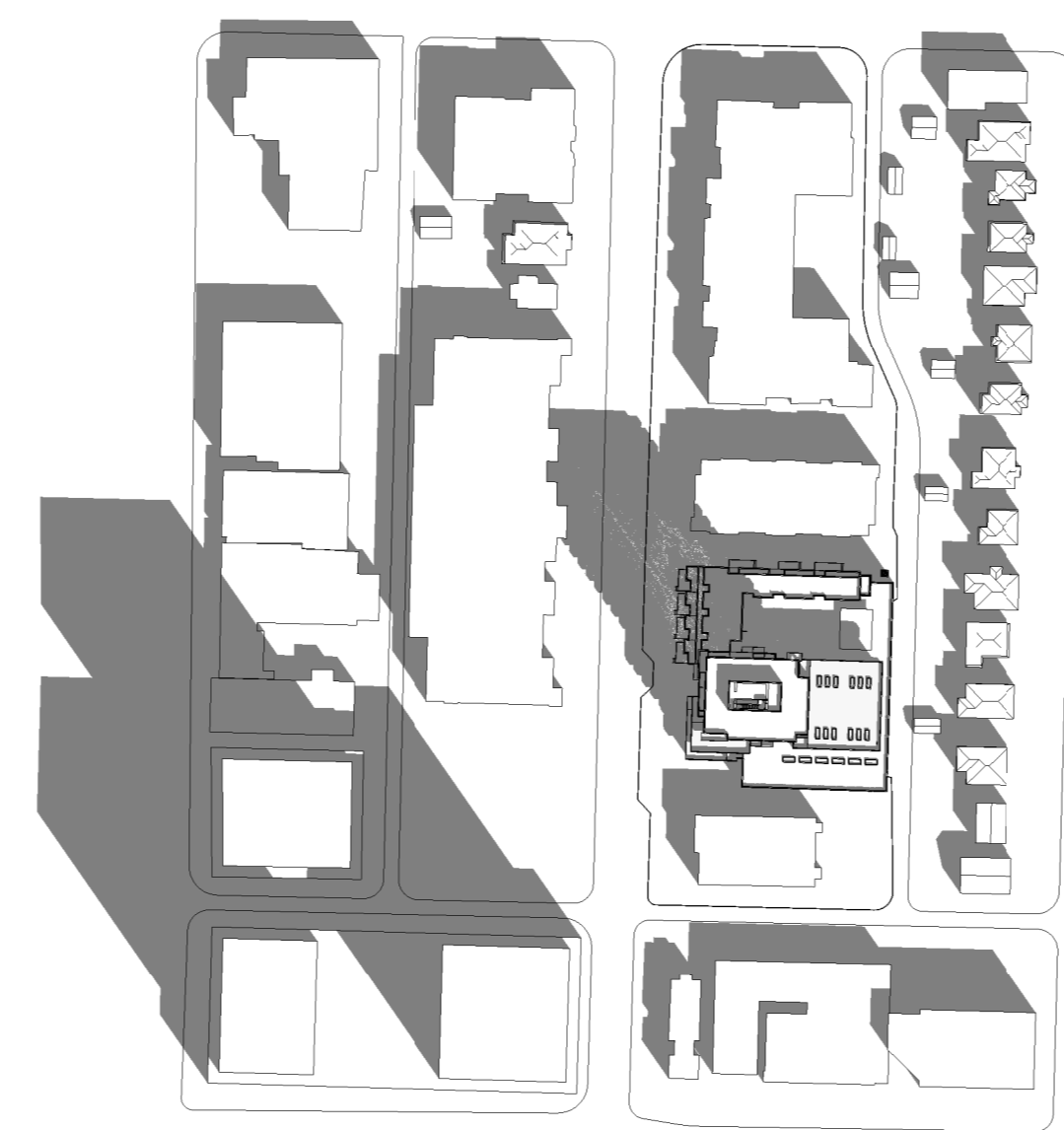
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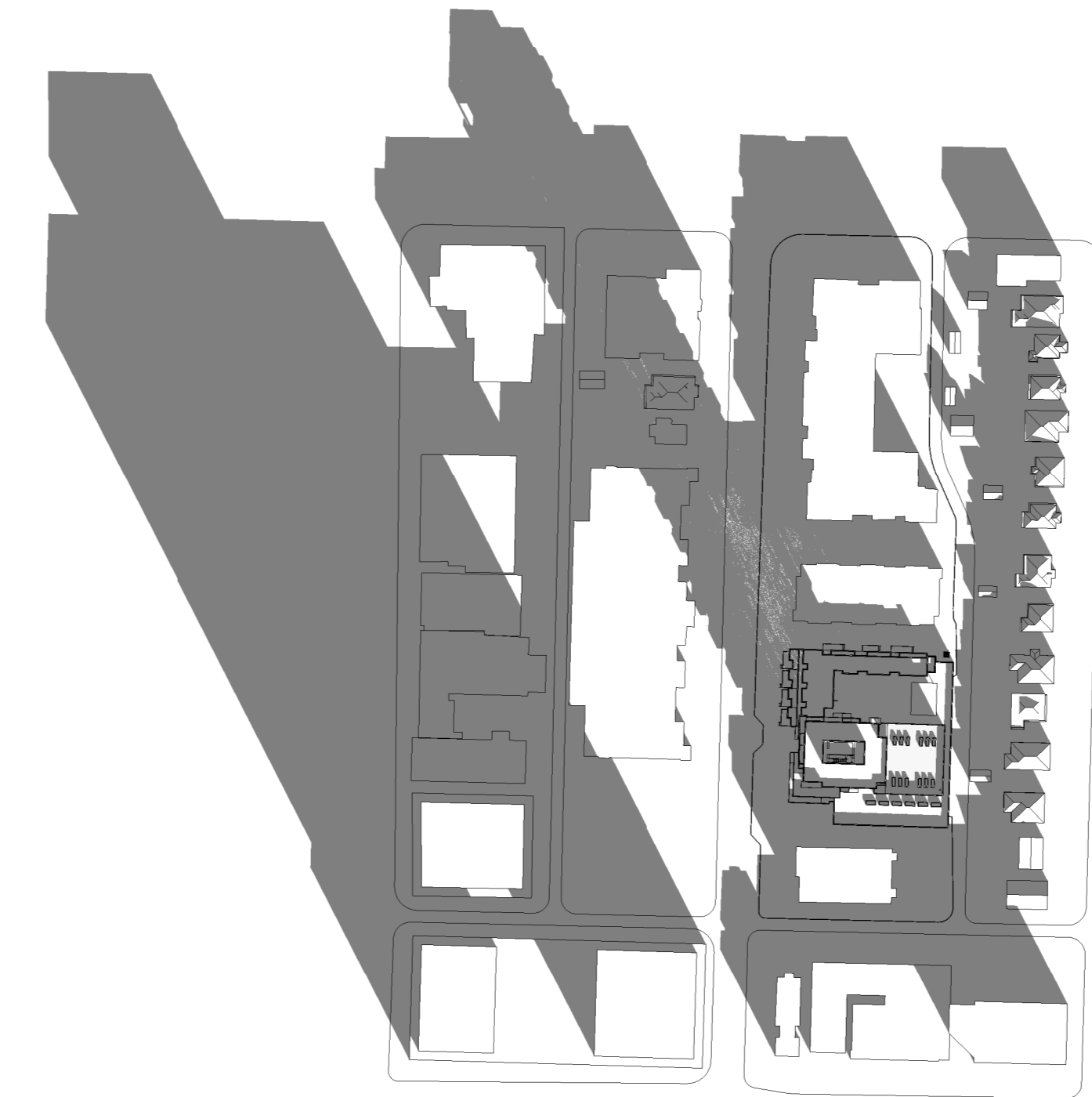
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 DP0.7 SCALE: 1:2000



**5 JUNE 21 - 10:00**  
 DP0.7 SCALE: 1:2000



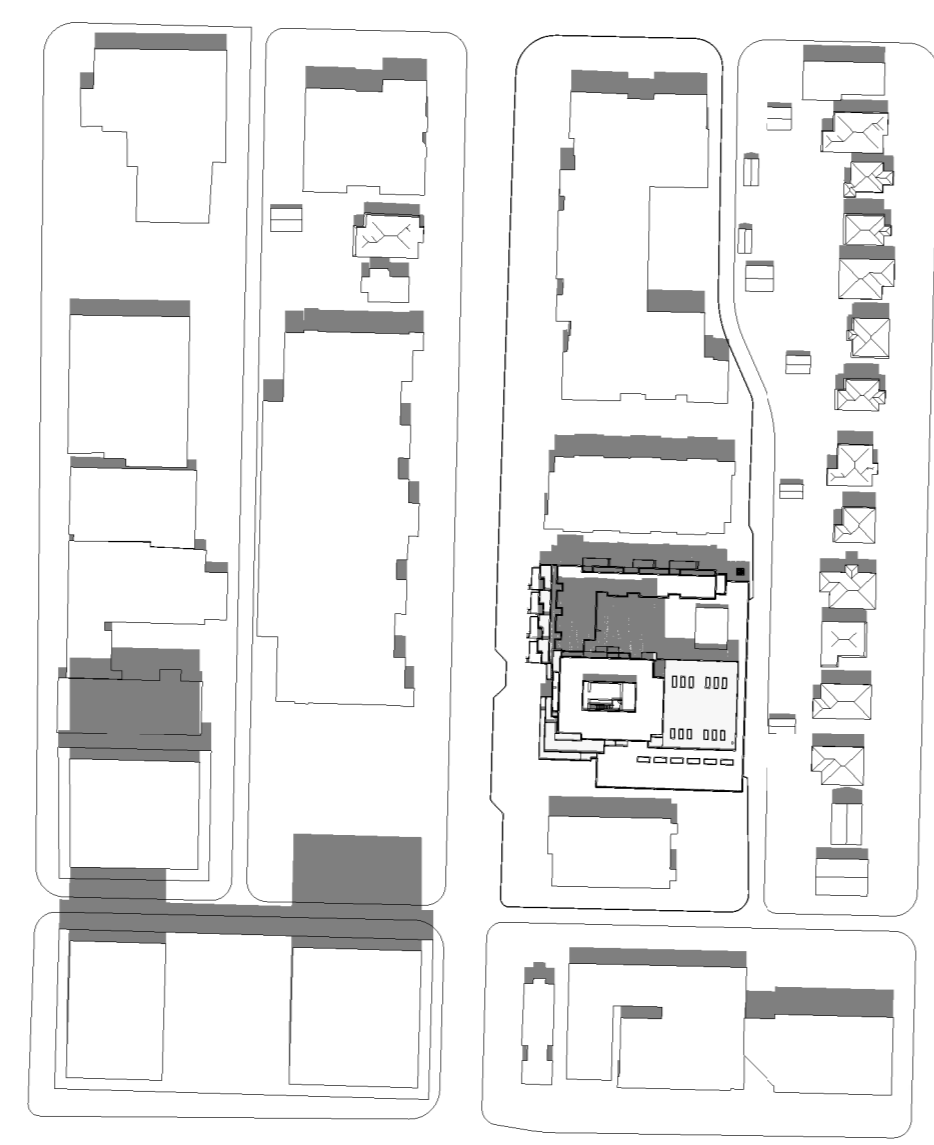
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 DP0.7 SCALE: 1:2000



**13 DECEMBER 21 - 10:00**  
 DP0.7 SCALE: 1:2000



**2 MARCH 21 - 12:00**  
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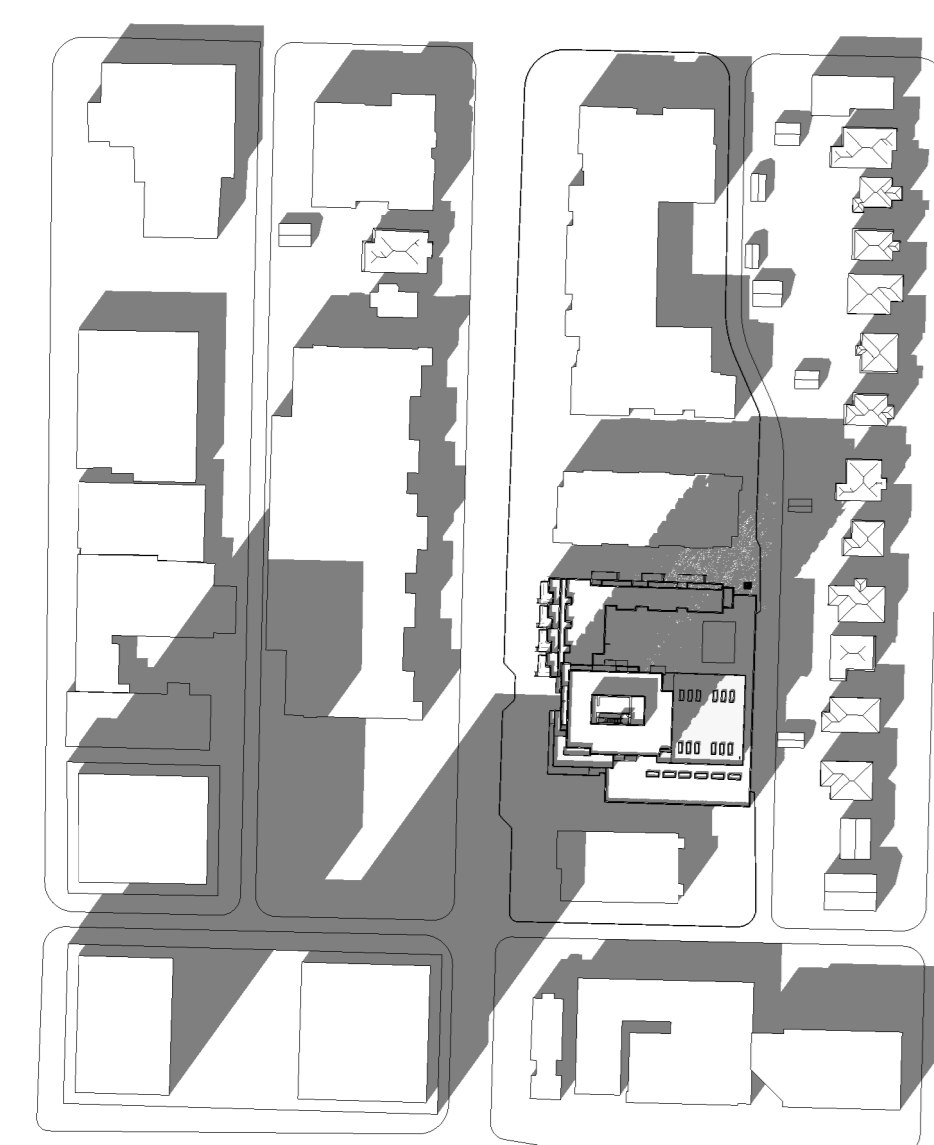
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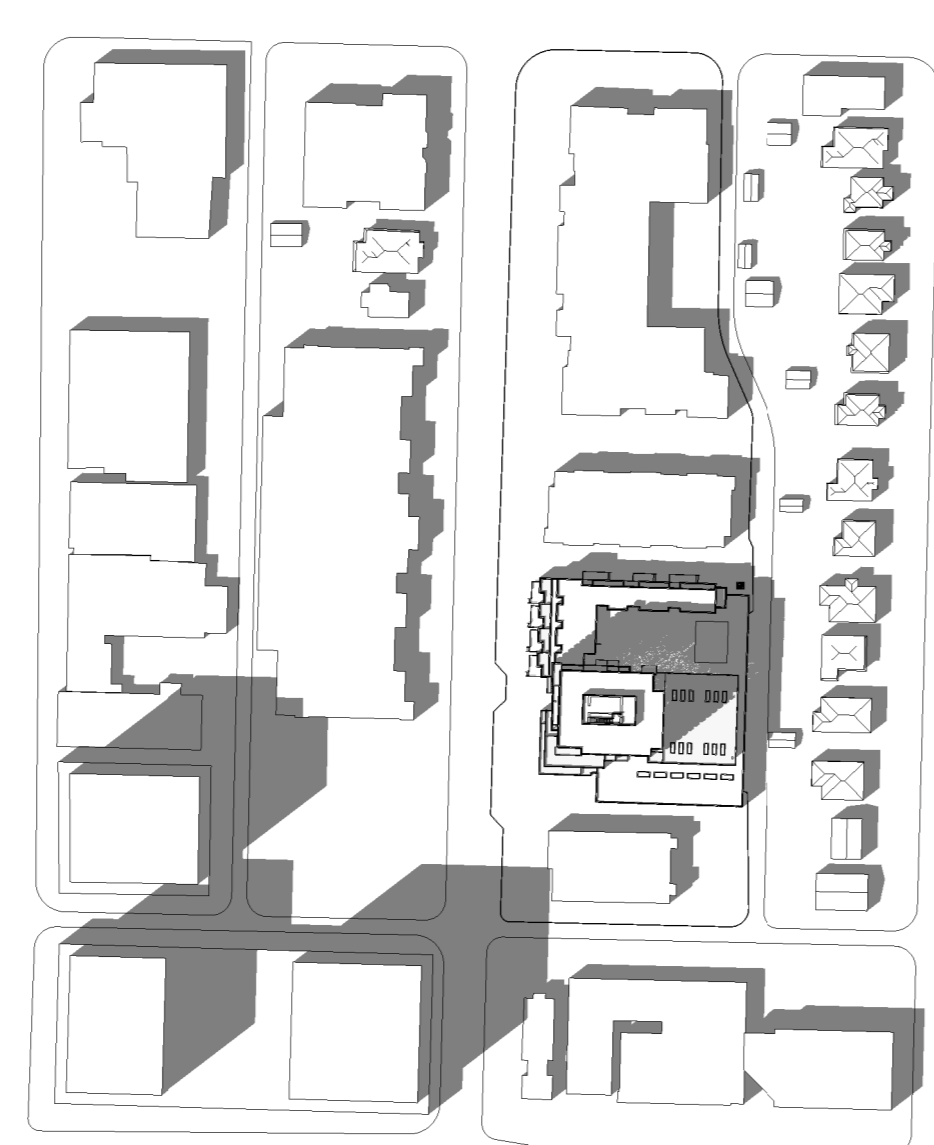
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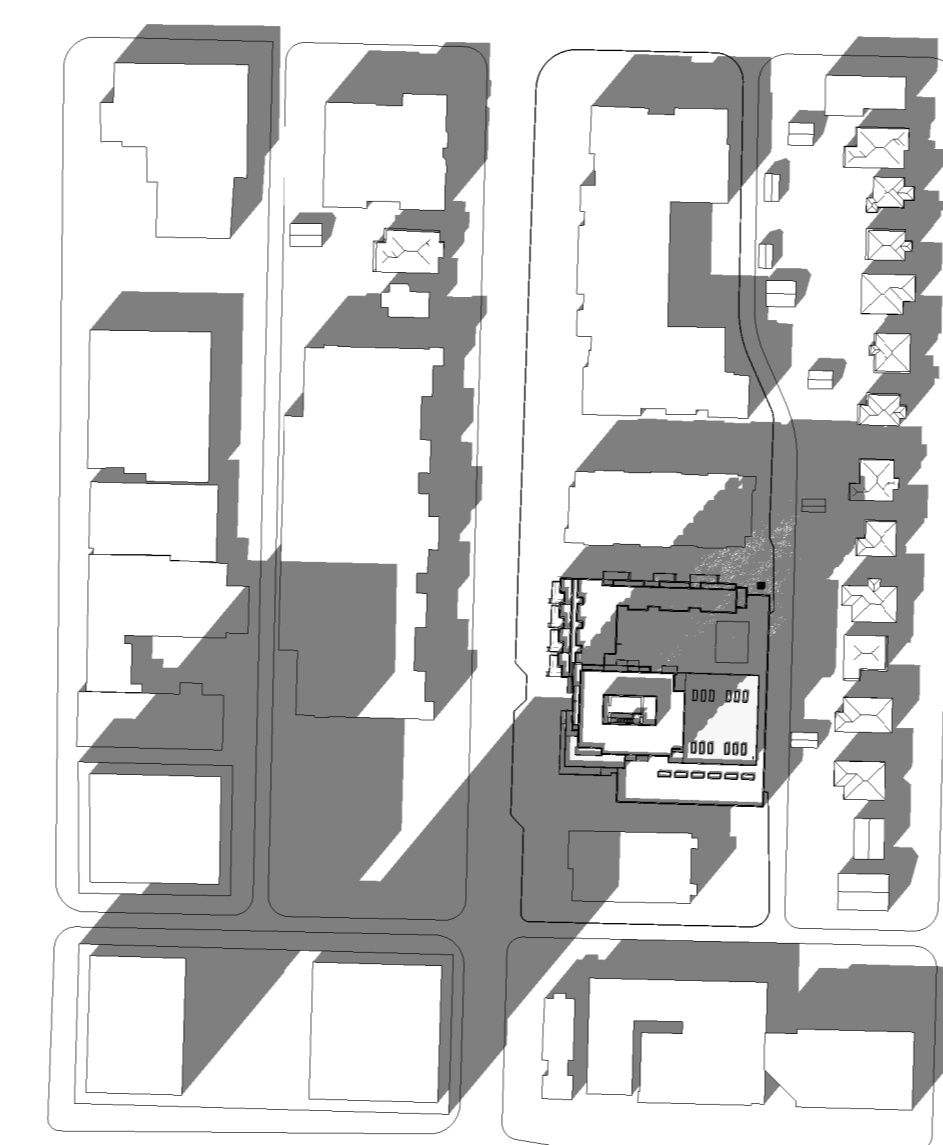
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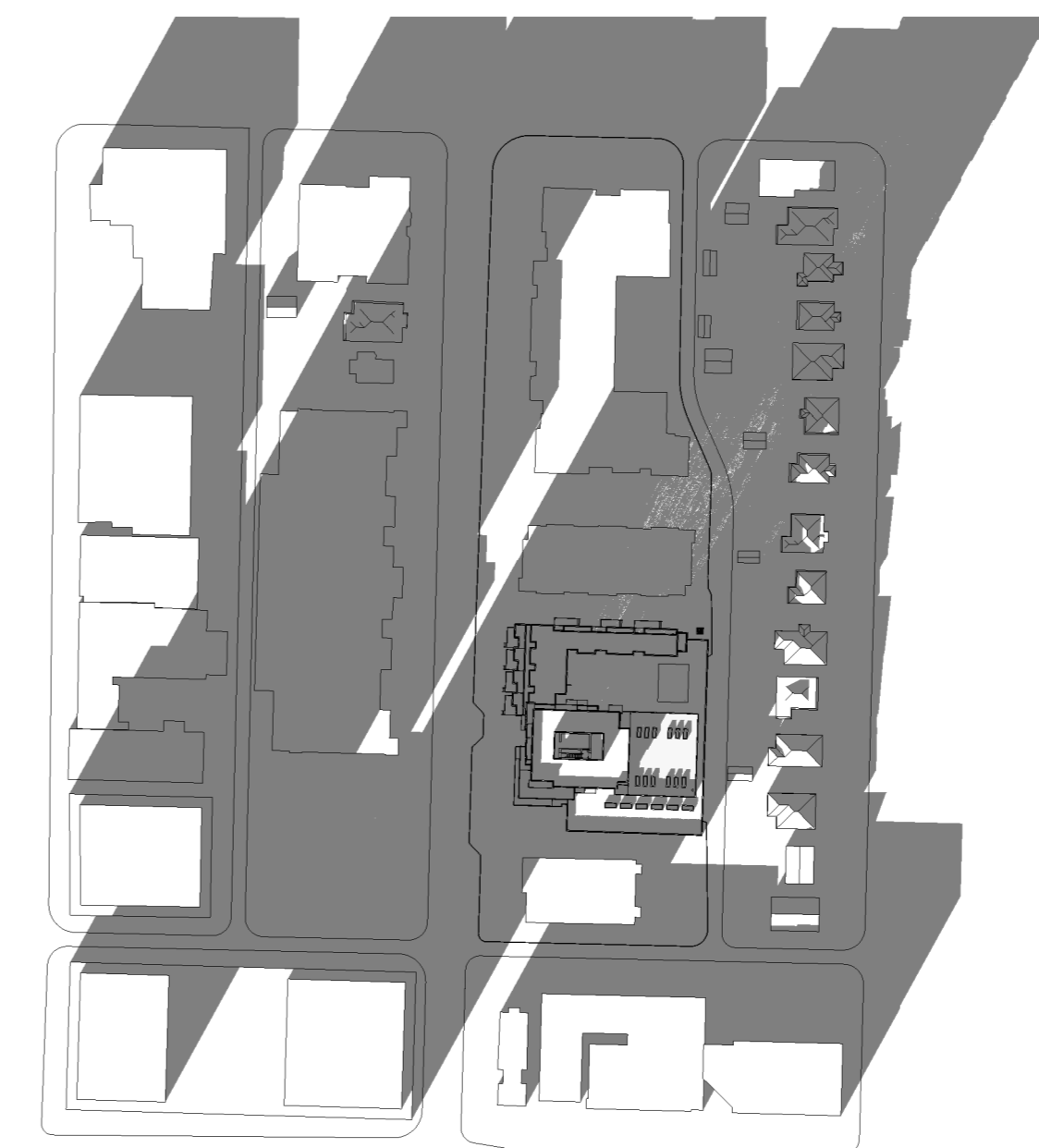
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**7 JUNE 21 - 14:00**  
 DP0.7 SCALE: 1:2000



**11 SEPTEMBER 21 - 14:00**  
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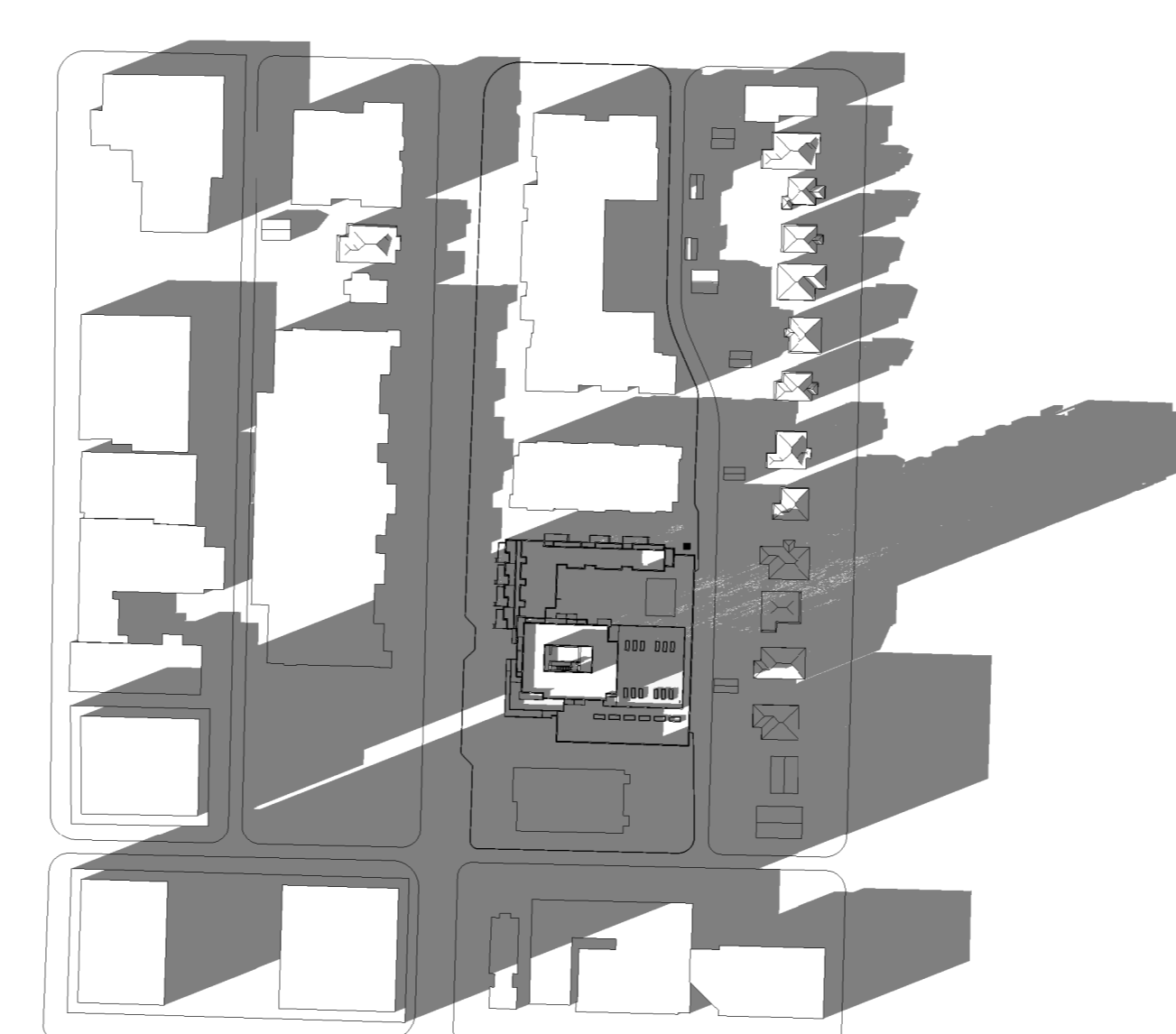
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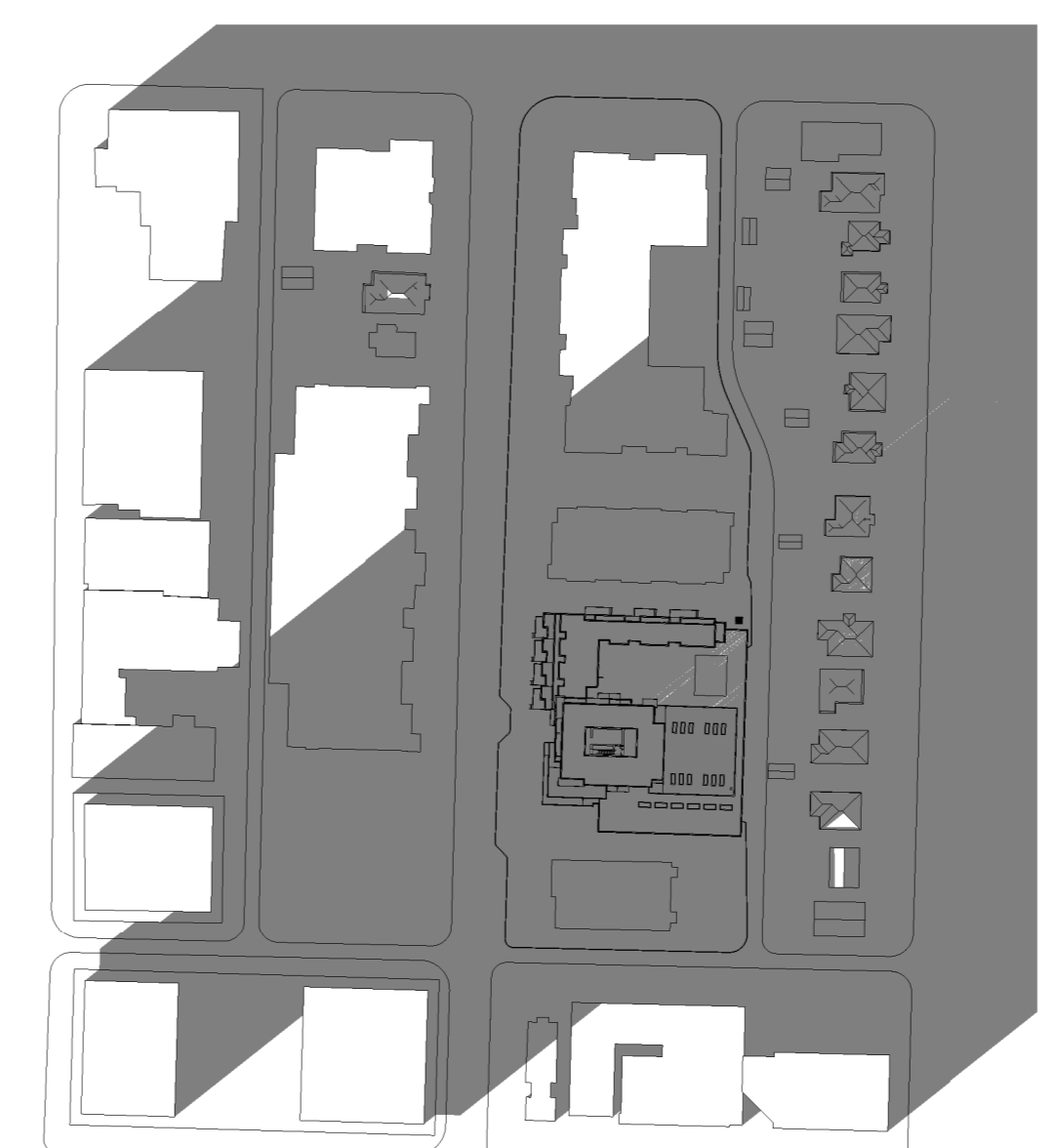
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**8 JUNE 21 - 16:00**  
 DP0.7 SCALE: 1:2000




**12 SEPTEMBER 21 - 16:00**  
 DP0.7 SCALE: 1:2000



**16 DECEMBER 21 - 16:00**  
 DP0.7 SCALE: 1:2000

**TOPOGRAPHIC PLAN OF:**  
**1) LOT A, DL 139, ODYD, PLAN 15900**  
**2) LOT 3, BLOCK E, DL 139, ODYD, PLAN 2345**

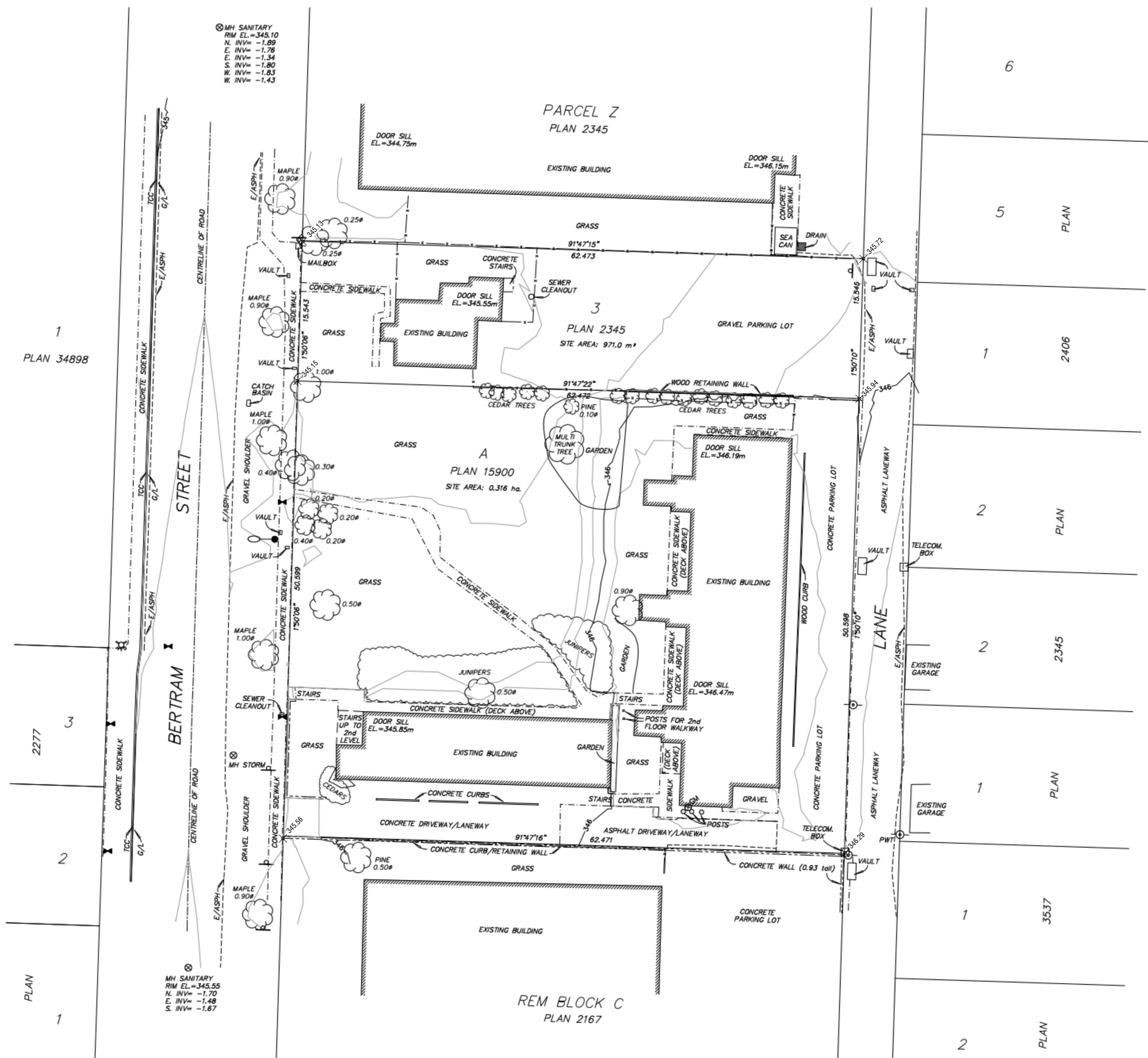
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 ( ALL DIMENSIONS ARE IN METRES )

CHIC ADDRESSES:  
 LOT A: 1469 BERTRAM STREET, KELOWNA, BC  
 LOT 3: 1451 BERTRAM STREET, KELOWNA, BC



**LEGEND**

- ELEVATIONS ARE GEODETIC IN METERS AND DERIVED FROM CITY OF KELOWNA BENCHMARK 95H1856.
- DENOTES EDGE OF CENTERLINE OF ROAD (PAINTED YELLOW).
  - DENOTES EDGE OF CONCRETE SIDEWALK.
  - DENOTES EDGE OF ASPHALT.
  - DENOTES CHAINLINK FENCE.
  - DENOTES CONCRETE RETAINING WALL.
- CONTOUR INTERVAL SHOWN IS 0.25M.
- ☉ DENOTES TREE.
  - 0.60# DENOTES 0.60m DIAMETER TREE TRUNK (TYPICAL).
  - E/ASPH DENOTES EDGE OF ASPHALT.
  - G/A DENOTES GUTTERLINE.
  - TCC DENOTES TOP OF CONCRETE CURB.
  - PWT DENOTES POWER POLE WITH TRANSFORMER.
  - ⊗ DENOTES GAS METER.
  - ⊙ DENOTES LAMP POST.
  - ⊕ DENOTES WATER VALVE.
  - ⊖ DENOTES POLE.
  - ⊘ DENOTES SIGN.
  - DENOTES ANCHOR.
  - ⊕ DENOTES HYDRANT.
  - ⊗ DENOTES MANHOLE.



PLAN PREPARED NOVEMBER 30th, 2018.

**ALLTERRA LAND SURVEYING LTD.**  
 204 WESTMINSTER AVENUE W.  
 PRINCESTON, B.C. V2A 1J9  
 TEL: 250-492-5903  
 WWW.ALLTERRASURVEY.CA

OUR FILE NO. 200398-0  
 OUR DRAWING NO. 200398-0-TOPODWG



**PROJECT DEVELOPMENT STATISTICS**

SITE SUMMARY					
Project Civic Address	1451 Bertram Street, Kelowna BC				
Project Legal Description	LOT 1 DISTRICT LOT 139 050/005 DIVISION VALE DISTRICT PLAN EP113832				
Existing Zoning Bylaw	Proposed Zoning Bylaw I UC1 I DOWNTOWN URBAN CENTRE - RENTAL ONLY				
Project Site Area	4,131.41m <sup>2</sup> (44,485 SF)				
Site Area After MOU Dedication	4,074.51 m <sup>2</sup> (43,384.17 SF)				
Current Permitted Building Height	44m (12 Storeys)				
Bonus FAR for Rental	56m (15 Storeys)				
Proposed Building Height	63m (20 Storeys)				
Building Setbacks					
North Property Line:	Required	Provided	Notes: Proposed Setbacks are beyond City minimum requirements		
East (Pillar Lane):	0.00m	3.65m	Supplementary Setback		
South Property Line:	0.00m	0.00m	Ministry of Highways Setback		
West (Bertram Street):	0.00m	4.1m / 6.0m / 7.5m	Tree Retention / Root Setback (per Arborist Report)		
PROJECT AREA STATISTICS					
Gross Floor Area/GFA	Permitted	Proposed			
Gross Floor Area/GFA	N/A	22,018.25m <sup>2</sup> (237,002sf)			
Gross Floor Area/GFA Daycare	N/A	412.87m <sup>2</sup> (4,448sf)			
Daycare Occupancy	39 Children				
Floor Area Ratio/FAR Deductions	N/A				
Net Floor Area Ratio/FAR	Base: 3.30 FAR, Add bonus 1.0 FAR (0.05 FAR x 20 storeys)				
Units per Acre	153.25 units per acre				
Lot Coverage Permitted (%)	73.5%				
Maximum Tower Floor Plate Area Above 9.0m	1,221.00m <sup>2</sup> (13,143sf)				
Maximum Tower Floor Plate Area Above 22.0m	676.00m <sup>2</sup> (7,278sf)				
PROJECT UNIT SUITE TYPE DISTRIBUTION MIX (NOTE: TOWNHOUSE UNITS INCLUDED IN 2/3 BEDROOM COUNT. SEE UNIT SUMMARY FOR DETAILS)					
UNIT TYPE	TOTAL UNIT COUNT	ACCESSIBLE UNIT COUNT	PERCENTAGE		
STUDIO	4	0	2%		
1 BEDROOM	73	6	41%		
2 BEDROOM	58	14	33%		
3 BEDROOM	41	2	24%		
TOTAL APARTMENT UNITS / TOWNHOMES	176	22	100%		
UNIT TYPE SUMMARY					
RESIDENTIAL APARTMENT UNITS AT TOWER AND PODIUM LEVELS					
NAME	TYPE	LOCATION	TOTAL	AREA (SQM)	AREA (SQFT)
UNIT A0	STUDIO	LEVEL 3	1	41.25 m <sup>2</sup>	444.01 sf
UNIT A1	STUDIO	LEVEL 8	1	40.60 m <sup>2</sup>	437.02 sf
UNIT A2	STUDIO	LEVELS 19 - 20	2	39.50 m <sup>2</sup>	425.17 sf
UNIT B0a	1 BEDROOM	LEVELS 4 - 18	15	48.24 m <sup>2</sup>	519.25 sf
UNIT B0b	1 BEDROOM	LEVELS 5 - 18	13	49.83 m <sup>2</sup>	536.37 sf
UNIT B1a	1 BEDROOM	LEVELS 4 - 7	4	48.83 m <sup>2</sup>	526.37 sf
UNIT B1b	1 BEDROOM	LEVELS 4 - 20	17	49.83 m <sup>2</sup>	536.37 sf
UNIT B2	1 BEDROOM + DEN ACCESSIBLE	LEVEL 4 - 7	1	74.23 m <sup>2</sup>	799.00 sf
UNIT B3	1 BEDROOM + DEN ACCESSIBLE	LEVEL 4	1	74.85 m <sup>2</sup>	805.68 sf
UNIT B4	1 BEDROOM + DEN ACCESSIBLE	LEVELS 4 - 7	4	57.52 m <sup>2</sup>	619.14 sf
UNIT B5	1 BEDROOM	LEVELS 9 - 20	12	57.61 m <sup>2</sup>	620.11 sf
UNIT C0	2 BEDROOM	LEVELS 3 - 7	5	77.95 m <sup>2</sup>	839.37 sf
UNIT C1	2 BEDROOM ACCESSIBLE	LEVEL 4 - 7	4	77.33 m <sup>2</sup>	832.37 sf
UNIT C2	2 BEDROOM + DEN	LEVELS 4 - 7	4	88.84 m <sup>2</sup>	956.27 sf
UNIT C3	2 BEDROOM ACCESSIBLE	LEVELS 4 - 7	4	86.37 m <sup>2</sup>	929.67 sf
UNIT C4	2 BEDROOM ACCESSIBLE	LEVELS 5 - 7	3	93.63 m <sup>2</sup>	1,007.82 sf
UNIT C5	2 BEDROOM + DEN ACCESSIBLE	LEVELS 5 - 7	3	92.93 m <sup>2</sup>	1,000.29 sf
UNIT C6	2 BEDROOM	LEVELS 6 - 18	13	73.80 m <sup>2</sup>	794.58 sf
UNIT C7	2 BEDROOM	LEVELS 8 - 20	13	82.22 m <sup>2</sup>	885.00 sf
UNIT C8	2 BEDROOM	LEVELS 19 - 20	2	79.17 m <sup>2</sup>	852.18 sf
UNIT D0	3 BEDROOM	LEVEL 3	1	86.20 m <sup>2</sup>	922.11 sf
UNIT D1	3 BEDROOM ACCESSIBLE	LEVELS 4 - 5	2	100.72 m <sup>2</sup>	1,084.14 sf
UNIT D2	3 BEDROOM	LEVELS 4 - 7	4	86.06 m <sup>2</sup>	926.34 sf
UNIT D3	3 BEDROOM	LEVELS 8 - 18	11	88.14 m <sup>2</sup>	948.73 sf
UNIT D4	3 BEDROOM	LEVELS 8 - 20	13	89.51 m <sup>2</sup>	963.48 sf
UNIT D5	3 BEDROOM	LEVELS 19 - 20	2	92.14 m <sup>2</sup>	991.79 sf
TOTAL			155		
RESIDENTIAL APARTMENT UNITS AT TOWNHOUSE BASE					
NAME	TYPE	LOCATION	TOTAL	AREA (SQM)	AREA (SQFT)
UNIT TA1	1 BEDROOM	LEVEL 3	3	53.09 m <sup>2</sup>	571.46 sf
UNIT TB1	1 BEDROOM	LEVEL 3	1	58.27 m <sup>2</sup>	625.69 sf
UNIT TC1	1 BEDROOM	LEVEL 3	1	49.17 m <sup>2</sup>	529.26 sf
UNIT TD1	1 BEDROOM	LEVEL 3	1	54.76 m <sup>2</sup>	589.43 sf
UNIT TE1	2 BEDROOM	LEVEL 3	1	82.72 m <sup>2</sup>	890.39 sf
TOTAL			7		
RESIDENTIAL TOWNHOUSE UNITS					
NAME	TYPE	LOCATION	TOTAL	AREA (SQM)	AREA (SQFT)
TH1	2 BEDROOM	LEVELS 1 - 2	3	113.00m <sup>2</sup>	1,214.38 sf
TH2	3 BEDROOM + DEN	LEVELS 1 - 2	1	147.60 m <sup>2</sup>	1,588.75 sf
TH3	3 BEDROOM	LEVELS 1 - 2	1	124.54 m <sup>2</sup>	1,340.54 sf
TH4	3 BEDROOM + DEN	LEVELS 1 - 2	1	130.38 m <sup>2</sup>	1,403.4 sf
TH5	3 BEDROOM	LEVELS 1 - 2	1	147.25 m <sup>2</sup>	1,585.00 sf
TH6	2 BEDROOM	LEVELS 4 - 5	1	102.75 m <sup>2</sup>	1,105.58 sf
TH7	3 BEDROOM	LEVELS 4 - 5	2	130.45 m <sup>2</sup>	1,404.15 sf
TH8	2 BEDROOM + DEN	LEVELS 4 - 5	1	129.69 m <sup>2</sup>	1,395.97 sf
TH9	2 BEDROOM	LEVELS 4 - 5	1	88.14 m <sup>2</sup>	948.73 sf
TH10	3 BEDROOM	LEVELS 4 - 5	1	132.89 m <sup>2</sup>	1,435.52 sf
TH11	3 BEDROOM	LEVELS 4 - 5	1	153.74 m <sup>2</sup>	1,654.94 sf
TOTAL			14		
AMENITY SPACE (Per Zoning Bylaw No 12375 Table 14.11: Commercial and Urban Centre Zone Development Regulations)					
	COUNT	AREA PER UNIT (PER 14.11)	REQUIRED	PROVIDED	
PRIVATE AND COMMON:					
STUDIO	4	6.0m <sup>2</sup>	24m <sup>2</sup>	32.5m <sup>2</sup>	
1 BEDROOM	73	10.0m <sup>2</sup>	730m <sup>2</sup>	978m <sup>2</sup>	
MORE THAN 1 BEDROOM	85	15.0m <sup>2</sup>	1275m <sup>2</sup>	1818m <sup>2</sup>	
TOTAL	176		2029m <sup>2</sup>	2928.5m <sup>2</sup>	
COMMON:					
	176 UNITS	4.0m <sup>2</sup> PER UNIT	704m <sup>2</sup>	1785m <sup>2</sup> (includes Daycare Amenity...)	
VEHICULAR PARKING REQUIREMENT (Per Zoning Bylaw No. 12375 Section 8.3 Table 8.3.1, Residential Multi-Dwelling Parking (Urban Centre Zones))					
UNIT COUNT	PARKING STALLS/UNIT	REQUIRED (WITH NO CONCESSION)	REQUIRED (WITH 20% RENTAL HOUSING REDUCTION INCENTIVE)	PROVIDED	
RESIDENTIAL UNIT PARKING:					
STUDIO UNIT	4	0.8	4	4	4
1 BEDROOM UNIT	73	0.9	66	53	53
2 BEDROOM UNIT	52	1.0	52	42	42
3 BEDROOM UNIT	33	1.0	33	27	27
TOWNHOUSE (2/3 BEDROOM)	14	1.0	14	12	12
TOTAL:	176		169	138	138
RESIDENTIAL VISITOR PARKING (NOTE: INCLUDES 4 SPACES FOR DAYCARE COMPONENT - 1 STALL/1 CHILDREN)					
UNITS	176	0.14	25	20	22
GRAND TOTAL:					
			158	160	
BARRIER-FREE ACCESSIBLE STALLS (Per Zoning Bylaw No. 12375 Table 8.4 Minimum Loading Requirement)					
BARRIER-FREE ACCESSIBLE STALLS	5 STALL PER 151-200 TOTAL...	5	5	5	
ALLOWABLE SMALL CAR STALLS	50% OF TOTAL STALLS	80 (MAX ALLOWABLE)	80	80	
Loading Space Requirements (Per Zoning Bylaw No. 12375 Table 8.4 Minimum Loading Requirement)					
		REQUIRED	PROVIDED		
CHILD CARE CENTRE - MAJOR					
		1 FOR +26 CHILDREN	0		
BICYCLE PARKING REQUIREMENT (NOTE: TOWNHOUSE UNITS INCLUDED IN 2/3 BEDROOM COUNT) (Per Zoning Bylaw No. 12375 Table 8.5 - Minimum Bicycle Parking Requirements)					
DESCRIPTION	UNIT COUNT	BIKE STALL/UNIT	REQUIRED	PROVIDED	
RESIDENTIAL - LONG TERM PARKING:					
STUDIO/1BEDROOM/2BEDROOM	135	0.75	101	101	
3 BEDROOM	41	1	41	41	
TOTAL	176		142	142	
RESIDENTIAL - SHORT TERM PARKING:					
RESIDENTIAL APARTMENT UNITS	162	6 SPACES PER APARTMENT ENTRANCE	6	26	
TOWNHOUSES	14	4 SPACES	4	4	
TOTAL			10	30	
CHILD CARE CENTRE - LONG TERM PARKING:					
		0.2 PER 100m <sup>2</sup> GFA	4	4	
CHILD CARE CENTRE - SHORT TERM PARKING:					
		2.0 PER CHILD CARE ENTRANCE	2	2	
WASTE & RECYCLING REQUIREMENT					
RESIDENTIAL - WASTE & RECYCLING					
DESCRIPTION	UNIT COUNT	NO. OF BINS (3 yr)	REQUIRED	PROVIDED	STAGING
DWELLING UNIT	176	6	6	73.0m <sup>2</sup>	74.0m <sup>2</sup> / 10.0m <sup>2</sup>



# BC HOUSING

## BERTRAM STREET AFFORDABLE HOUSING PROJECT, KELOWNA, BC



PERSPECTIVE VIEW LOOKING SOUTH-EAST FROM BERTRAM STREET

### DRAWING LIST

- DP0.0 COVER SHEET
- DP0.1 SITE LOCATION
- DP0.2 SITE CONTEXT
- DP0.3 SITE DESIGNATION
- DP0.4 MASSING CONCEPT
- DP0.5 SITE PLAN CONCEPT
- DP0.6 SITE SURVEY
- DP0.7 SHADOW STUDY
- DP1.0 SITE PLAN
- DP1.2 VIEW CORRIDOR
- DP2.0 LEVEL 1 FLOOR & PARKING PLAN
- DP2.1 LEVEL 2 FLOOR & PARKING PLAN
- DP2.2 LEVEL 3 FLOOR & PARKING PLAN
- DP2.3 LEVEL 4 FLOOR PLAN (COURTYARD LEVEL)
- DP2.4 LEVEL 5 FLOOR PLAN
- DP2.5 LEVELS 6-7 FLOOR PLAN
- DP2.6 LEVEL 8 FLOOR PLAN
- DP2.7 LEVELS 9-18 FLOOR PLAN
- DP2.8 LEVEL 19 FLOOR PLAN
- DP2.9 LEVEL 20 FLOOR PLAN
- DP2.10 MECHANICAL PENTHOUSE PLAN
- DP2.11 ROOF PLAN
- DP3.0 BUILDING ELEVATIONS - NORTH
- DP3.1 BUILDING ELEVATIONS - EAST (LANE)
- DP3.2 BUILDING ELEVATIONS - SOUTH
- DP3.3 BUILDING ELEVATIONS - WEST (BERTRAM STREET)
- DP3.4 BUILDING ELEVATIONS - COURTYARD & COURTYARD AMENITY BUILDING
- DP4.0 BUILDING SECTION
- DP4.1 BUILDING SECTION
- DP4.2 BUILDING SECTION
- DP6.0 SITE PLAN DETAILS

### PROJECT TEAM

**OWNER:**  
BC HOUSING  
#1701, 4555 KINGSWAY  
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579 LAWRENCE AVE  
KELOWNA, BC, V1Y 6L8  
PHONE: 250.469.9757  
CONTACT: MIKE YOUNG

**SUSTAINABILITY:**  
RECOLLECTIVE CONSULTING  
#120, 128 WEST HASTINGS  
VANCOUVER, BC, V6B 1G8  
PHONE: 604.669.4940  
CONTACT: JASON PACKER  
jason@recollective.ca

**ARBORIST:**  
M2 LANDSCAPE ARCHITECTURE  
#220, 26 LORNE MEWS  
NEW WESTMINSTER, BC, V3M 3L7  
PHONE: 604.553.0044  
CONTACT: MEREDITH MITCHELL  
office@m2la.com



Scale: 1:10 - 1:100  
City of Kelowna  
1451 & 1469 BERTRAM ST., KELOWNA, BC  
V2Y 0Y9

COVER SHEET  
BC HOUSING - BERTRAM STREET AFFORDABLE HOUSING PROJECT  
1451 & 1469 BERTRAM ST., KELOWNA, BC  
BC HOUSING  
250109

NOT FOR CONSTRUCTION

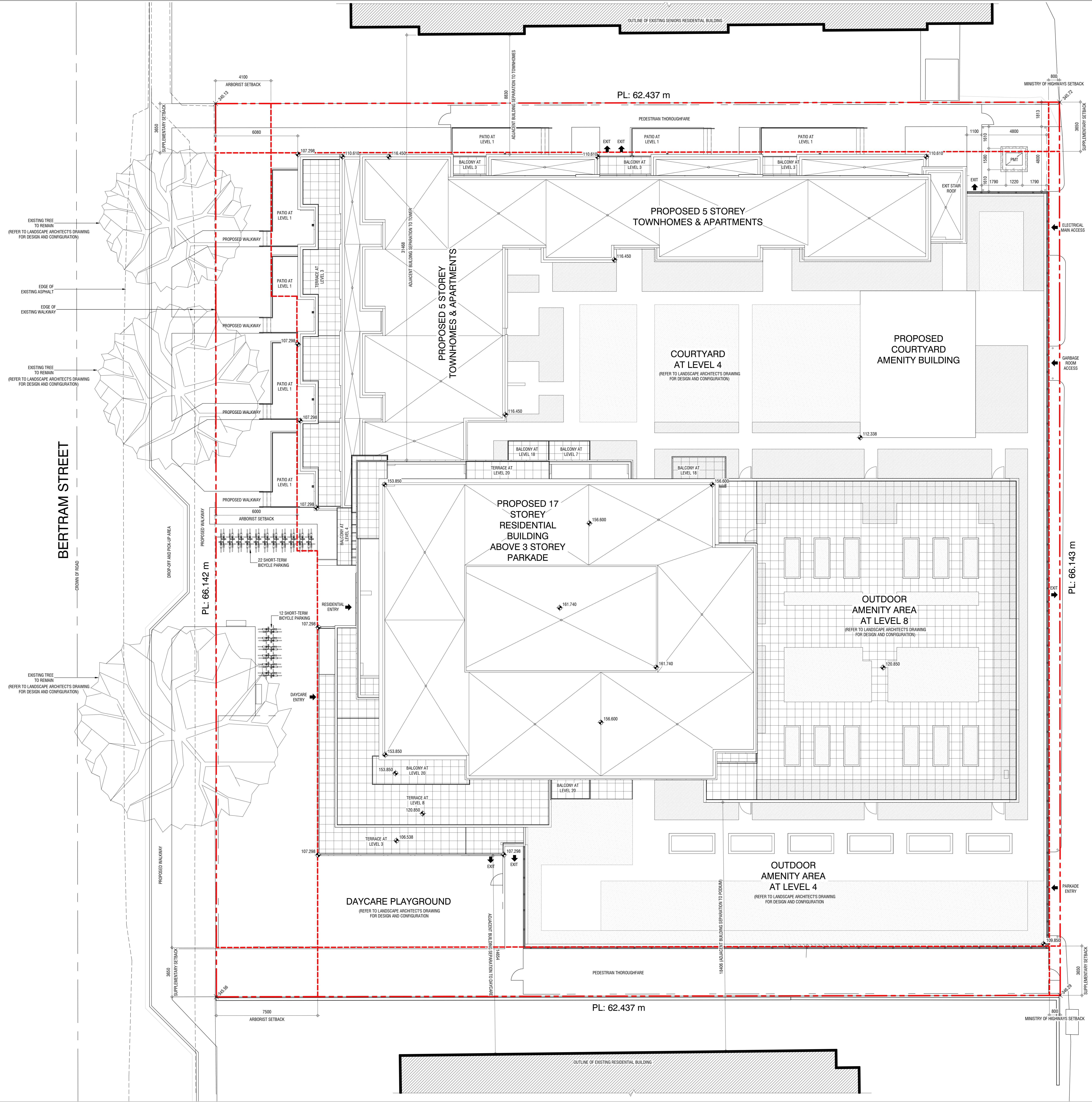
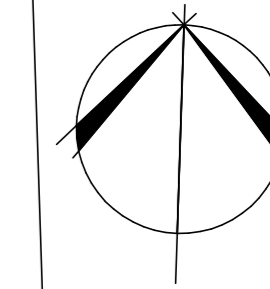
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ISSUED FOR	DATE
1. BCI REVIEW	2023-10-18
2. DP SUBMISSION	2023-02-08
3. DP PRE-SUBMISSION	2021-07-12
5. BCI REVIEW	2023-08-09
6. DP PRE-SUBMISSION	2023-10-20

SCALE  
DATE 11/1/2023 1:49:20 PM  
DRAWN BY M.D./H.K.J.  
CHECKED BY S.J.H.

DRAWING NO.

DP0.0



**1 SITE/ROOF PLAN**  
 DP1.0 SCALE: 1:100  
 DP3.1

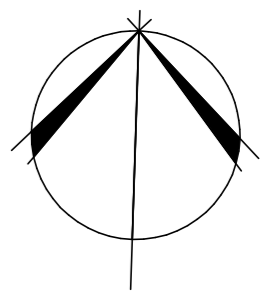
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ISSUED FOR	DATE
1. BCI REVIEW	2022-12-16
2. DP SUBMISSION	2023-02-08
3. DP RE-SUBMISSION	2021-07-12
6. DP RE-SUBMISSION	2023-10-20

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CHECKED BY	S.J.H.

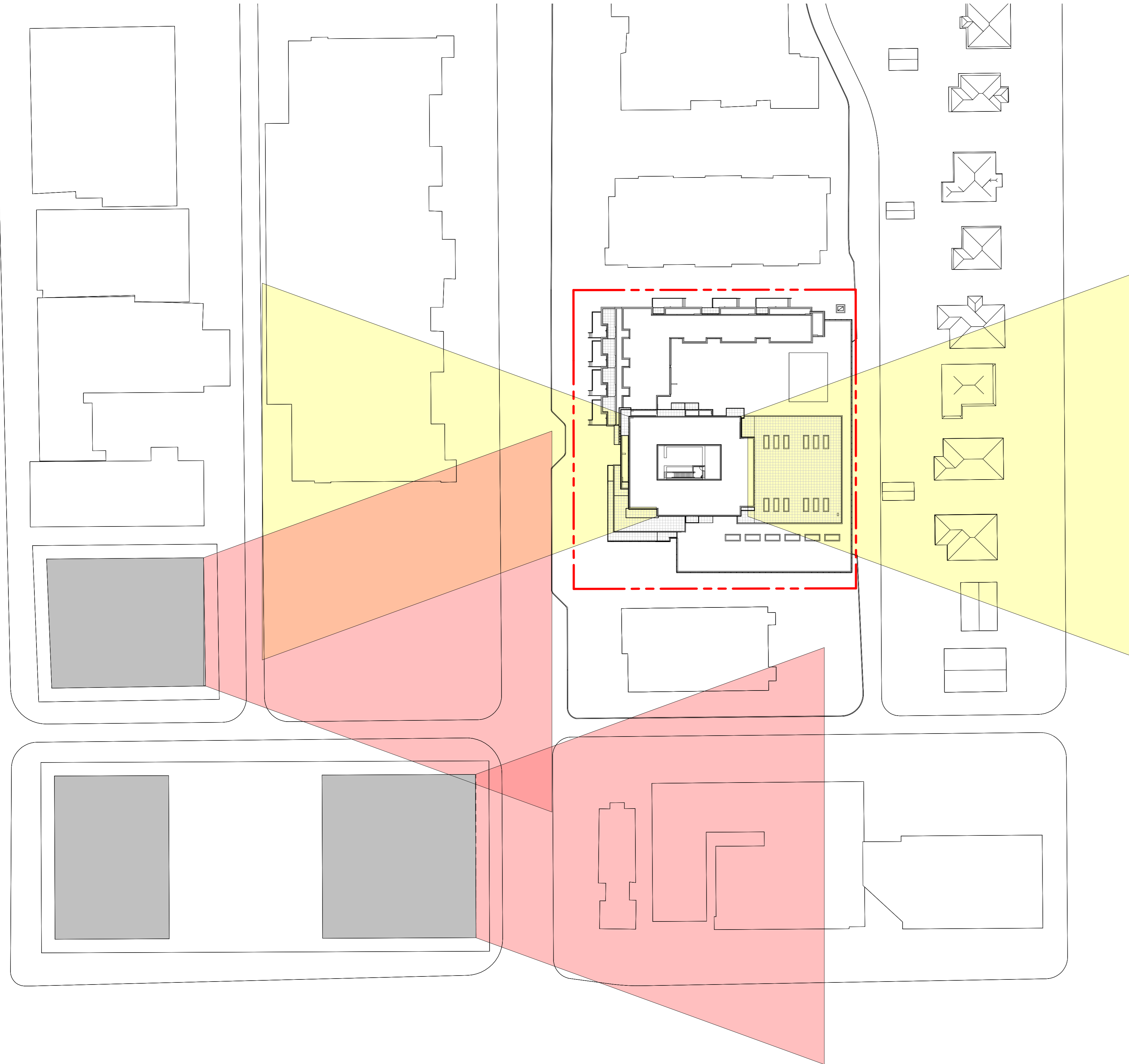
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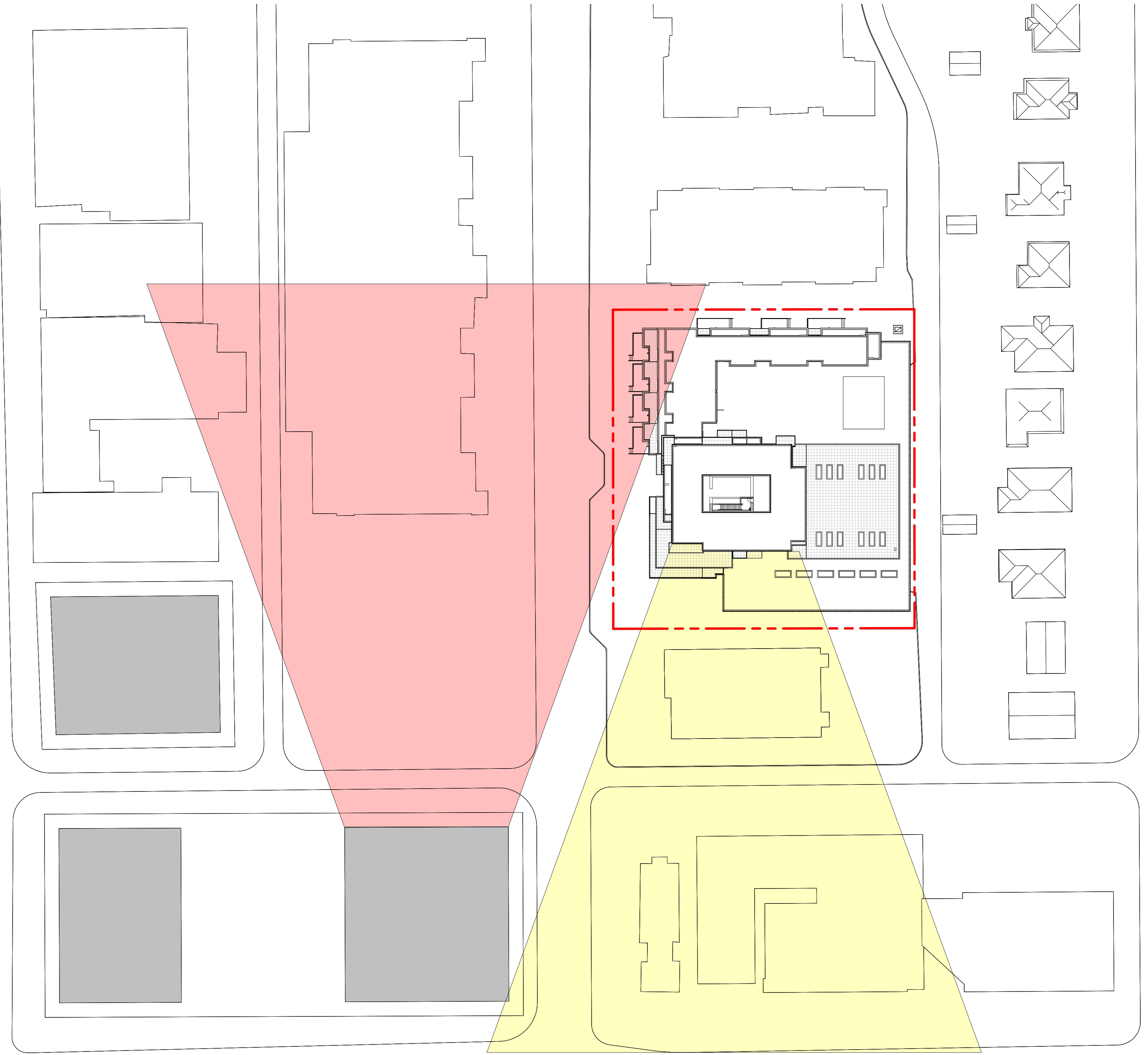
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VIEW CORRIDOR

**BC HOUSING - BERTRAM STREET AFFORDABLE HOUSING PROJECT**  
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 BC HOUSING  
 220109



**1 EAST-WEST VIEW CORRIDOR**  
 SCALE: 1:500



**2 NORTH-SOUTH VIEW CORRIDOR**  
 SCALE: 1:500

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ISSUED FOR	DATE
2 DP SUBMISSION	2022-02-08
3 DP RE-SUBMISSION	2021-07-12
6 DP RE-SUBMISSION	2023-10-20

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 CHECKED BY: S.J.H.

DRAWING NO. **DP1.2**

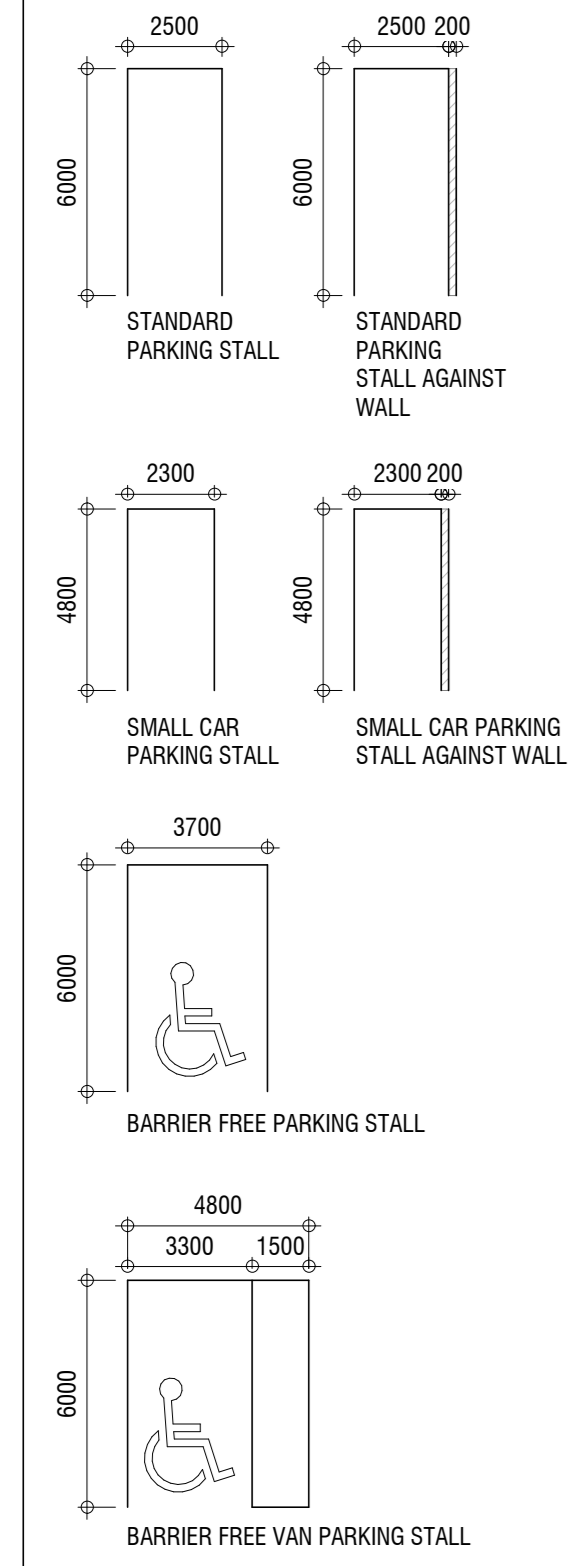
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- INDICATES BUILDING OUTLINE ABOVE
- INDICATES BUILDING OUTLINE BELOW
- INDICATES PROPOSED COLUMNS
- INDICATES PROPOSED STRUCTURAL SHEAR WALLS & ELEVATOR CORE

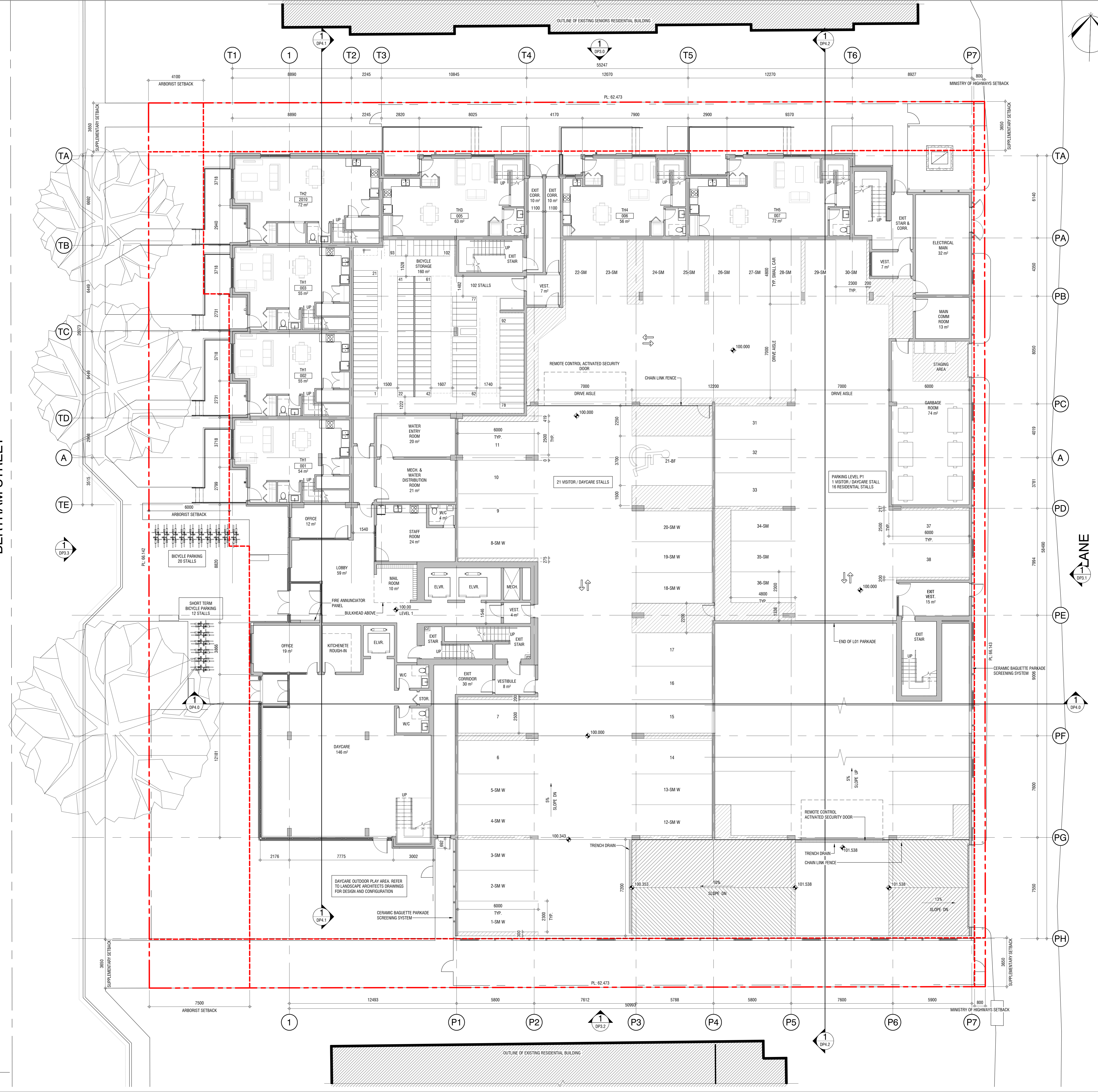
**CFPD PRINCIPALS**

- LIGHT COLOURED PAINTED FINISH TO WALLS, COLUMNS
- AVOID MIRROR CORNERS AND INSTALL CONVEX MIRRORS AS NEEDED
- PROVIDE VISION PANELS IN DOOR LEADING TO PUBLICLY VISIBLE AREAS
- PROVIDE GLAZING TO ELEVATOR LOBBY
- ENSURE ADEQUATE LIGHTING THROUGHOUT PARKING AREA
- INSTALL HARDWIRED VIDEO SURVEILLANCE EQUIPMENT TO PARKING AREAS
- PROVIDE ROUGH SURFACE FINISH TO RAMPS TO DETER SKATEBOARDERS

**PARKING STALL SIZES**



BERTRAM STREET



LEVEL 1  
SCALE: 1:100  
DP2.0  
DP3.1



LEVEL 1 FLOOR & PARKING PLAN  
BC HOUSING - BERTRAM STREET AFFORDABLE HOUSING PROJECT  
1451 & 1469 BERTRAM ST., KELOWNA, BC  
BC HOUSING  
220109

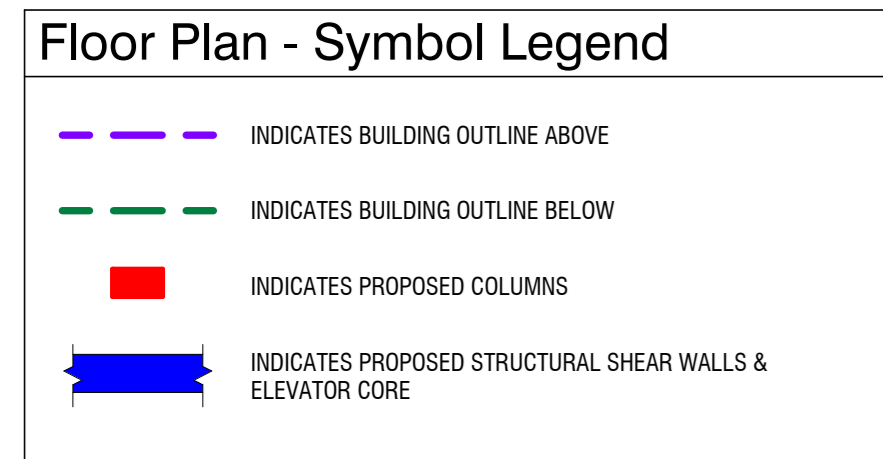
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ISSUED FOR	DATE
1. BCI REVIEW	2023-12-18
2. DP SUBMISSION	2023-02-08
3. DP RE-SUBMISSION	2021-07-12
5. BCI REVIEW	2023-08-09
6. DP RE-SUBMISSION	2023-10-20

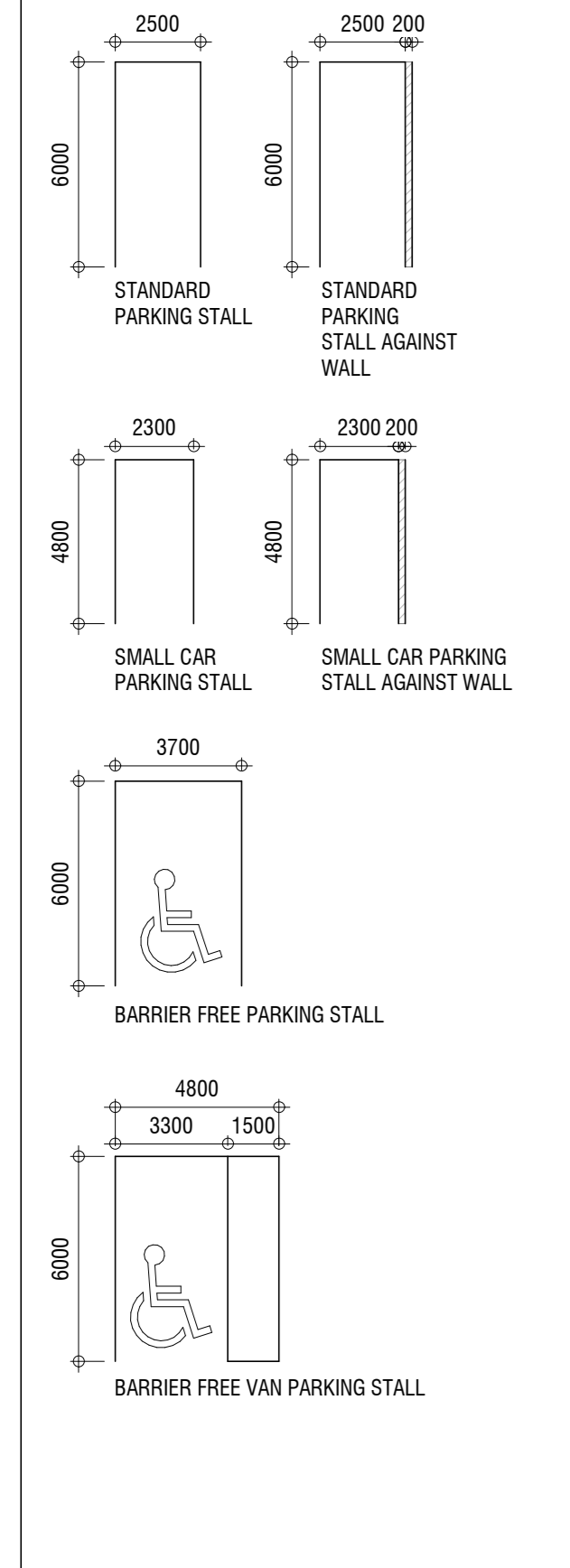
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DRAWN BY: M.D./J.H.  
CHECKED BY: S.H.

DRAWING NO. DP2.0

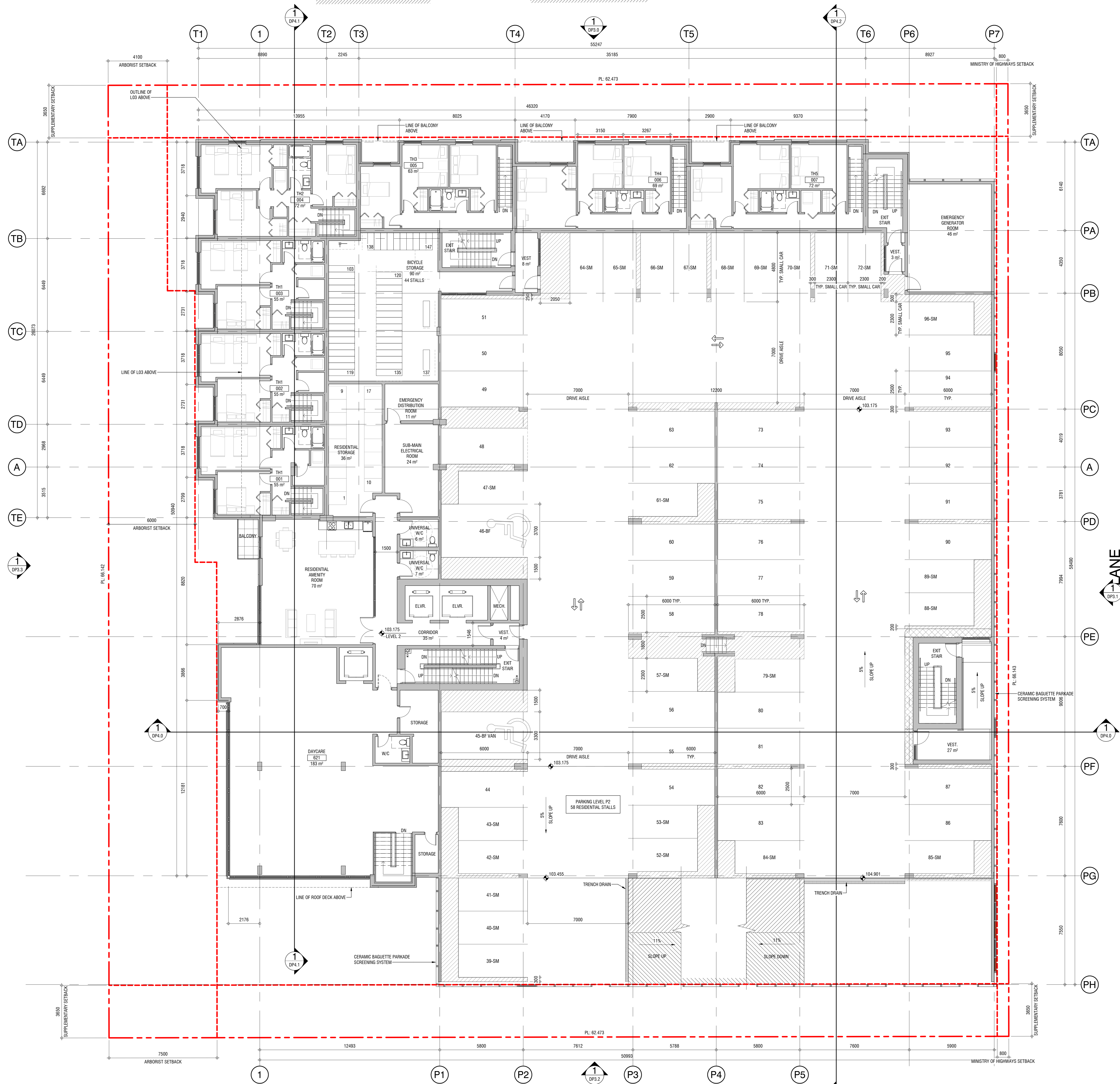


- ### CFED PRINCIPALS
- LIGHT COLOURED PAINTED FINISH TO WALLS, COLUMNS
  - AVOID MIRROR CORNERS AND INSTALL CONVEX MIRRORS AS NEEDED
  - PROVIDE VISION PANELS IN DOOR LEADING TO PUBLICLY VISIBLE AREAS
  - PROVIDE GLAZING TO ELEVATOR LOBBY
  - ENSURE ADEQUATE LIGHTING THROUGHOUT PARKING AREA
  - INSTALL HARDWIRED VIDEO SURVEILLANCE EQUIPMENT TO PARKING AREAS
  - PROVIDE ROUGH SURFACE FINISH TO RAMPS TO DETER SKATEBOARDERS

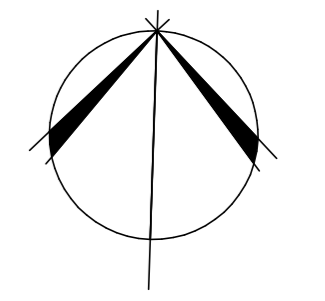
### PARKING STALL SIZES



BERTRAM STREET



1 LEVEL 2  
DP2.1 SCALE: 1:100  
DP3.0



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LEVEL 2 FLOOR & PARKING PLAN  
BC HOUSING - BERTRAM STREET AFFORDABLE HOUSING PROJECT  
1451 & 1469 BERTRAM ST., KELOWNA, BC  
BC HOUSING  
250109

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ISSUED FOR	DATE
1 BCI REVIEW	2023-12-18
2 DP SUBMISSION	2023-02-08
3 DP RE-SUBMISSION	2021-07-12
5 BCI REVIEW	2023-08-09
6 DP RE-SUBMISSION	2023-10-20

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DRAWN BY M.D./J.H.  
CHECKED BY S.H.

DRAWING NO.

DP2.1

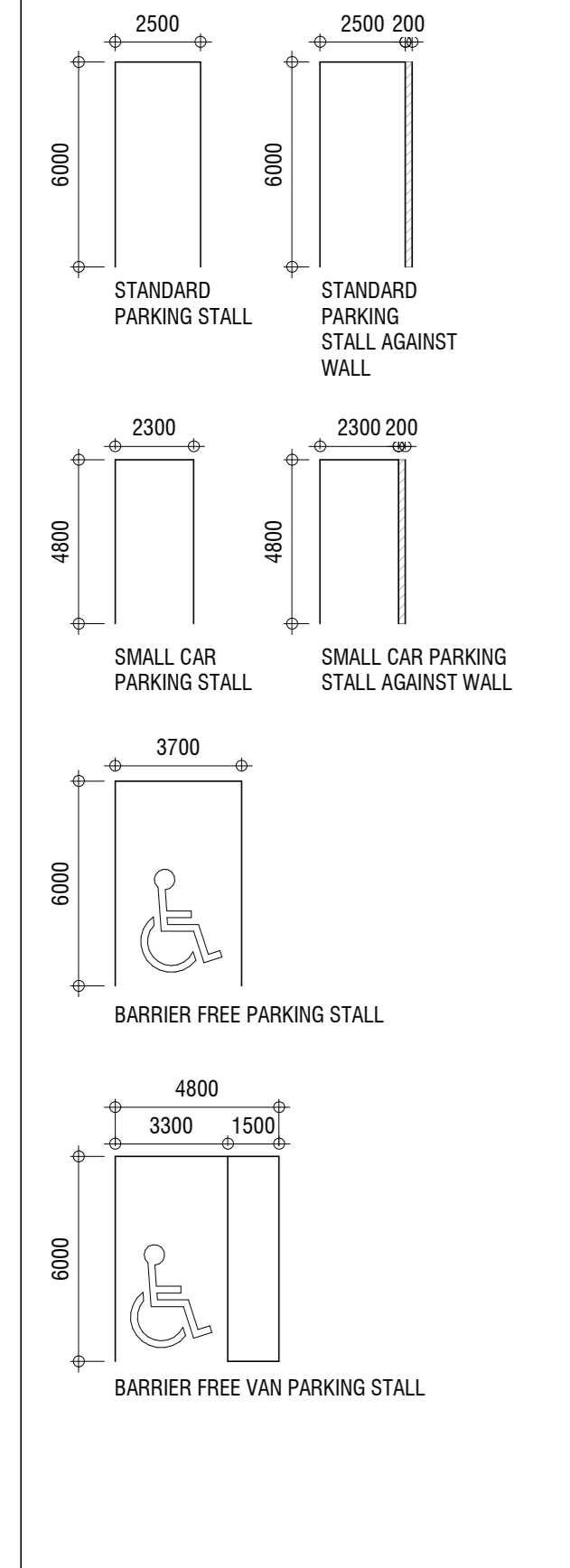
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- INDICATES BUILDING OUTLINE ABOVE
- INDICATES BUILDING OUTLINE BELOW
- INDICATES PROPOSED COLUMNS
- INDICATES PROPOSED STRUCTURAL SHEAR WALLS & ELEVATOR CORE

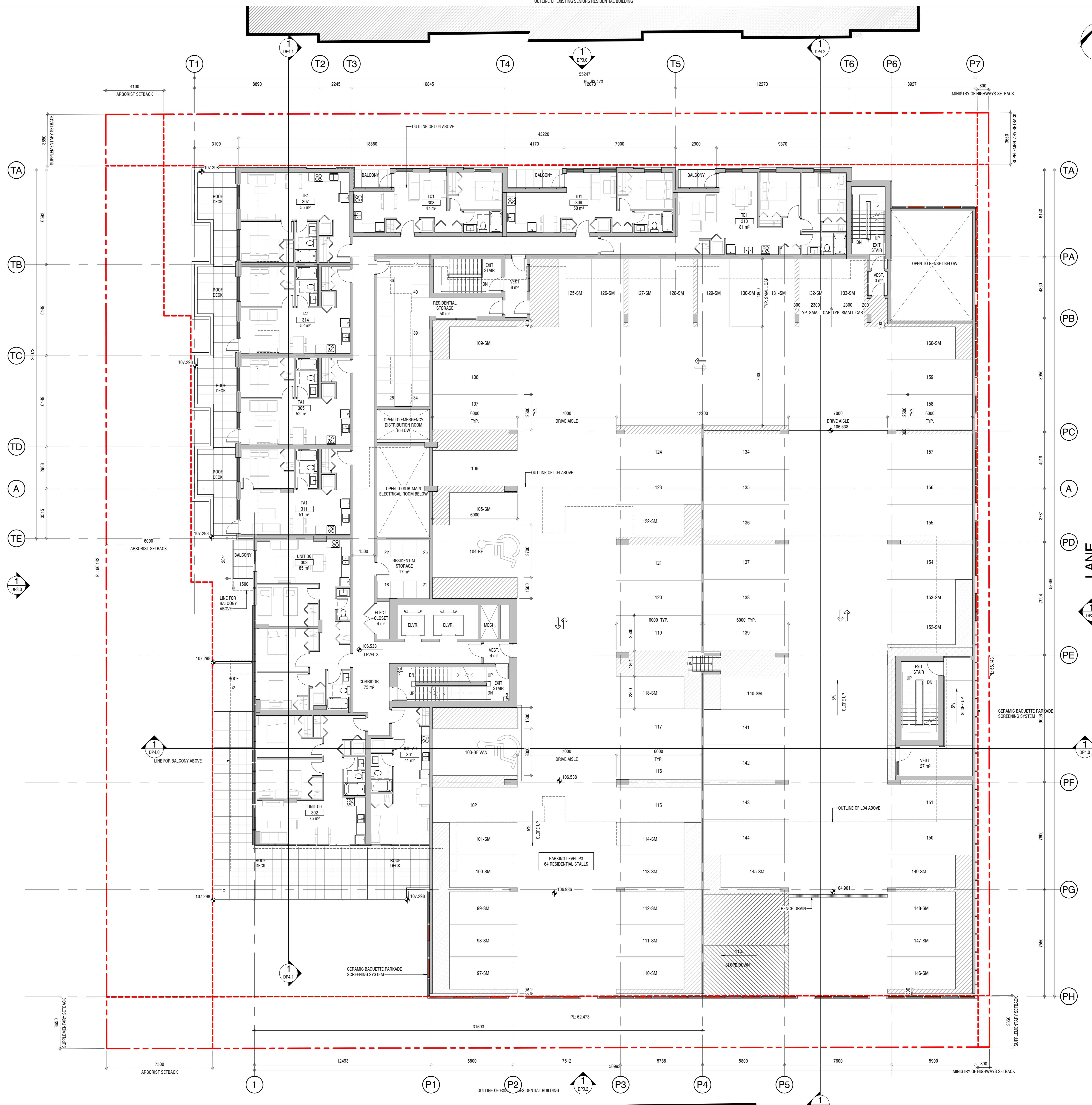
### CFPD PRINCIPALS

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- PROVIDE GLAZING TO ELEVATOR LOBBY
- ENSURE ADEQUATE LIGHTING THROUGHOUT PARKING AREA
- INSTALL HARDWIRED VIDEO SURVEILLANCE EQUIPMENT TO PARKING AREAS
- PROVIDE ROUGH SURFACE FINISH TO RAMPS TO DETER SKATEBOARDERS

### PARKING STALL SIZES



BERTRAM STREET



1 LEVEL 3  
DP2.2 SCALE: 1:100  
DP3.0



LEVEL 3 FLOOR & PARKING PLAN  
**BC HOUSING - BERTRAM STREET AFFORDABLE HOUSING PROJECT**  
 1451 & 1469 BERTRAM ST., KELOWNA, BC  
 BC HOUSING  
 220109

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ISSUED FOR	DATE
1 BCI REVIEW	2023-12-18
2 DP SUBMISSION	2023-02-08
3 DP RE-SUBMISSION	2021-07-12
5 BCI REVIEW	2023-08-09
6 DP RE-SUBMISSION	2023-10-20

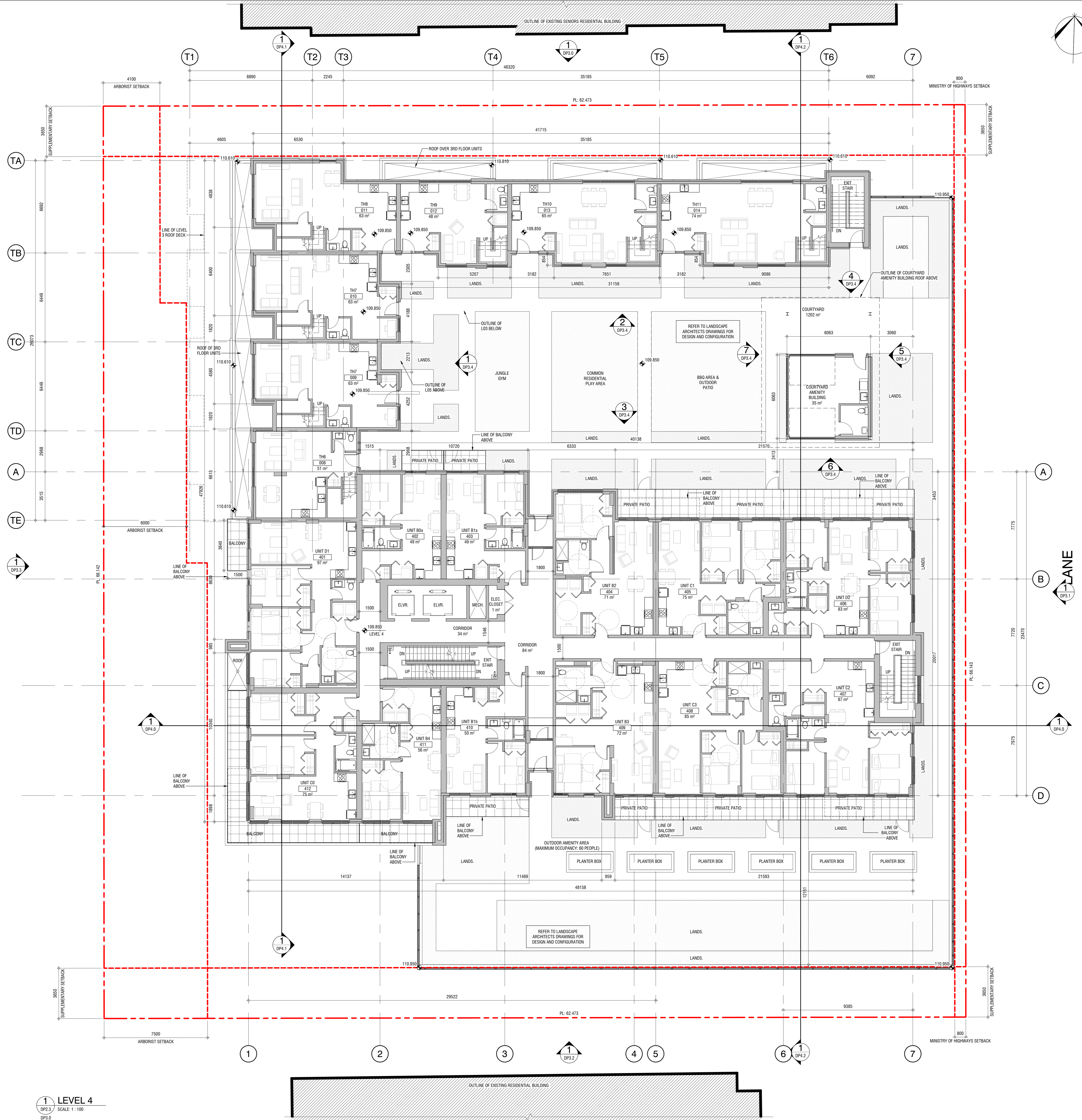
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 DRAWN BY: M.D.J.H.  
 CHECKED BY: S.H.

DRAWING NO.  
**DP2.2**

**Floor Plan - Symbol Legend**

- INDICATES BUILDING OUTLINE ABOVE
- INDICATES BUILDING OUTLINE BELOW
- INDICATES PROPOSED COLUMNS
- INDICATES PROPOSED STRUCTURAL SHEAR WALLS & ELEVATOR CORE

BERTRAM STREET



1 LEVEL 4  
DP2.3 SCALE: 1:100  
DP3.0

**NOT FOR CONSTRUCTION**

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ISSUED FOR	DATE
1 BCI REVIEW	2020-12-18
2 DP SUBMISSION	2020-02-08
3 DP RE-SUBMISSION	2021-07-12
6 DP RE-SUBMISSION	2023-10-20

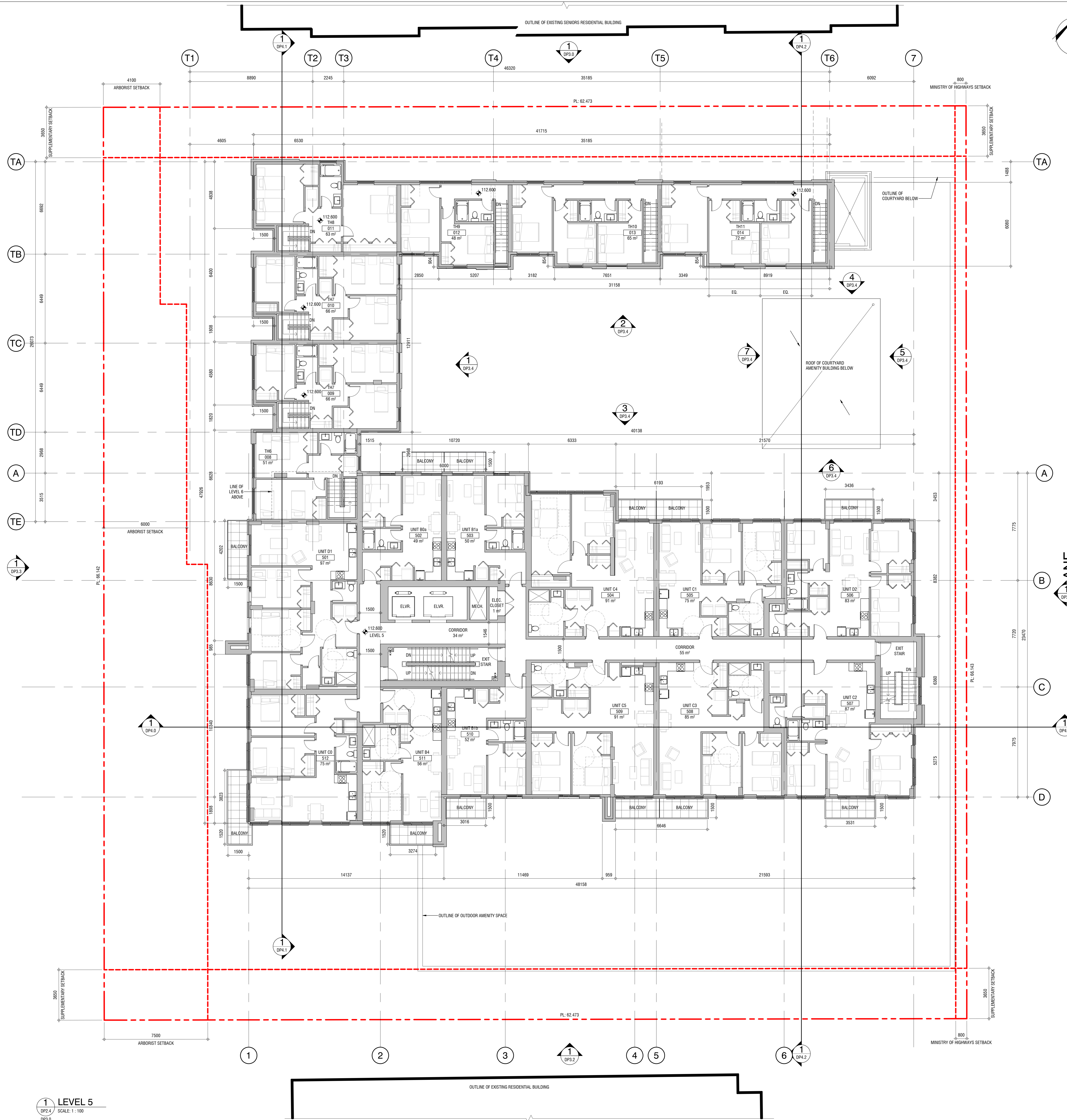
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CHECKED BY S.H.

DRAWING NO. **DP2.3**

**Floor Plan - Symbol Legend**

- INDICATES BUILDING OUTLINE ABOVE
- INDICATES BUILDING OUTLINE BELOW
- INDICATES PROPOSED COLUMNS
- INDICATES PROPOSED STRUCTURAL SHEAR WALLS & ELEVATOR CORE

BERTRAM STREET



1 LEVEL 5  
DP2.4  
SCALE: 1:100  
DP3.0



LEVEL 5 FLOOR PLAN  
BC HOUSING - BERTRAM STREET AFFORDABLE HOUSING PROJECT  
1451 & 1469 BERTRAM ST., KELOWNA, BC  
BC HOUSING  
220109

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ISSUED FOR	DATE
1. BCI REVIEW	2020-12-18
2. DP SUBMISSION	2020-02-08
3. DP RE-SUBMISSION	2021-07-12
6. DP RE-SUBMISSION	2023-10-20

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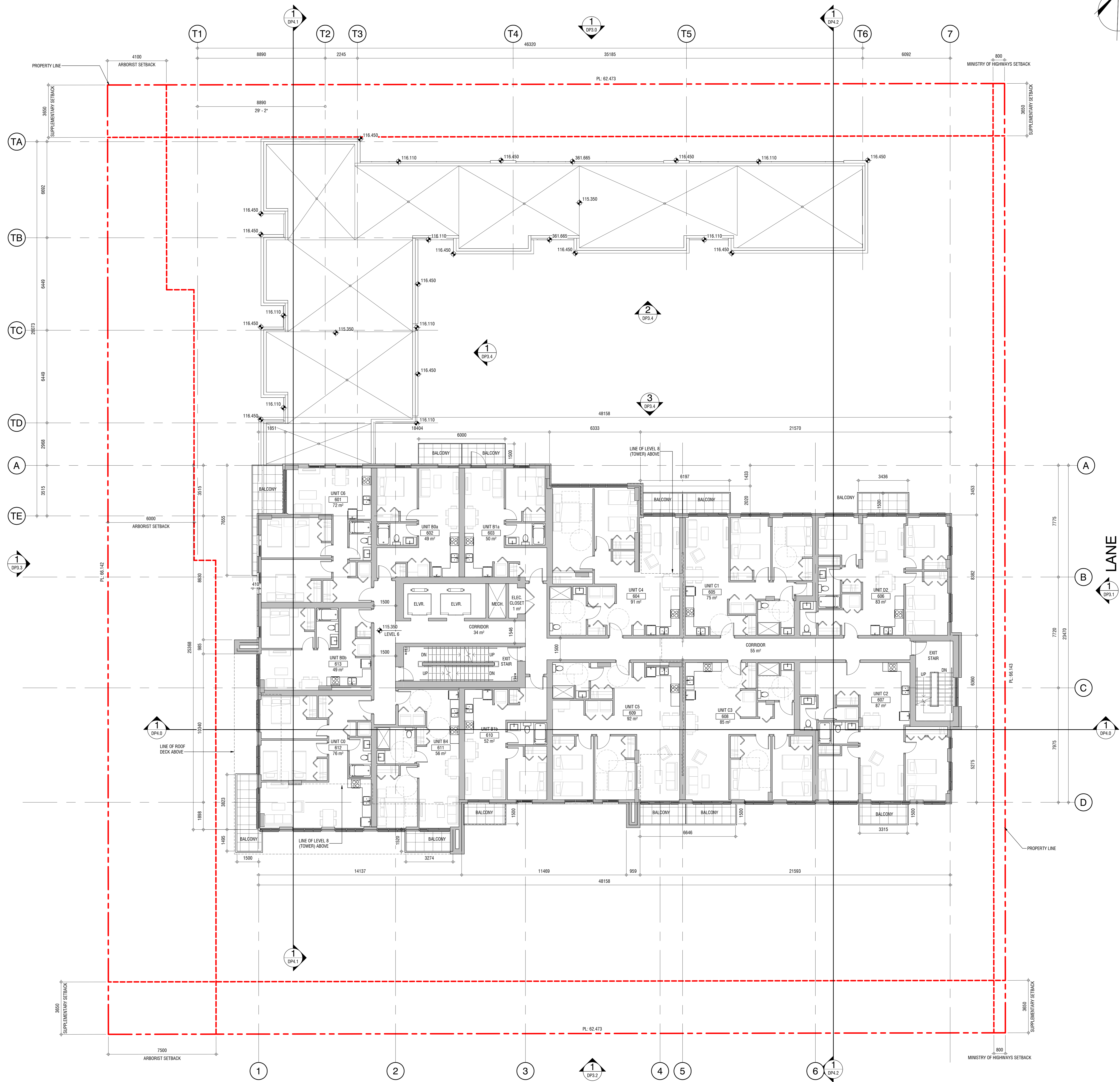
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**Floor Plan - Symbol Legend**

- INDICATES BUILDING OUTLINE ABOVE
- INDICATES BUILDING OUTLINE BELOW
- INDICATES PROPOSED COLUMNS
- INDICATES PROPOSED STRUCTURAL SHEAR WALLS & ELEVATOR CORE

BERTRAM STREET



1 LEVELS 6 - 7  
DP2.5 SCALE: 1:100  
DP3.0



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LEVELS 6-7 FLOOR PLAN  
**BC HOUSING - BERTRAM STREET AFFORDABLE HOUSING PROJECT**  
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BC HOUSING  
220109

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ISSUED FOR	DATE
1 BCI REVIEW	2020-12-18
2 DP SUBMISSION	2020-02-08
3 DP RE-SUBMISSION	2021-07-12
6 DP RE-SUBMISSION	2023-10-20

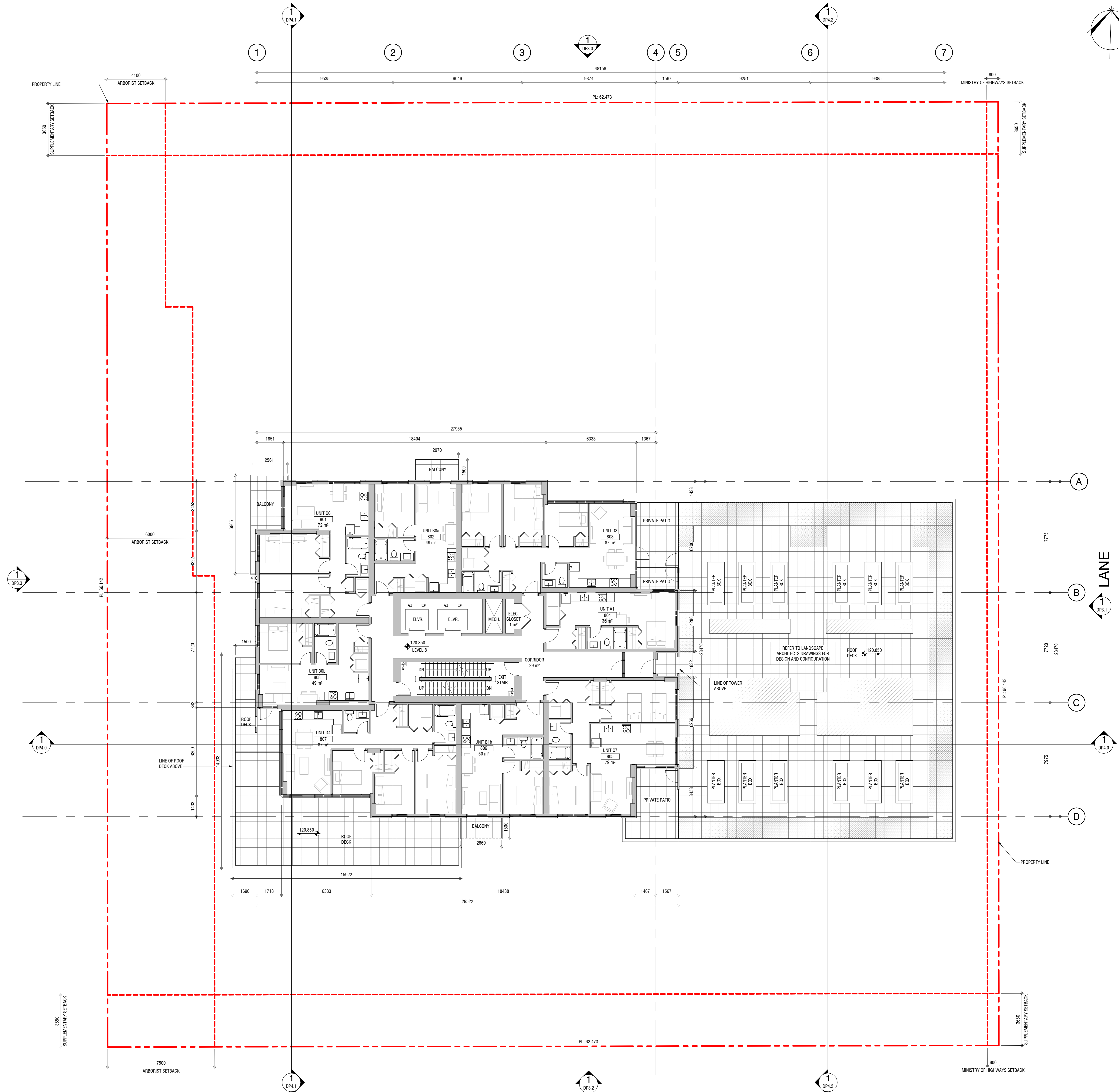
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DATE: 11/1/2023 1:47:40 PM  
DRAWN BY: M.D./J.H.  
CHECKED BY: S.H.

DRAWING NO.  
**DP2.5**

**Floor Plan - Symbol Legend**

- INDICATES BUILDING OUTLINE ABOVE
- INDICATES BUILDING OUTLINE BELOW
- INDICATES PROPOSED COLUMNS
- INDICATES PROPOSED STRUCTURAL SHEAR WALLS & ELEVATOR CORE

BERTRAM STREET



1 LEVEL 8  
DP2.6 SCALE: 1:100  
DP3.0



LEVEL 8 FLOOR PLAN

**BC HOUSING - BERTRAM STREET AFFORDABLE HOUSING PROJECT**  
1451 & 1469 BERTRAM ST., KELOWNA, BC  
BC HOUSING  
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ISSUED FOR	DATE
1 BCI REVIEW	2020-12-18
2 DP SUBMISSION	2020-02-08
3 DP RE-SUBMISSION	2021-07-12
6 DP RE-SUBMISSION	2023-10-20

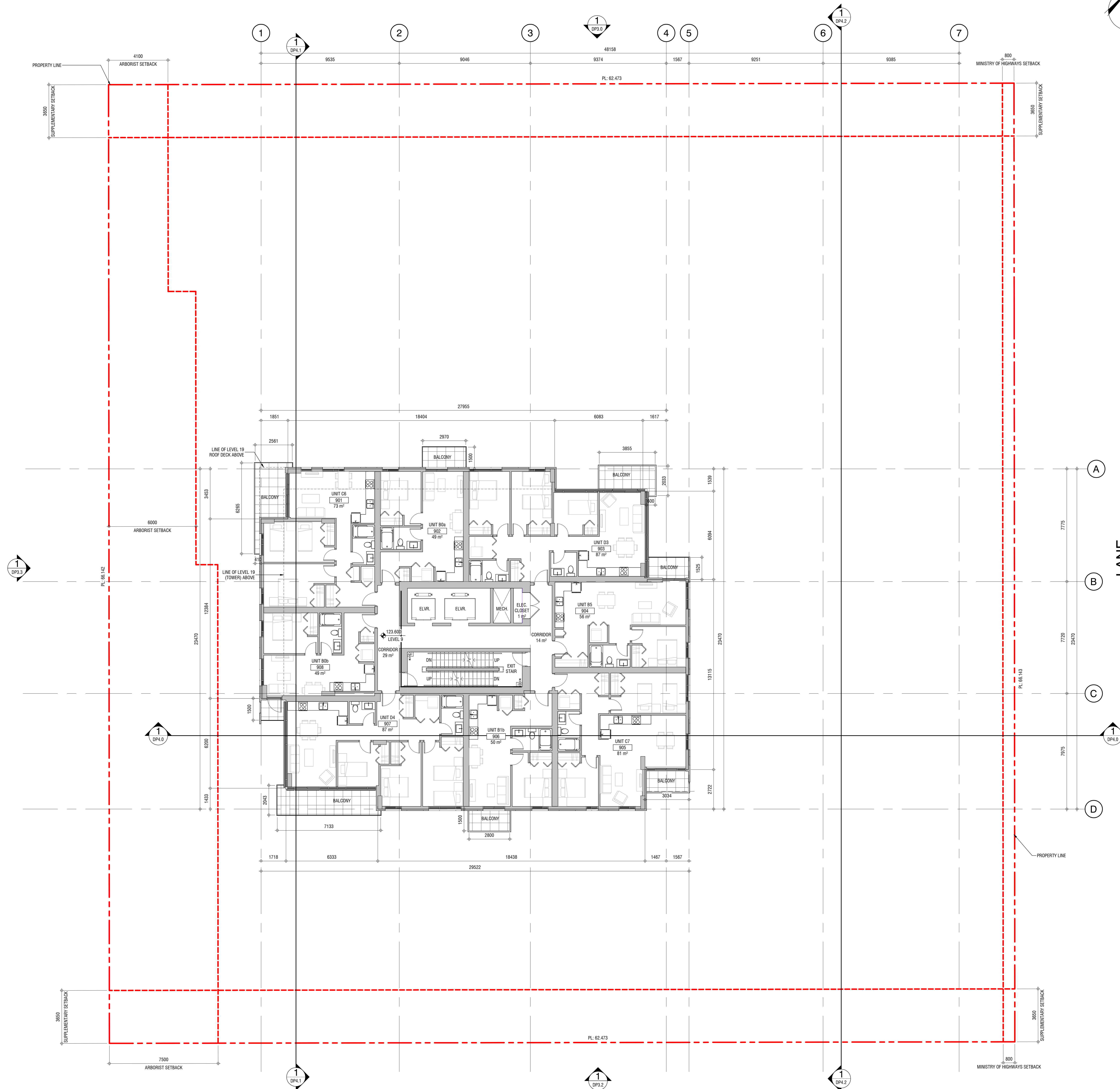
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DRAWN BY M.D.J.H.  
CHECKED BY S.H.

DRAWING NO. DP2.6

**Floor Plan - Symbol Legend**

- INDICATES BUILDING OUTLINE ABOVE
- INDICATES BUILDING OUTLINE BELOW
- INDICATES PROPOSED COLUMNS
- INDICATES PROPOSED STRUCTURAL SHEAR WALLS & ELEVATOR CORE

BERTRAM STREET



1 LEVELS 9 - 18  
DP2.7 SCALE: 1:100  
DP3.0



LEVELS 9-18 FLOOR PLAN

**BC HOUSING - BERTRAM STREET AFFORDABLE HOUSING PROJECT**  
1451 & 1469 BERTRAM ST., KELOWNA, BC  
BC HOUSING 220109

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ISSUED FOR	DATE
1 BCI REVIEW	2023-12-18
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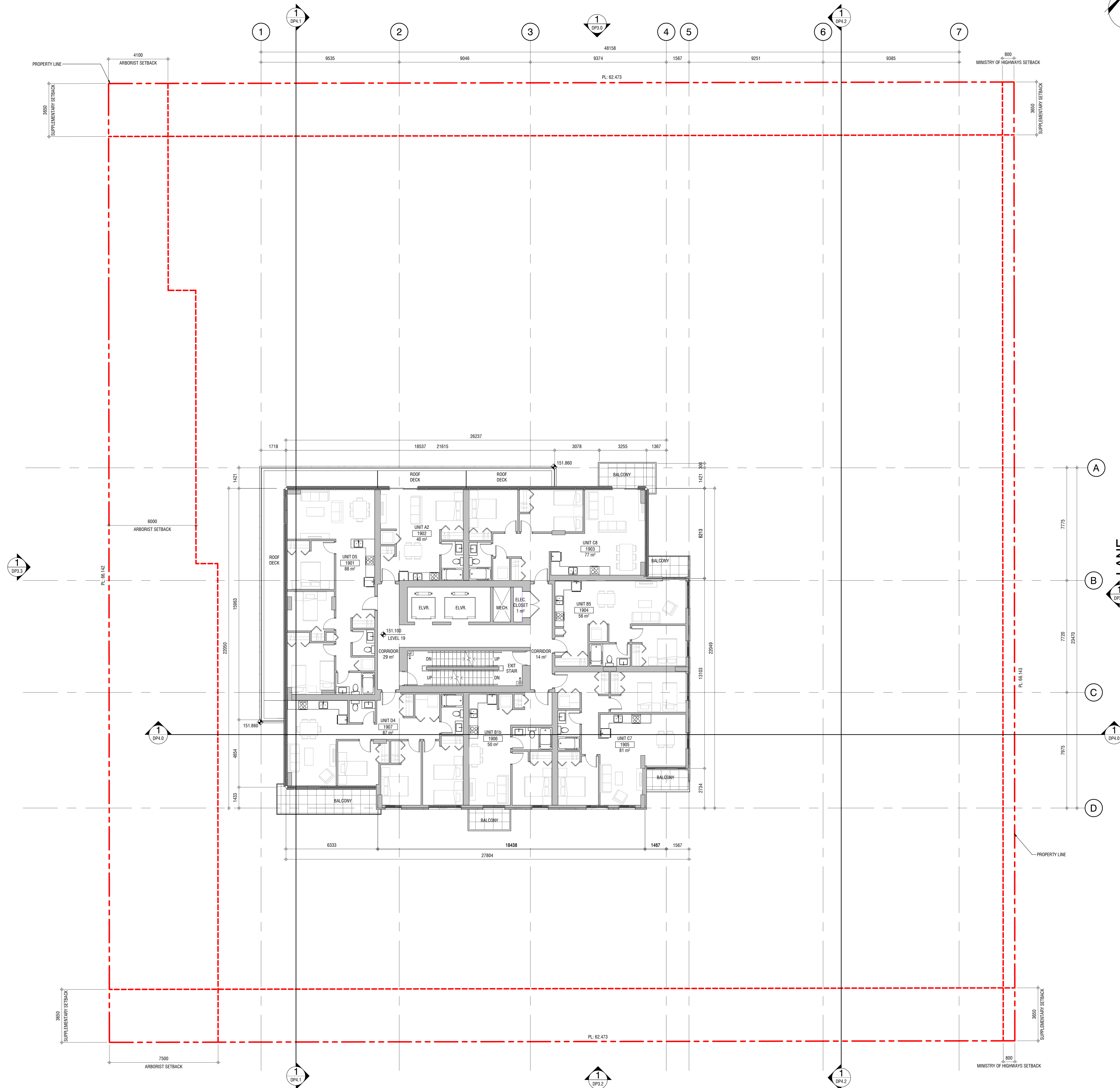
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DRAWN BY	M.D.J.H.
CHECKED BY	S.H.

DRAWING NO. **DP2.7**

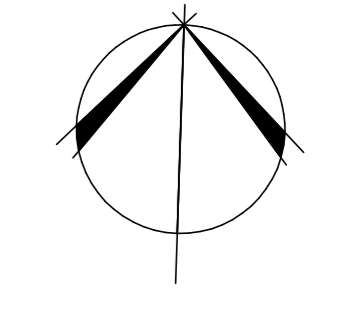
**Floor Plan - Symbol Legend**

- INDICATES BUILDING OUTLINE ABOVE
- INDICATES BUILDING OUTLINE BELOW
- INDICATES PROPOSED COLUMNS
- INDICATES PROPOSED STRUCTURAL SHEAR WALLS & ELEVATOR CORE

BERTRAM STREET



1 LEVEL 19  
DP2.8 SCALE: 1:100  
DP3.0



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LEVEL 19 FLOOR PLAN  
**BC HOUSING - BERTRAM STREET AFFORDABLE HOUSING PROJECT**  
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 BC HOUSING  
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6 DP RE-SUBMISSION	2023-10-20

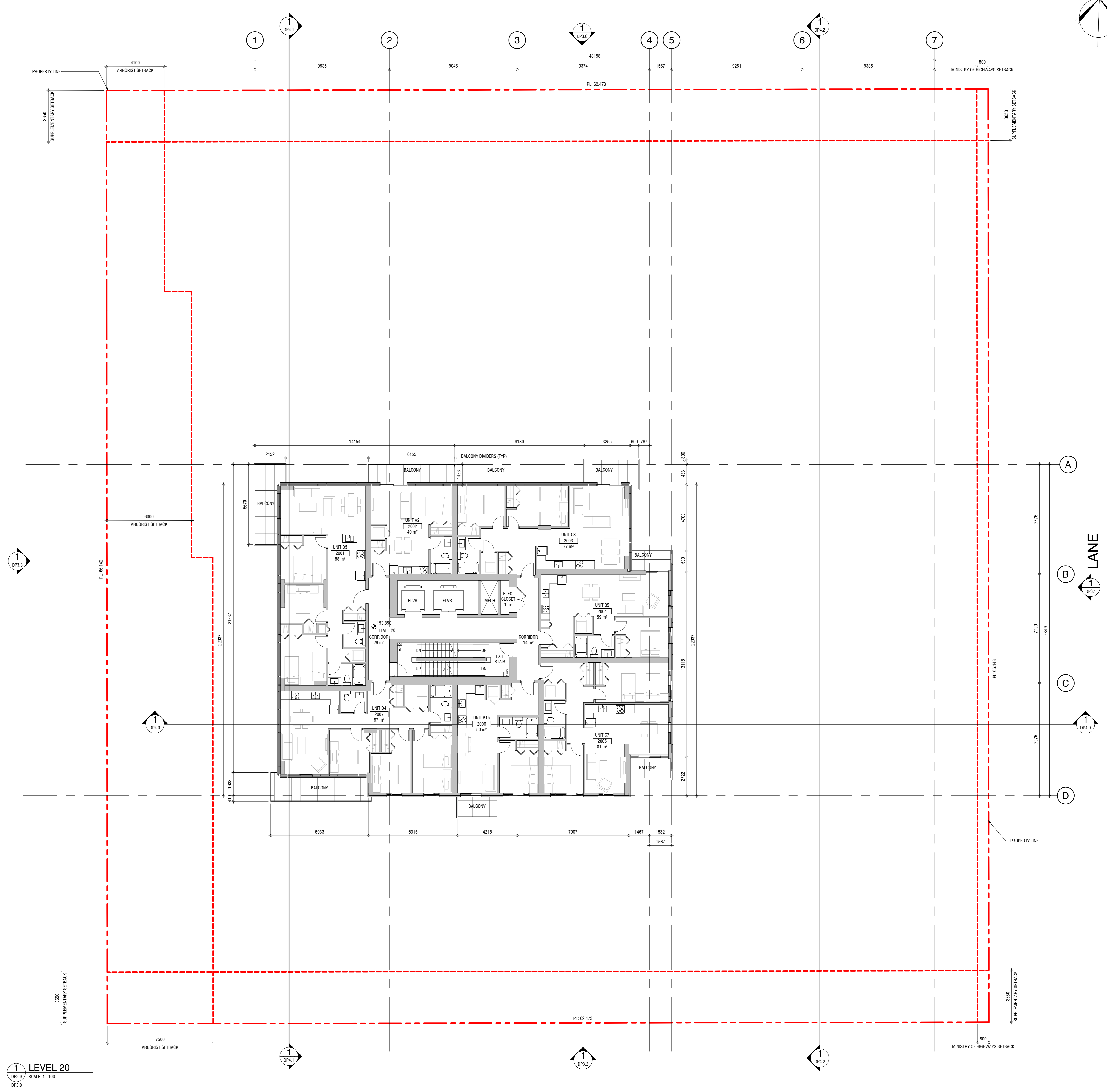
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 DRAWN BY M.D./J.H.  
 CHECKED BY S.H.

DRAWING NO. **DP2.8**

**Floor Plan - Symbol Legend**

- INDICATES BUILDING OUTLINE ABOVE
- INDICATES BUILDING OUTLINE BELOW
- INDICATES PROPOSED COLUMNS
- INDICATES PROPOSED STRUCTURAL SHEAR WALLS & ELEVATOR CORE

BERTRAM STREET



1 LEVEL 20  
DP2.9 / SCALE: 1:100  
DP3.0



LEVEL 20 FLOOR PLAN

**BC HOUSING - BERTRAM STREET AFFORDABLE HOUSING PROJECT**  
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BC HOUSING  
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ISSUED FOR	DATE
1 BOM REVIEW	2020-12-16
2 DP SUBMISSION	2020-02-06
3 DP RE-SUBMISSION	2021-07-12
6 DP RE-SUBMISSION	2023-10-20

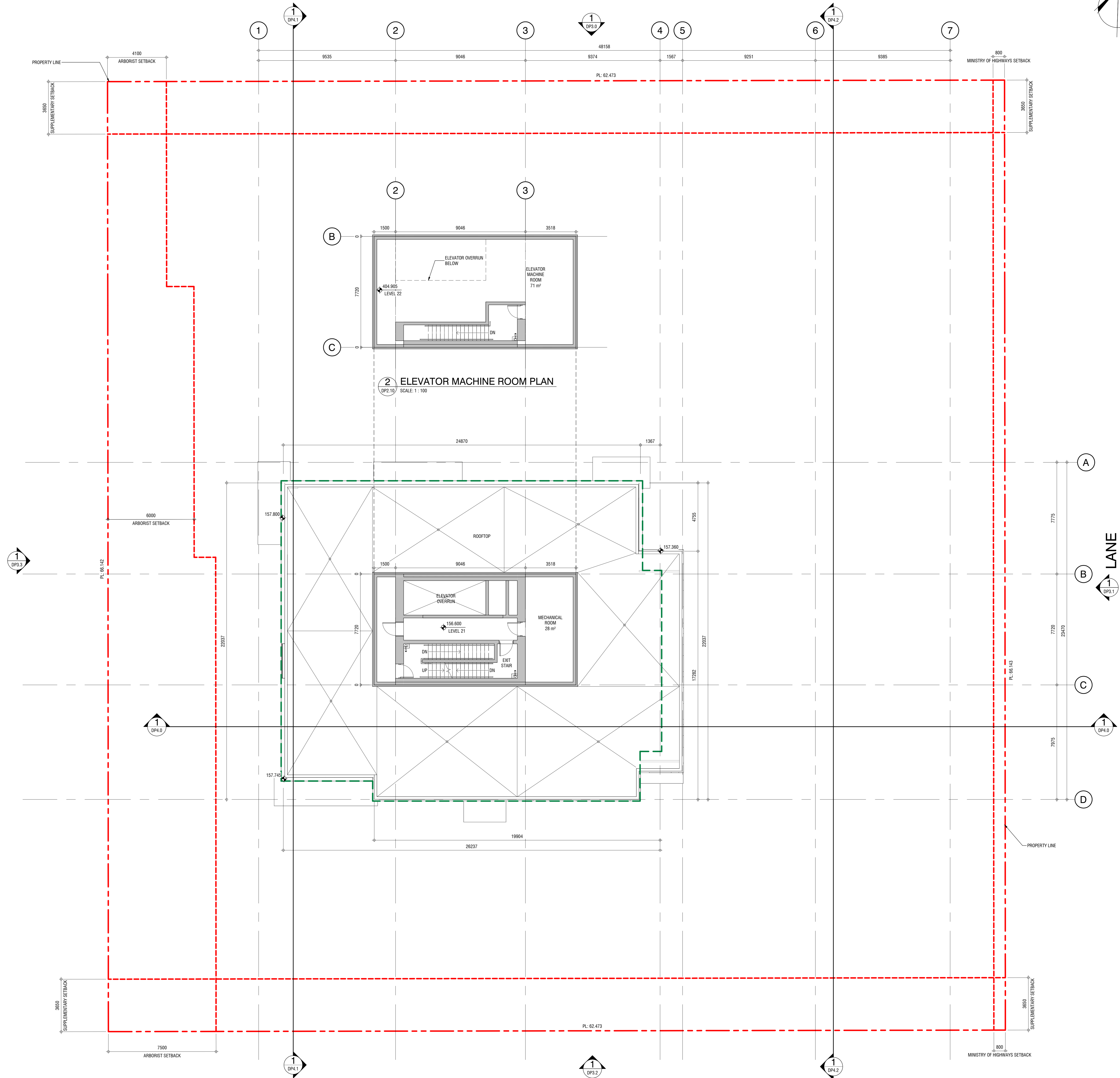
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CHECKED BY Checker

DRAWING NO. **DP2.9**

**Floor Plan - Symbol Legend**

- INDICATES BUILDING OUTLINE ABOVE
- INDICATES BUILDING OUTLINE BELOW
- INDICATES PROPOSED COLUMNS
- INDICATES PROPOSED STRUCTURAL SHEAR WALLS & ELEVATOR CORE

BERTRAM STREET



**1 MECHANICAL PENTHOUSE**  
DP2.10 SCALE: 1:100  
DP3.0

**2 ELEVATOR MACHINE ROOM PLAN**  
DP2.10 SCALE: 1:100



#402, 134 Abbott Street  
Vancouver, British Columbia, Canada V6B 2K4  
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F: 604.681.2211  
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MECHANICAL PENTHOUSE PLAN  
**BC HOUSING - BERTRAM STREET AFFORDABLE HOUSING PROJECT**  
1451 & 1469 BERTRAM ST., KELOWNA, BC  
BC HOUSING  
220109

**NOT FOR CONSTRUCTION**

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ISSUED FOR	DATE
1 BCI REVIEW	2023-12-18
2 DP SUBMISSION	2023-02-08
3 DP RE-SUBMISSION	2021-07-12
6 DP RE-SUBMISSION	2023-10-20

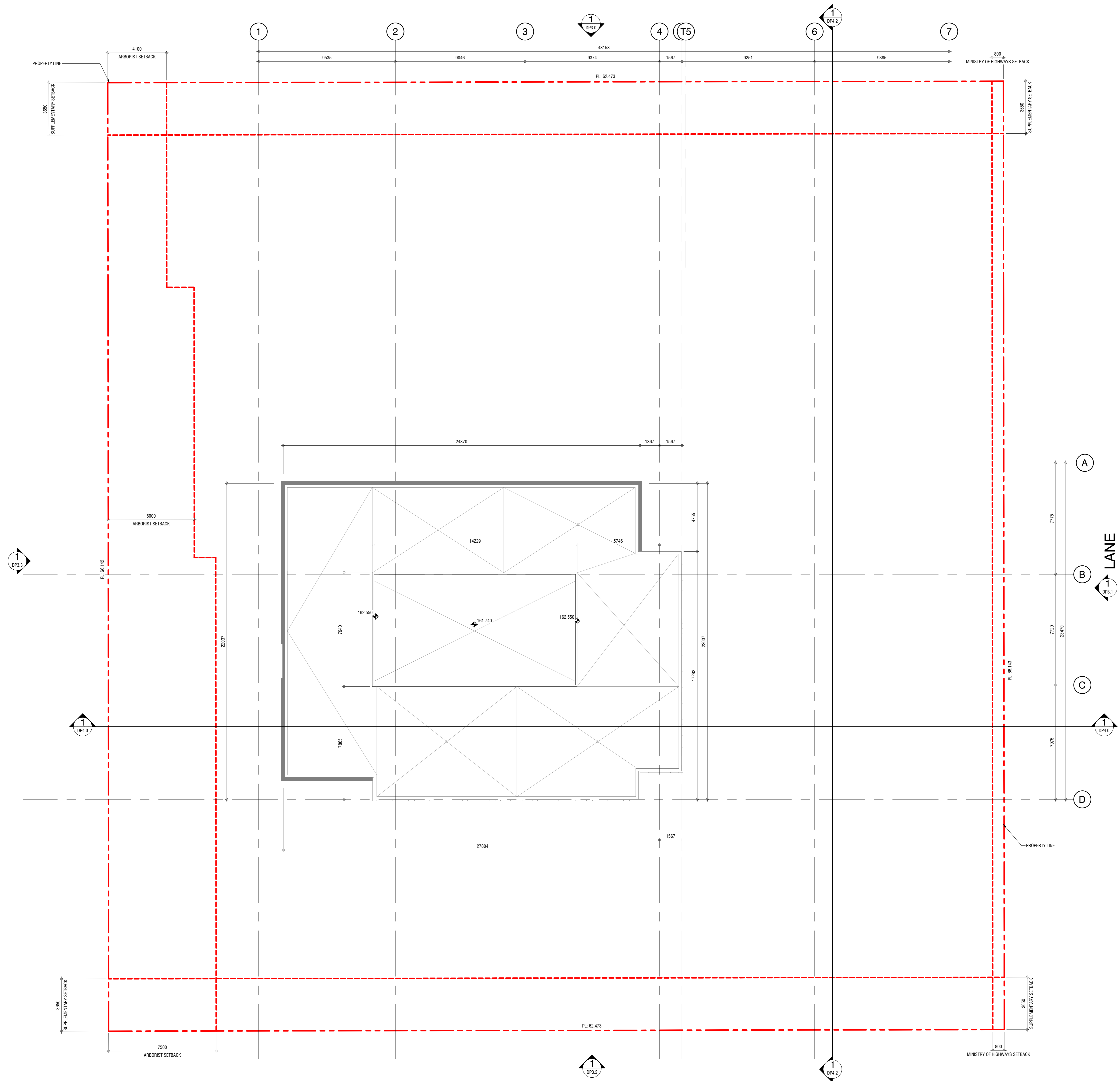
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DRAWN BY	M.D./J.H.
CHECKED BY	S.H.

DRAWING NO.  
**DP2.10**

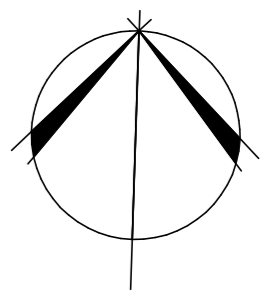
**Floor Plan - Symbol Legend**

	INDICATES BUILDING OUTLINE ABOVE
	INDICATES BUILDING OUTLINE BELOW
	INDICATES PROPOSED COLUMNS
	INDICATES PROPOSED STRUCTURAL SHEAR WALLS & ELEVATOR CORE

BERTRAM STREET



**1 ROOF PLAN**  
DP2.11 SCALE: 1:100



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ROOF PLAN

**BC HOUSING - BERTRAM STREET AFFORDABLE HOUSING PROJECT**  
1451 & 1469 BERTRAM ST., KELOWNA, BC  
BC HOUSING 220109

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ISSUED FOR	DATE
2 DP SUBMISSION	2025-02-08
3 DP RE-SUBMISSION	2021-07-12
6 DP RE-SUBMISSION	2023-10-20

SCALE	As indicated
DATE	11/1/2023 1:47:44 PM
DRAWN BY	M.D.J.H.
CHECKED BY	SH

DRAWING NO. **DP2.11**

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1. BCI REVIEW	2025-12-18
2. DP SUBMISSION	2025-02-08
3. DP RE-SUBMISSION	2021-07-12
6. DP RE-SUBMISSION	2023-10-20

SCALE: As indicated  
DATE: 10/13/2023 12:36:08 PM  
DRAWN BY: M.D./J.H.  
CHECKED BY: S.H.

DRAWING NO. **DP3.0**

**Elevation - Code Legend**

1	STACK BOND BRICK CLADDING - CHARCOAL
2	CEMENTITIOUS CLADDING PANEL - WHITE
3	CEMENTITIOUS CLADDING PANEL - TALPE
4	CEMENTITIOUS CLADDING PANEL - TERRACOTTA
5	CEMENTITIOUS CLADDING PANEL - CHARCOAL
6	VISION GLASS WINDOW C/W PREFINISHED ALUMINUM MULLION - CHARCOAL
7	VISION GLASS WINDOW WALL C/W PREFINISHED ALUMINUM MULLION - CHARCOAL
8	COMMERCIAL STOREFRONT GLAZING SYSTEM C/W PREFINISHED ALUMINUM MULLION - CLEAR ANODIZED
9	INSULATED SPANDREL GLASS - WHITE
10	INSULATED SPANDREL GLASS - CHARCOAL
11	INSULATED SPANDREL GLASS - GREY
12	CERAMIC BAGUETTE PARKADE SCREENING SYSTEM - TERRACOTTA
13	CERAMIC BAGUETTE PARKADE SCREENING SYSTEM - CHARCOAL
14	GLAZED GUARD (CLEAR): SLAB MOUNTED
15	GLAZED GUARD (CLEAR): SLAB FACE MOUNTED
16	INSULATED HOLLOW METAL DOOR - ORANGE
17	WINDOW WALL DOUBLE SWING DOOR C/W VISION GLASS INSERT
18	WINDOW WALL SWING DOOR C/W VISION GLASS INSERT
19	WINDOW WALL SLIDING DOOR C/W VISION GLASS INSERT
20	SLIDING DOOR C/W VISION GLASS INSERT
21	INSULATED HOLLOW METAL DOOR - GREY
22	INSULATED HOLLOW METAL DOOR - CHARCOAL
23	PRE-FINISHED ALUMINUM ACCESS GATE C/W VISION GLASS
24	PRE-FINISHED ALUMINUM PARKADE ACCESS GATE
25	PRE-FINISHED ALUMINUM ROLL UP SERVICE DOOR
26	PRE-FINISHED ALUMINUM GUARD RAIL
27	PREFINISHED METAL CLADDING



**1 NORTH ELEVATION**  
DP3.0 / SCALE: 1:100



**NOT FOR CONSTRUCTION**

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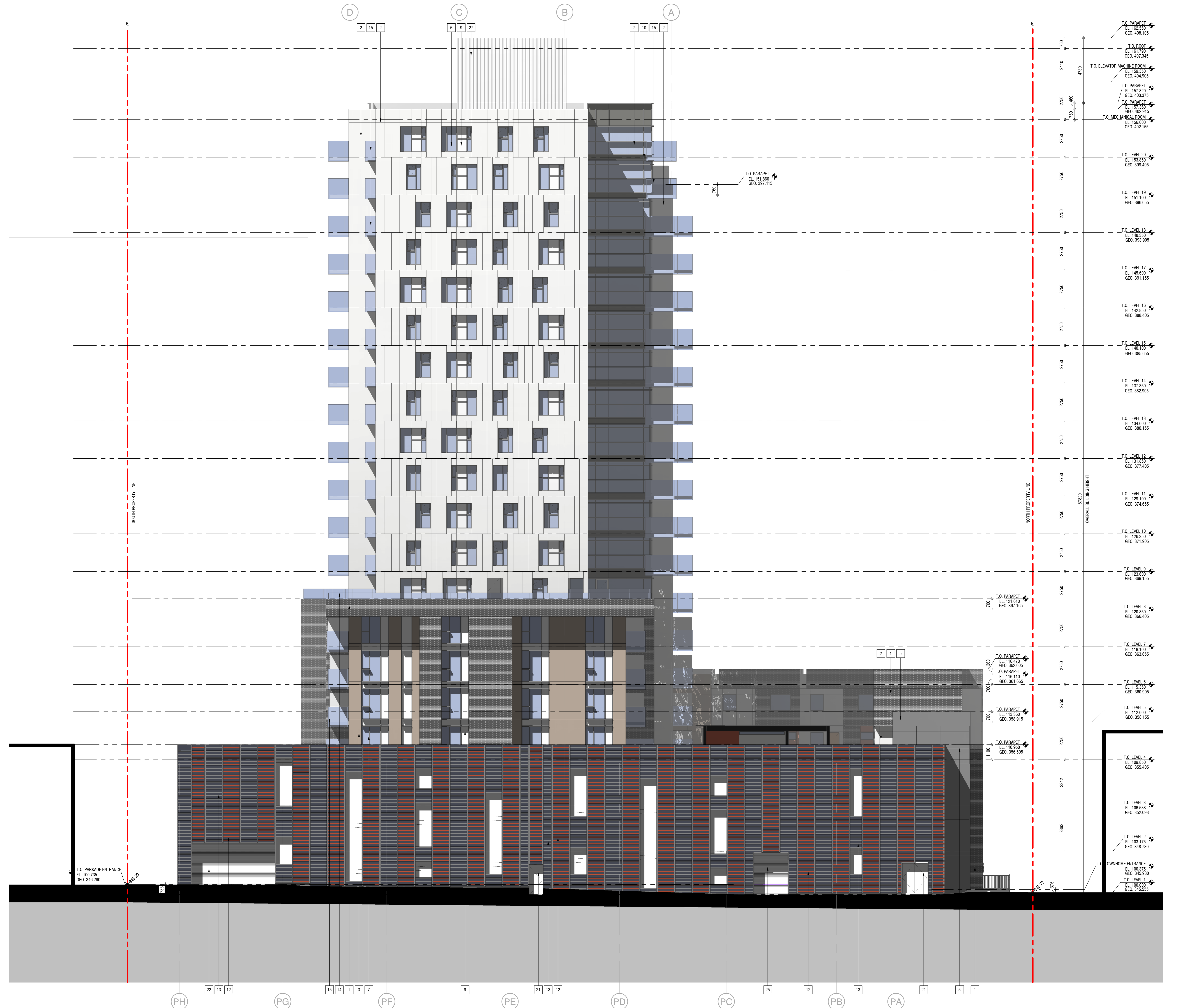
ISSUED FOR	DATE
1 BCI REVIEW	2020-12-18
2 DP SUBMISSION	2020-02-08
3 DP RE-SUBMISSION	2021-07-12
6 DP RE-SUBMISSION	2023-10-20

SCALE	As Indicated
DATE	10/13/2023 12:31:25 PM
DRAWN BY	M.D./J.H.
CHECKED BY	S.H.

DRAWING NO. **DP3.1**

**Elevation - Code Legend**

1	STACK BOND BRICK CLADDING - CHARCOAL
2	CEMENTITIOUS CLADDING PANEL - WHITE
3	CEMENTITIOUS CLADDING PANEL - TALPE
4	CEMENTITIOUS CLADDING PANEL - TERRACOTTA
5	CEMENTITIOUS CLADDING PANEL - CHARCOAL
6	VISION GLASS WINDOW C/W PREFINISHED ALUMINUM MULLION - CHARCOAL
7	VISION GLASS WINDOW WALL C/W PREFINISHED ALUMINUM MULLION - CHARCOAL
8	COMMERCIAL STOREFRONT GLAZING SYSTEM C/W PREFINISHED ALUMINUM MULLION - CLEAR ANODIZED
9	INSULATED SPANDREL GLASS - WHITE
10	INSULATED SPANDREL GLASS - CHARCOAL
11	INSULATED SPANDREL GLASS - GREY
12	CERAMIC BAGUETTE PARKADE SCREENING SYSTEM - TERRACOTTA
13	CERAMIC BAGUETTE PARKADE SCREENING SYSTEM - CHARCOAL
14	GLAZED GUARD (CLEAR): SLAB MOUNTED
15	GLAZED GUARD (CLEAR): SLAB FACE MOUNTED
16	INSULATED HOLLOW METAL DOOR - ORANGE
17	WINDOW WALL DOUBLE SWING DOOR C/W VISION GLASS INSERT
18	WINDOW WALL SWING DOOR C/W VISION GLASS INSERT
19	WINDOW WALL SLIDING DOOR C/W VISION GLASS INSERT
20	SLIDING DOOR C/W VISION GLASS INSERT
21	INSULATED HOLLOW METAL DOOR - GREY
22	INSULATED HOLLOW METAL DOOR - CHARCOAL
23	PREFINISHED ALUMINUM ACCESS GATE C/W VISION GLASS
24	PREFINISHED ALUMINUM PARKADE ACCESS GATE
25	PREFINISHED ALUMINUM ROLL UP SERVICE DOOR
26	PREFINISHED ALUMINUM GUARD RAIL
27	PREFINISHED METAL CLADDING



**1 EAST ELEVATION (FACING LANE)**  
DP3.1 / SCALE: 1:100

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ISSUED FOR	DATE
1 BCI REVIEW	2020-12-16
2 DP SUBMISSION	2020-02-06
3 DP RE-SUBMISSION	2021-07-12
6 DP RE-SUBMISSION	2023-10-20

SCALE	As indicated
DATE	10/13/2023 12:26:49 PM
DRAWN BY	M.D./J.H.
CHECKED BY	S.H.

DRAWING NO. **DP3.2**

**Elevation - Code Legend**

1	STACK BOND BRICK CLADDING - CHARCOAL
2	CEMENTITIOUS CLADDING PANEL - WHITE
3	CEMENTITIOUS CLADDING PANEL - TALPE
4	CEMENTITIOUS CLADDING PANEL - TERRACOTTA
5	CEMENTITIOUS CLADDING PANEL - CHARCOAL
6	VISION GLASS WINDOW C/W PREFINISHED ALUMINUM MULLION - CHARCOAL
7	VISION GLASS WINDOW WALL C/W PREFINISHED ALUMINUM MULLION - CHARCOAL
8	COMMERCIAL STOREFRONT GLAZING SYSTEM C/W PREFINISHED ALUMINUM MULLION - CLEAR ANODIZED
9	INSULATED SPANDREL GLASS - WHITE
10	INSULATED SPANDREL GLASS - CHARCOAL
11	INSULATED SPANDREL GLASS - GREY
12	CERAMIC BAGUETTE PARKADE SCREENING SYSTEM - TERRACOTTA
13	CERAMIC BAGUETTE PARKADE SCREENING SYSTEM - CHARCOAL
14	GLAZED GUARD (CLEAR) SLAB MOUNTED
15	GLAZED GUARD (CLEAR) SLAB FACE MOUNTED
16	INSULATED HOLLOW METAL DOOR - ORANGE
17	WINDOW WALL DOUBLE SWING DOOR C/W VISION GLASS INSERT
18	WINDOW WALL SWING DOOR C/W VISION GLASS INSERT
19	WINDOW WALL SLIDING DOOR C/W VISION GLASS INSERT
20	SLIDING DOOR C/W VISION GLASS INSERT
21	INSULATED HOLLOW METAL DOOR - GREY
22	INSULATED HOLLOW METAL DOOR - CHARCOAL
23	PRE-FINISHED ALUMINUM ACCESS GATE C/W VISION GLASS
24	PRE-FINISHED ALUMINUM PARKADE ACCESS GATE
25	PRE-FINISHED ALUMINUM ROLL UP SERVICE DOOR
26	PRE-FINISHED ALUMINUM GUARD RAIL
27	PREFINISHED METAL CLADDING



**1 SOUTH BUILDING ELEVATION**  
 DP3.2 SCALE: 1:100

Elevation - Code Legend

- 1 STACK BOND BRICK CLADDING - CHARCOAL
- 2 CEMENTITIOUS CLADDING PANEL - WHITE
- 3 CEMENTITIOUS CLADDING PANEL - TAUPE
- 4 CEMENTITIOUS CLADDING PANEL - TERRACOTTA
- 5 CEMENTITIOUS CLADDING PANEL - CHARCOAL
- 6 VISION GLASS WINDOW C/W PREFINISHED ALUMINUM MULLION - CHARCOAL
- 7 VISION GLASS WINDOW WALL C/W PREFINISHED ALUMINUM MULLION - CHARCOAL
- 8 COMMERCIAL STOREFRONT GLAZING SYSTEM C/W PREFINISHED ALUMINUM MULLION - CLEAR ANODIZED
- 9 INSULATED SPANDREL GLASS - WHITE
- 10 INSULATED SPANDREL GLASS - CHARCOAL
- 11 INSULATED SPANDREL GLASS - GREY
- 12 CERAMIC BAGUETTE PARKADE SCREENING SYSTEM - TERRACOTTA
- 13 CERAMIC BAGUETTE PARKADE SCREENING SYSTEM - CHARCOAL
- 14 GLAZED GUARD (CLEAR) SLAB MOUNTED
- 15 GLAZED GUARD (CLEAR) SLAB FACE MOUNTED
- 16 INSULATED HOLLOW METAL DOOR - ORANGE
- 17 WINDOW WALL DOUBLE SWING DOOR C/W VISION GLASS INSERT
- 18 WINDOW WALL SWING DOOR C/W VISION GLASS INSERT
- 19 WINDOW WALL SLIDING DOOR C/W VISION GLASS INSERT
- 20 SLIDING DOOR C/W VISION GLASS INSERT
- 21 INSULATED HOLLOW METAL DOOR - GREY
- 22 INSULATED HOLLOW METAL DOOR - CHARCOAL
- 23 PRE-FINISHED ALUMINUM ACCESS GATE C/W VISION GLASS
- 24 PRE-FINISHED ALUMINUM PARKADE ACCESS GATE
- 25 PRE-FINISHED ALUMINUM ROLL UP SERVICE DOOR
- 26 PRE-FINISHED ALUMINUM GUARD RAIL
- 27 PREFINISHED METAL CLADDING



1 WEST ELEVATION (BERTRAM STREET ELEVATION)  
DP3.3 SCALE: 1 : 100

NOT FOR CONSTRUCTION

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1 BCI REVIEW	2025-12-18
2 DP SUBMISSION	2020-02-08
3 DP RE-SUBMISSION	2021-07-12
6 DP RE-SUBMISSION	2023-10-20

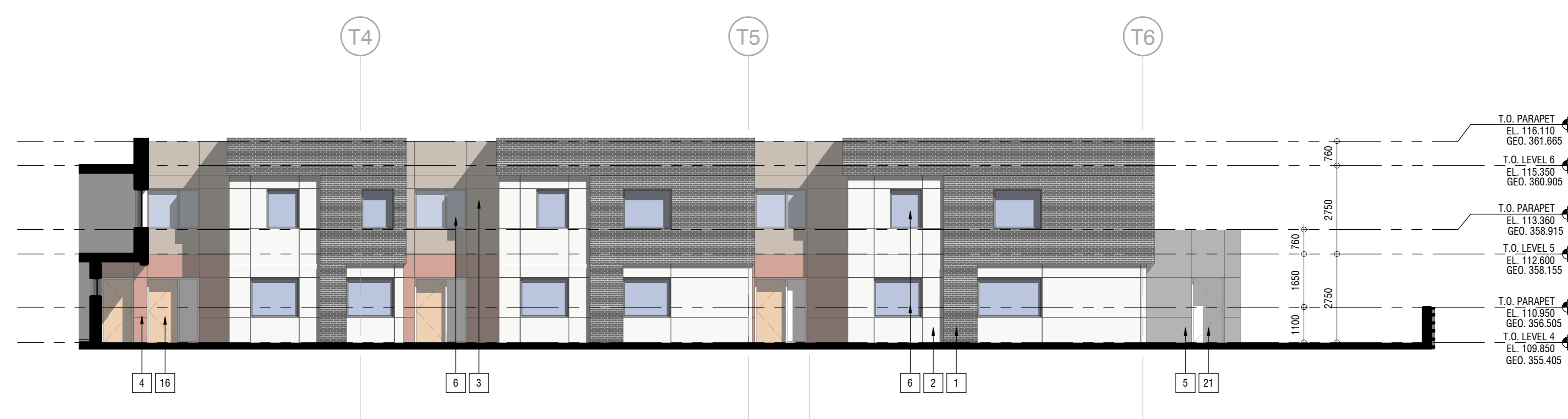
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DRAWN BY M.D./J.H.  
CHECKED BY S.H.

DRAWING NO. DP3.3

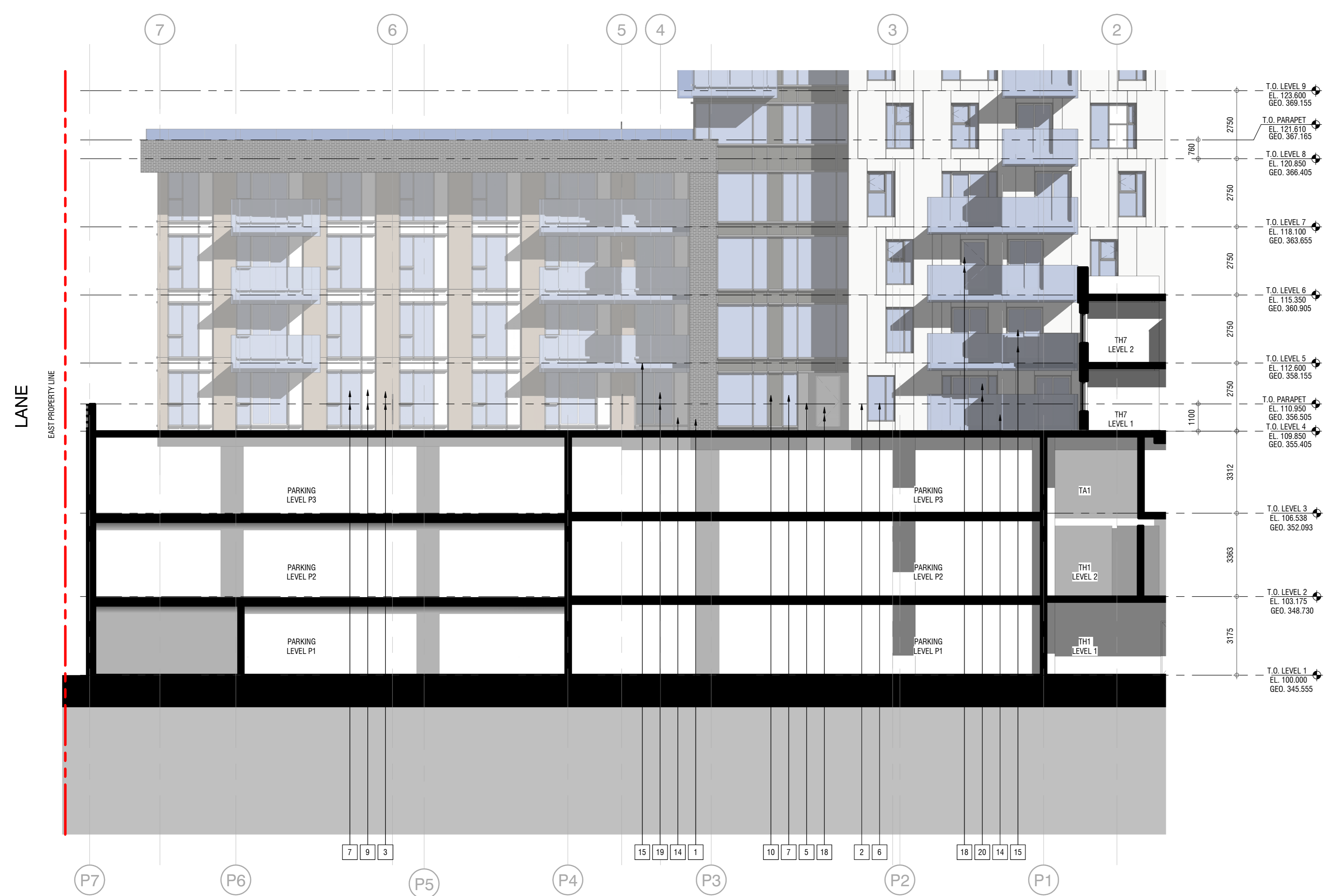
Elevation - Code Legend	
1	STACK BOND BRICK CLADDING - CHARCOAL
2	CEMENTITIOUS CLADDING PANEL - WHITE
3	CEMENTITIOUS CLADDING PANEL - TALPE
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20	SLIDING DOOR C/W VISION GLASS INSERT
21	INSULATED HOLLOW METAL DOOR - GREY
22	INSULATED HOLLOW METAL DOOR - CHARCOAL
23	PREFINISHED ALUMINUM ACCESS GATE C/W VISION GLASS
24	PREFINISHED ALUMINUM PARKADE ACCESS GATE
25	PREFINISHED ALUMINUM ROLL UP SERVICE DOOR
26	PREFINISHED ALUMINUM GUARD RAIL
27	PREFINISHED METAL CLADDING



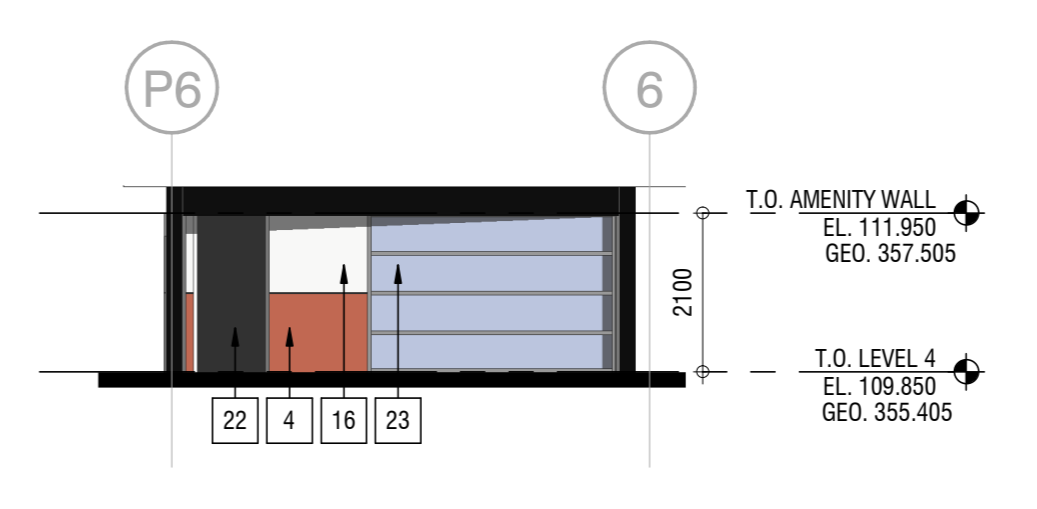
1 EAST INTERIOR COURTYARD ELEVATION  
DP3.4 SCALE: 1:100



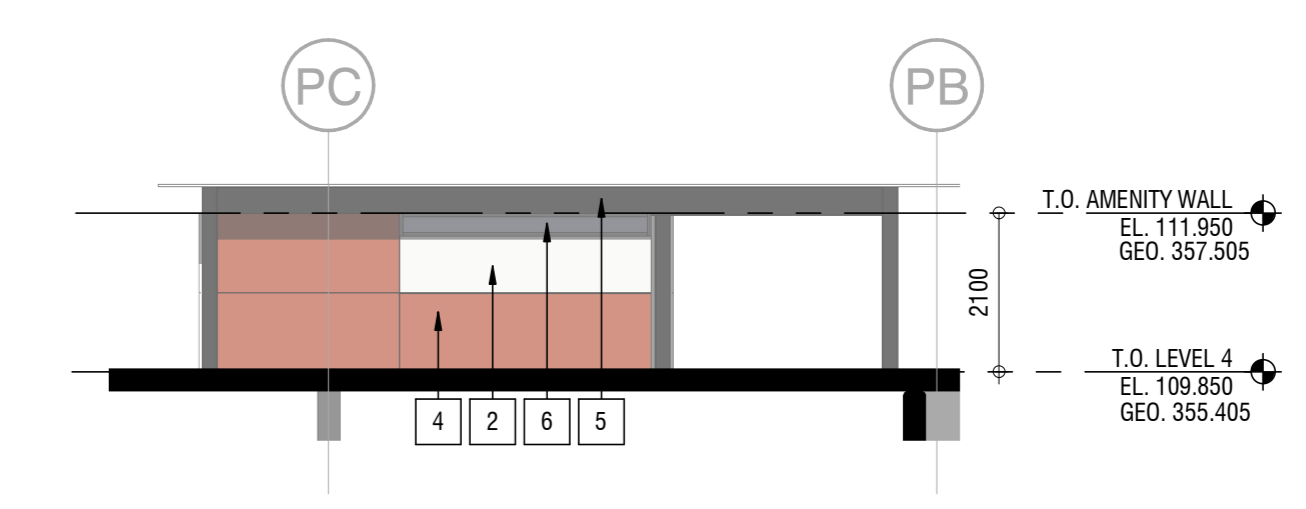
2 SOUTH INTERIOR COURTYARD ELEVATION  
DP3.4 SCALE: 1:100



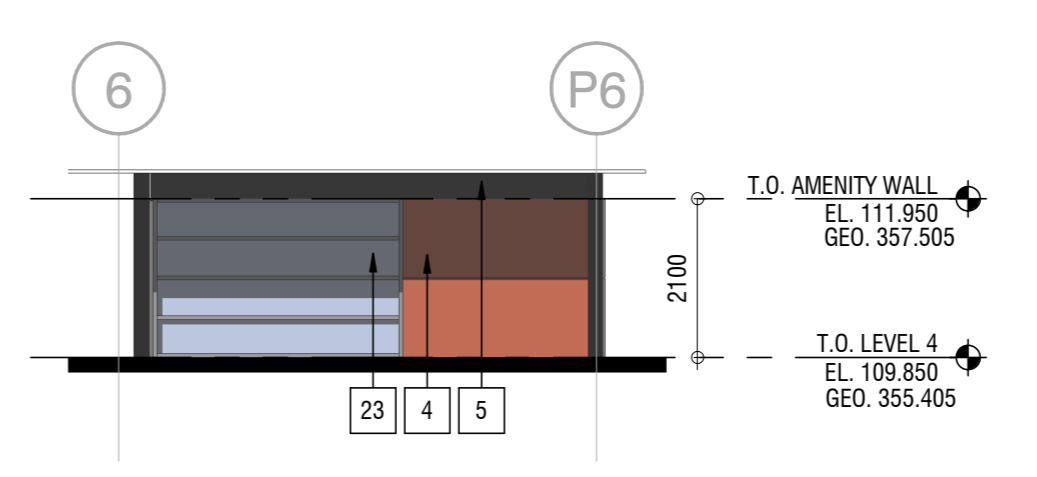
3 NORTH INTERIOR COURTYARD ELEVATION UPPER  
DP3.4 SCALE: 1:100



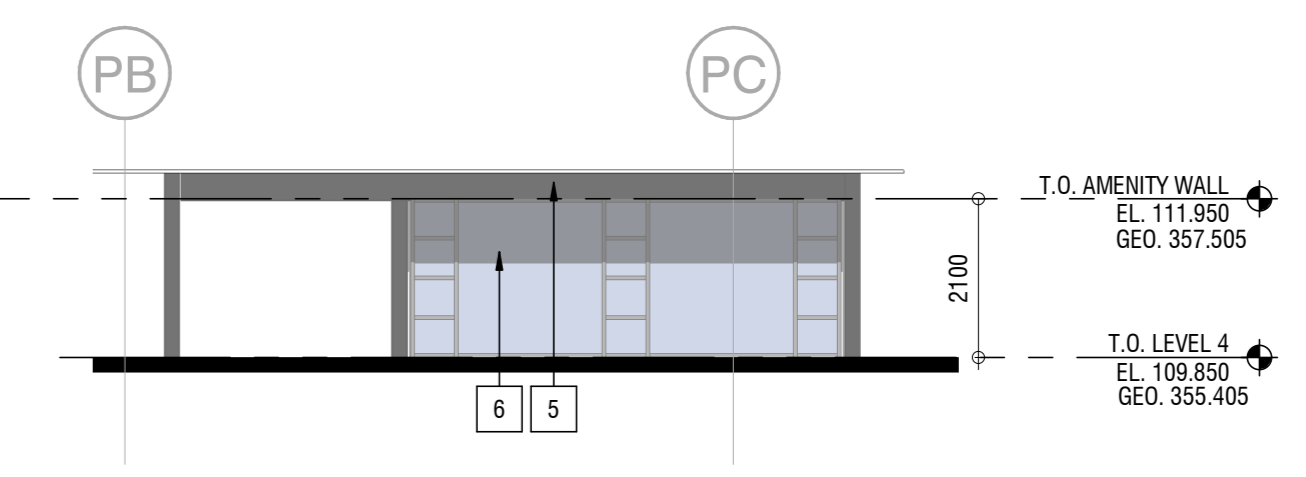
4 NORTH AMENITY BUILDING ELEVATION  
DP3.4 SCALE: 1:100



5 EAST AMENITY BUILDING ELEVATION  
DP3.4 SCALE: 1:100



6 SOUTH AMENITY BUILDING ELEVATION  
DP3.4 SCALE: 1:100



7 WEST AMENITY BUILDING ELEVATION  
DP3.4 SCALE: 1:100

BUILDING ELEVATIONS - COURTYARD & COURTYARD AMENITY BUILDING  
**BC HOUSING - BERTRAM STREET AFFORDABLE HOUSING PROJECT**  
1451 & 1469 BERTRAM ST., KELOWNA, BC  
BC HOUSING  
220109

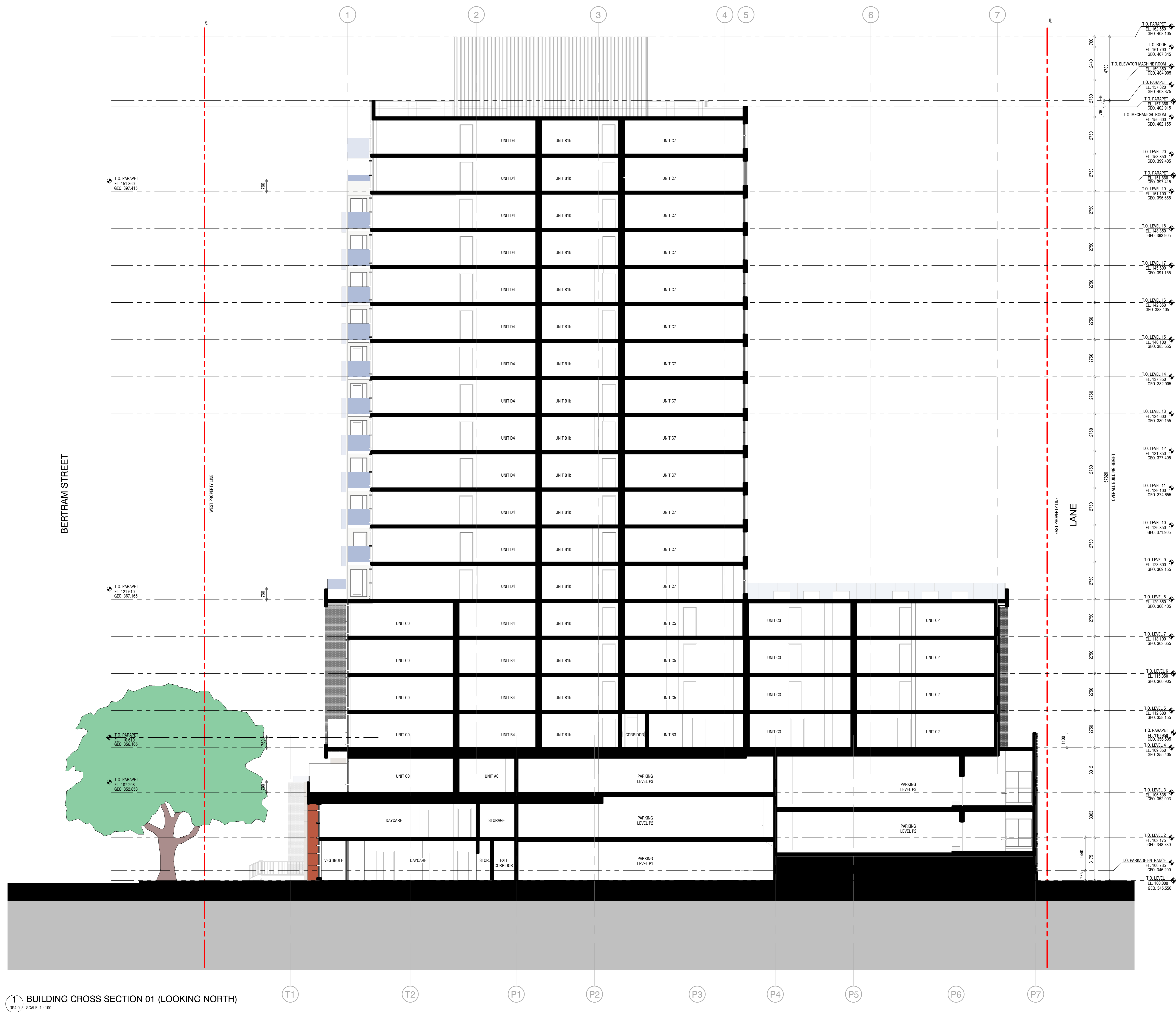
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1	BCR REVIEW 2020-12-18
2	DP SUBMISSION 2020-02-08
3	DP RE-SUBMISSION 2021-07-12
6	DP RE-SUBMISSION 2023-10-20

SCALE	As indicated
DATE	10/13/2023 12:16:10 PM
DRAWN BY	M.O.J.H.
CHECKED BY	S.J.H.

DRAWING NO. **DP3.4**



1 BUILDING CROSS SECTION 01 (LOOKING NORTH)  
 DP4.0 SCALE: 1:100

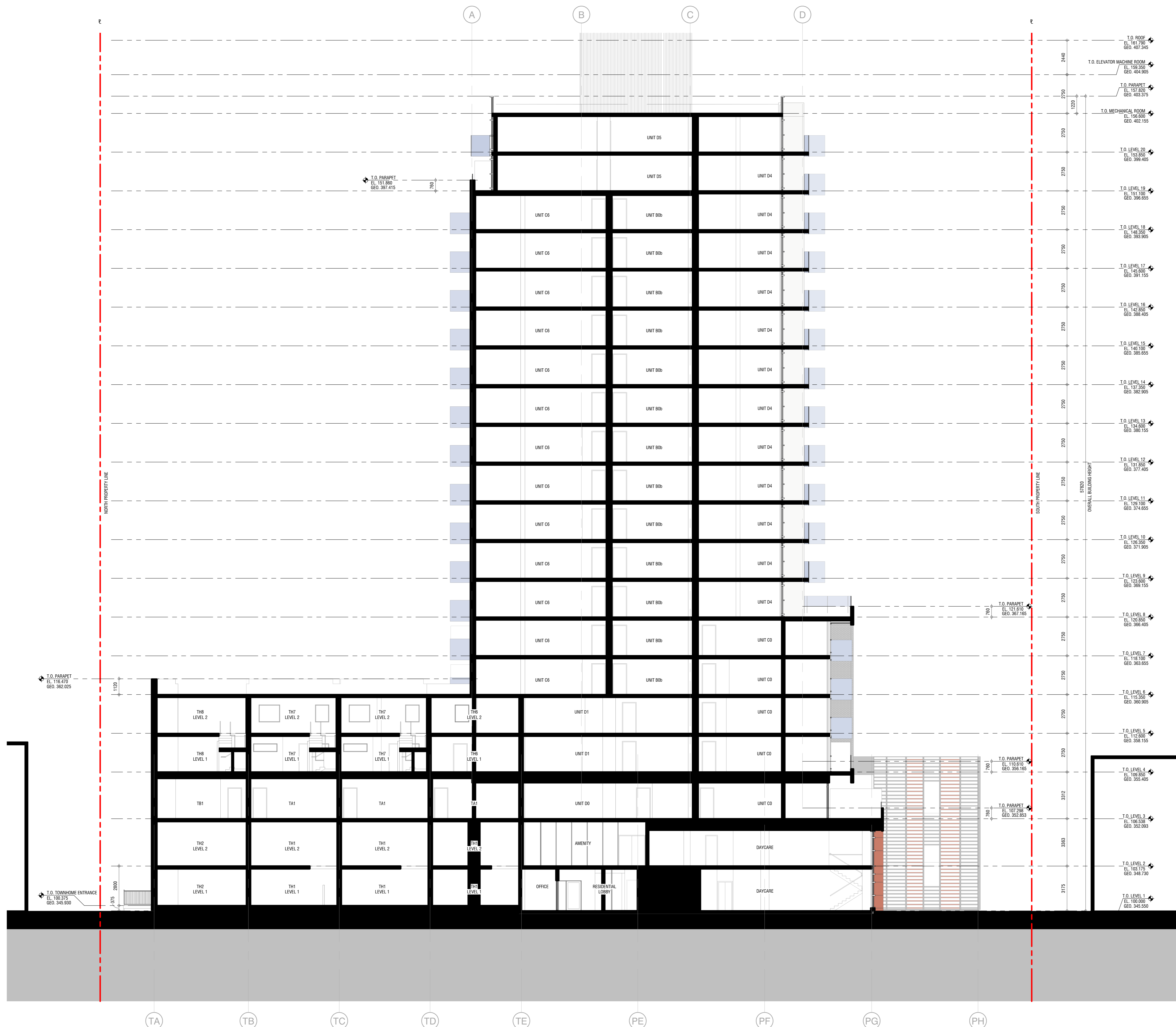
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3 DP RE-SUBMISSION	2021-07-12
6 DP RE-SUBMISSION	2023-10-20

SCALE	DATE
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DRAWN BY	M.D.J.H.
CHECKED BY	S.H.

DRAWING NO. DP4.0



1 BUILDING CROSS SECTION 02 (LOOKING EAST)  
 DP4.1 SCALE: 1:100

NOT FOR CONSTRUCTION

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3 DP RE-SUBMISSION	2021-07-12
6 DP RE-SUBMISSION	2023-10-20

SCALE	1:100
DATE	10/13/2023 12:09:31 PM
DRAWN BY	M.D./J.H.
CHECKED BY	S.H.

DRAWING NO.  
**DP4.1**

**NOT FOR CONSTRUCTION**

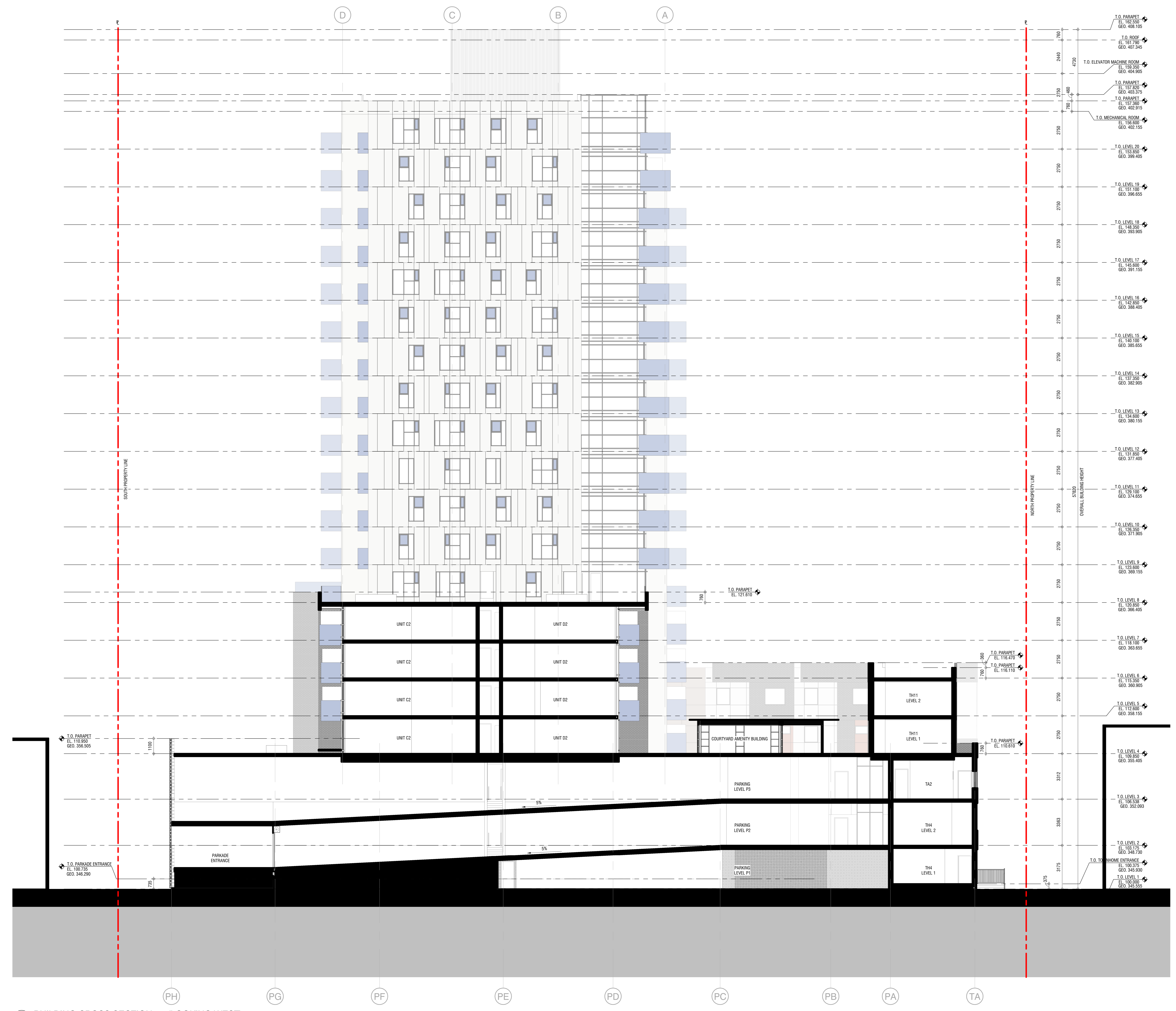
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3. DP RE-SUBMISSION	2021-07-12
6. DP RE-SUBMISSION	2023-10-20

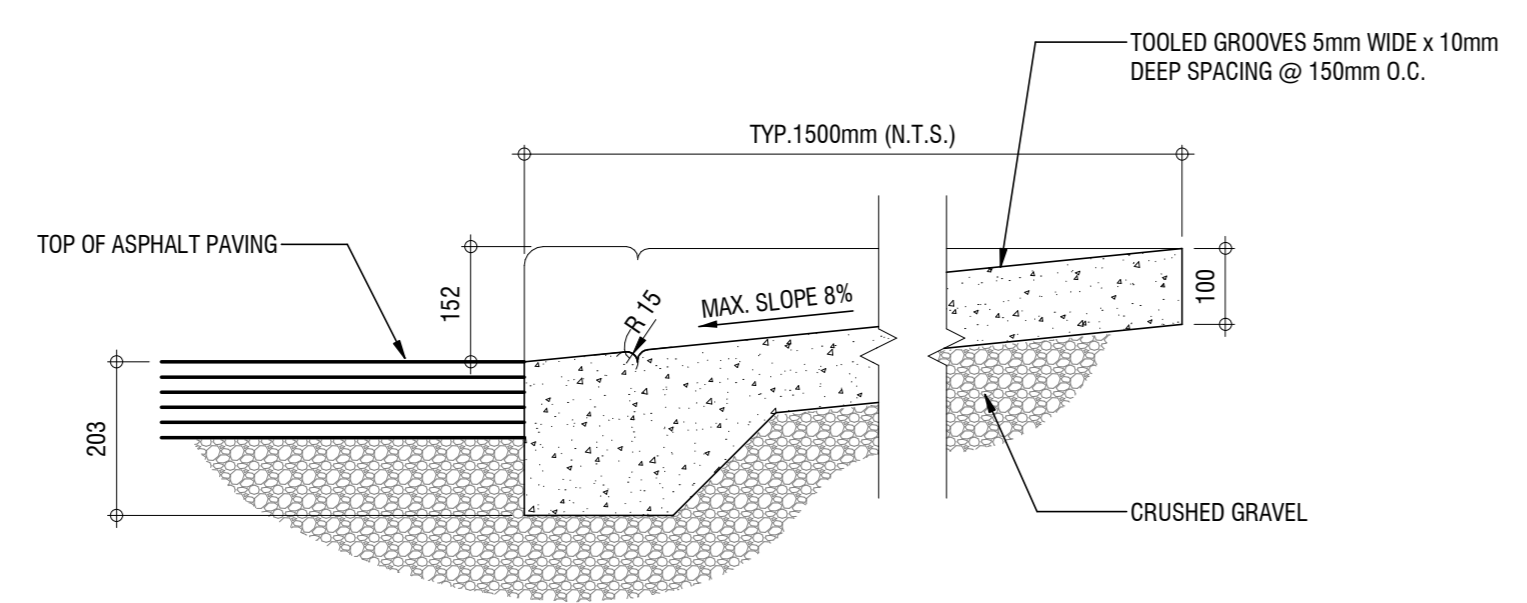
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CHECKED BY	S.J.H.

DRAWING NO.

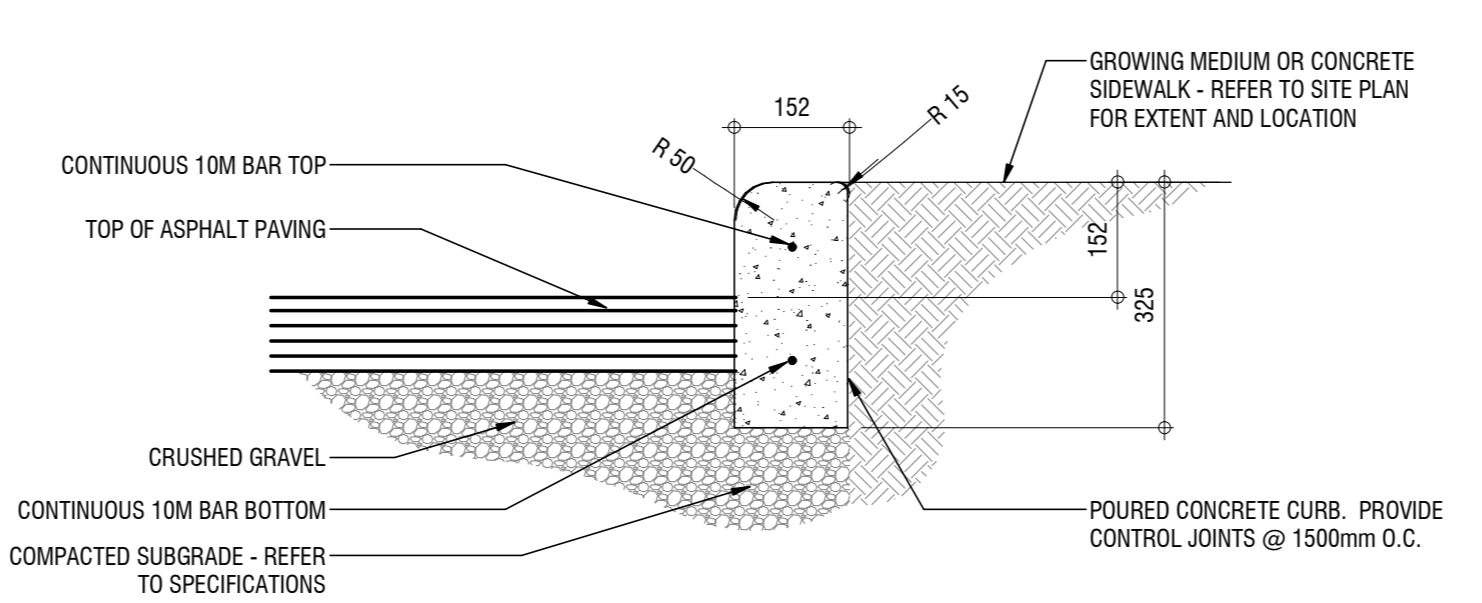
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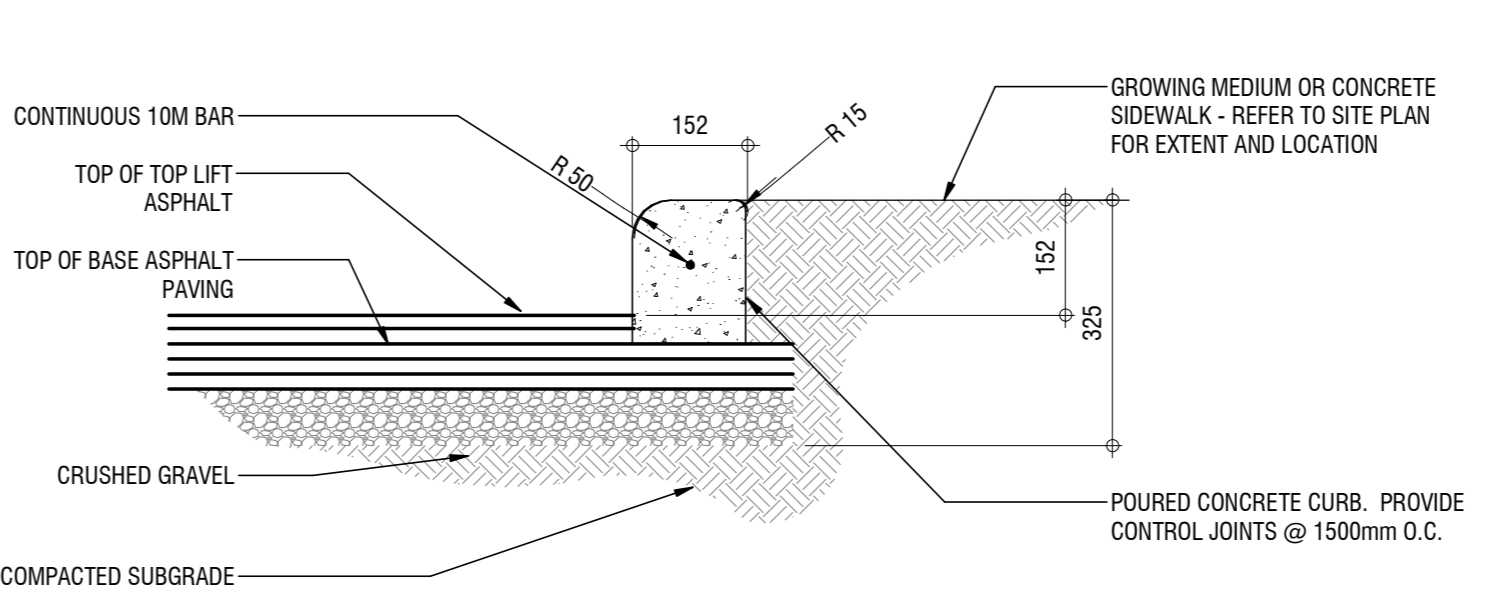
**1 BUILDING CROSS SECTION 03 (LOOKING WEST)**  
DP4.2 SCALE: 1:100



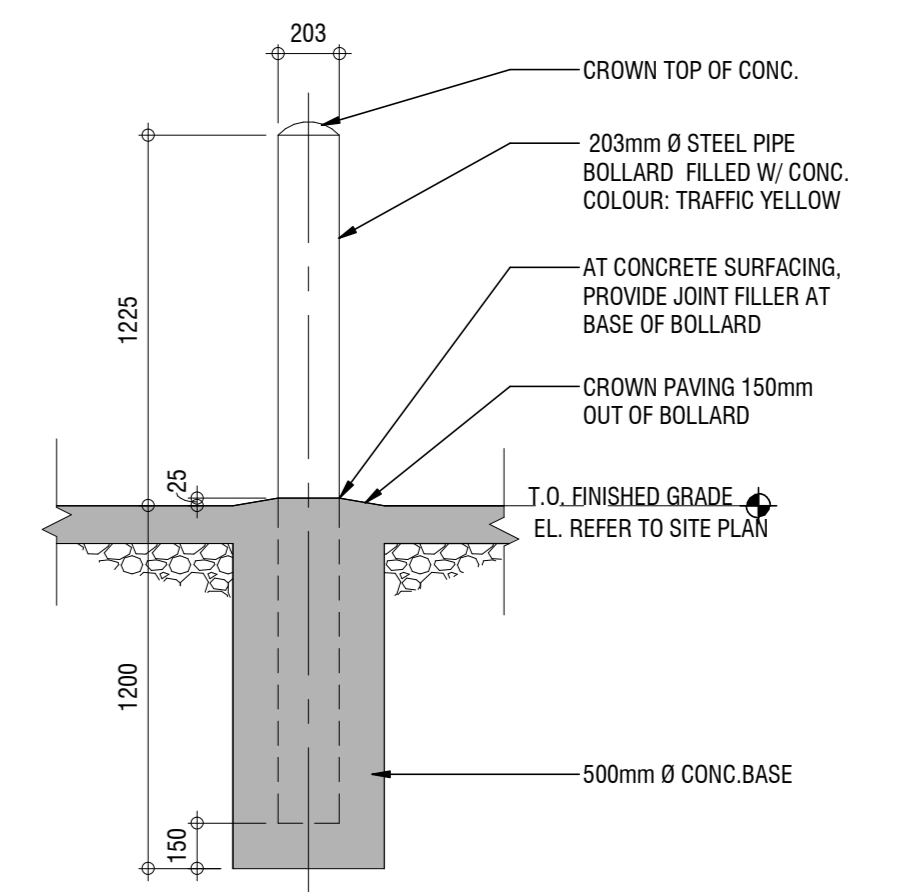
1 Typical Curb Cut Detail  
 DP6.0 SCALE: 1:10



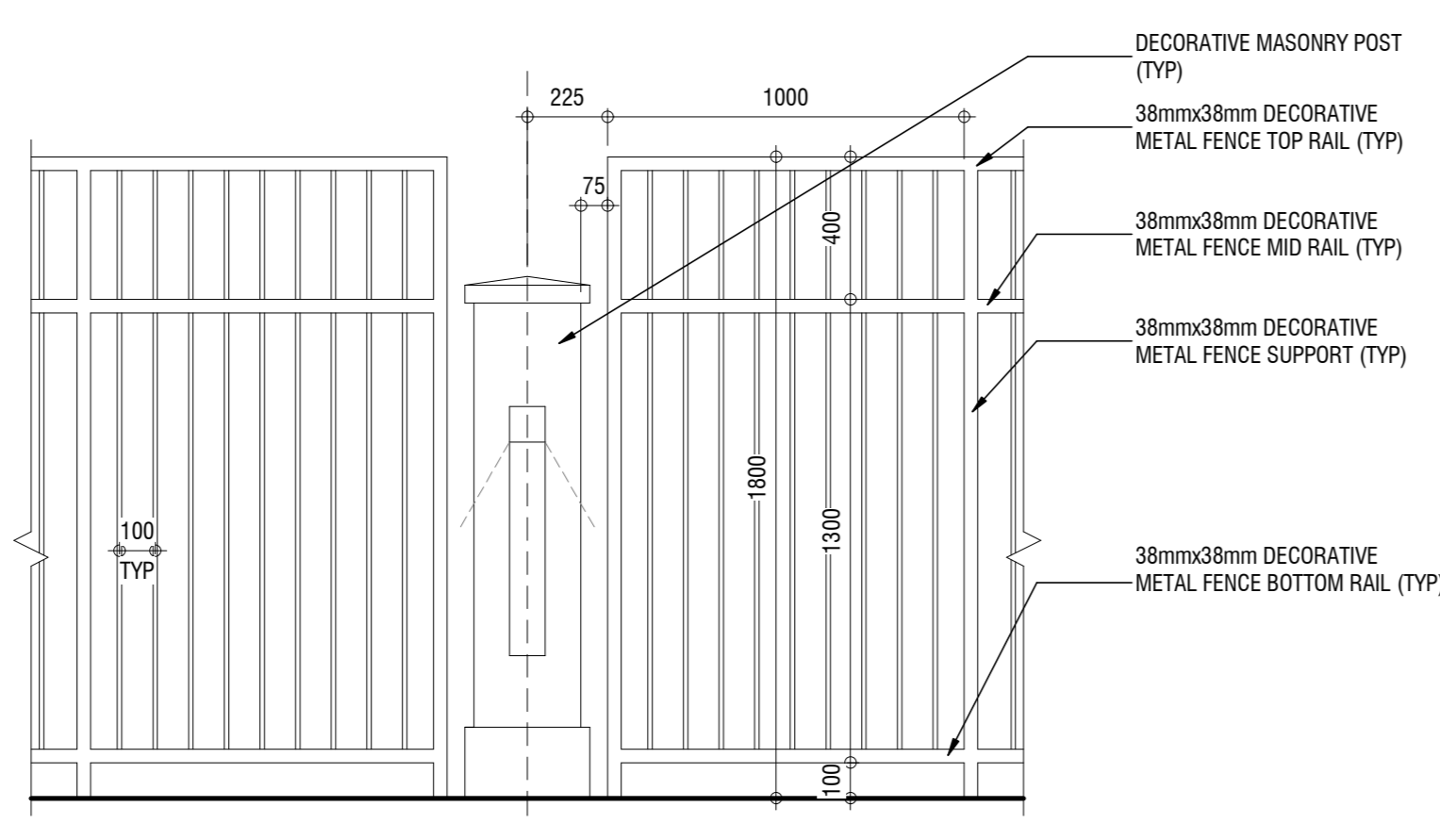
2 Typical Barrier Curb Detail  
 DP6.0 SCALE: 1:10



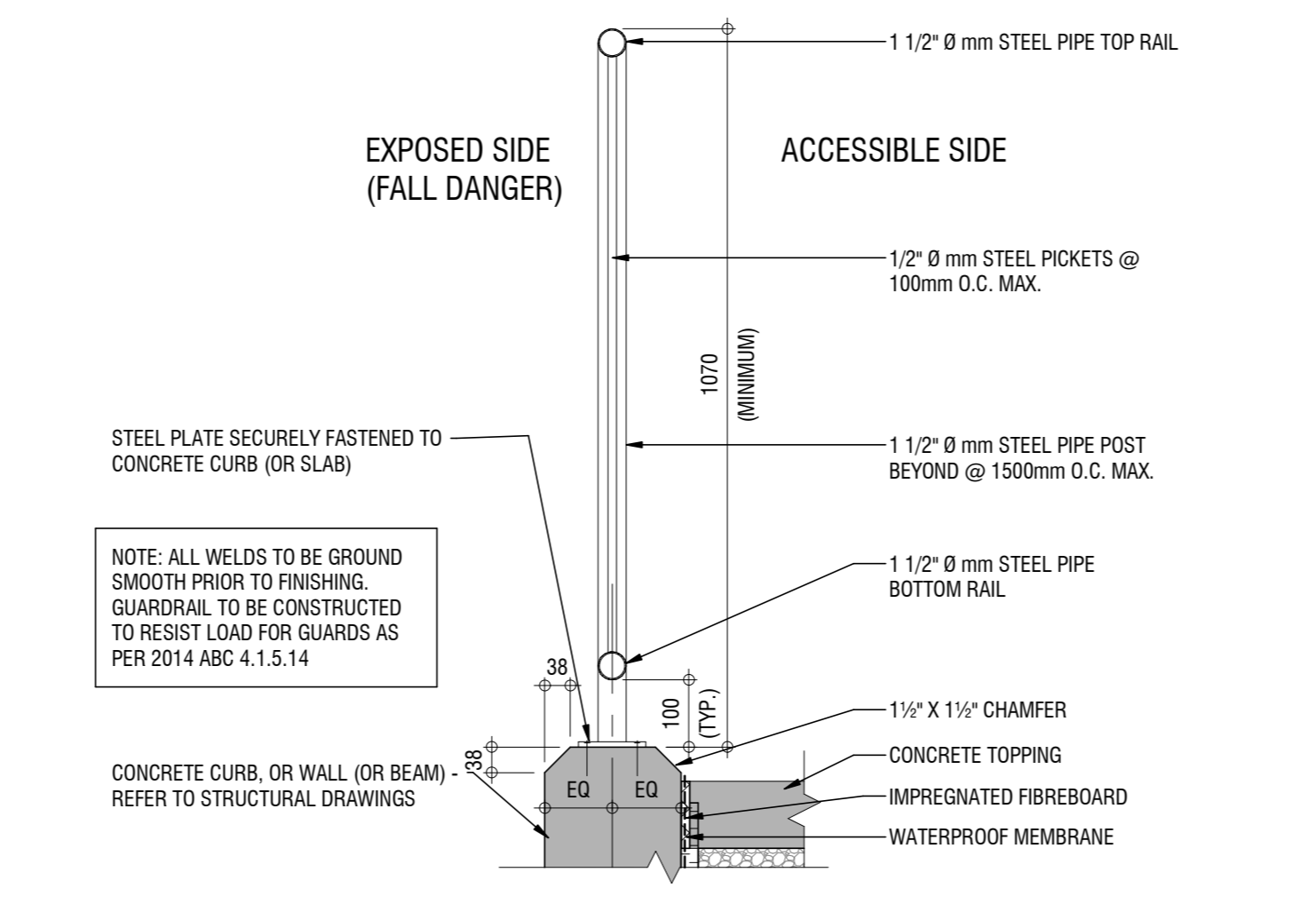
3 Typical Pin Curb Detail  
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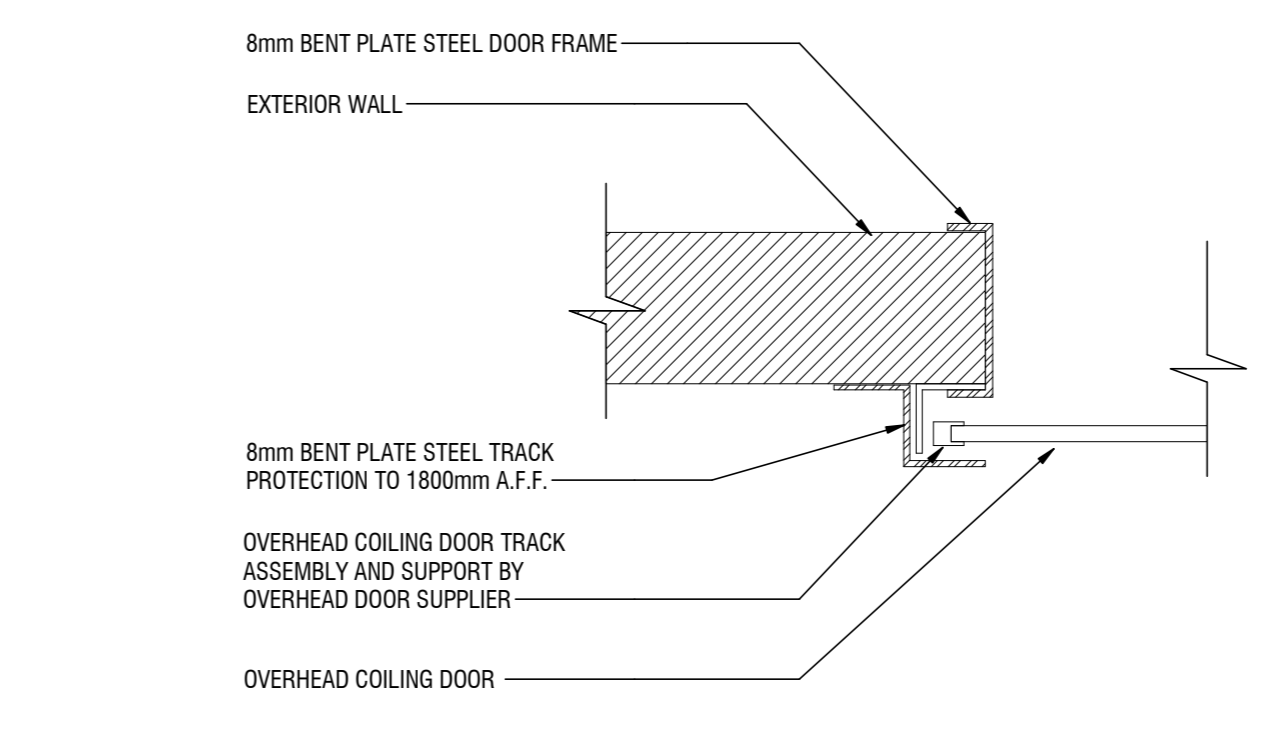
4 Typical Bollard Detail  
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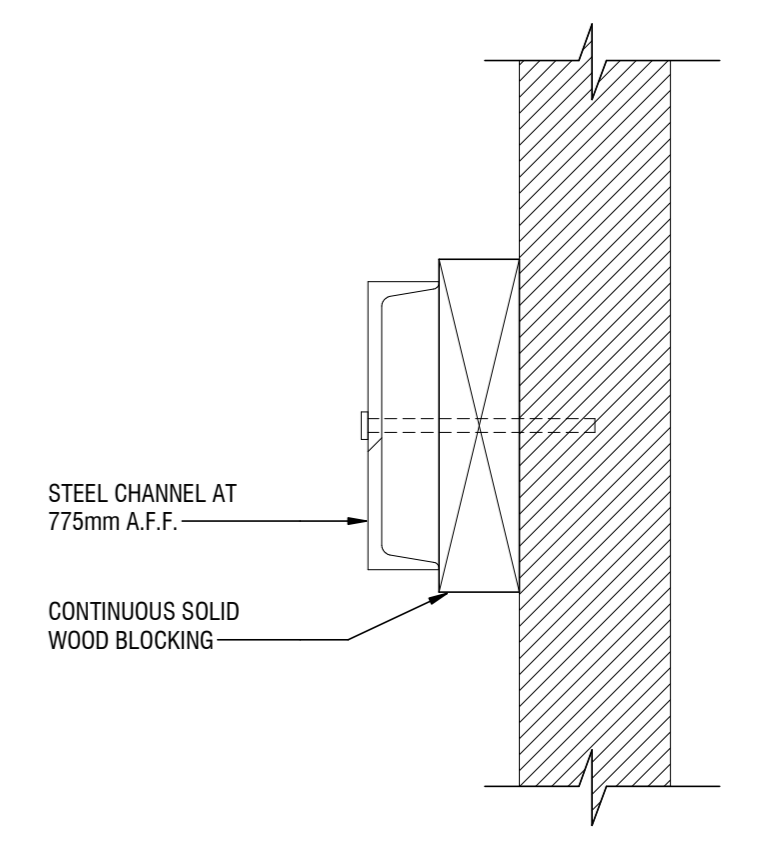
5 Pre Finished Aluminum Fence Detail - Elevation  
 DP6.0 SCALE: 1:20



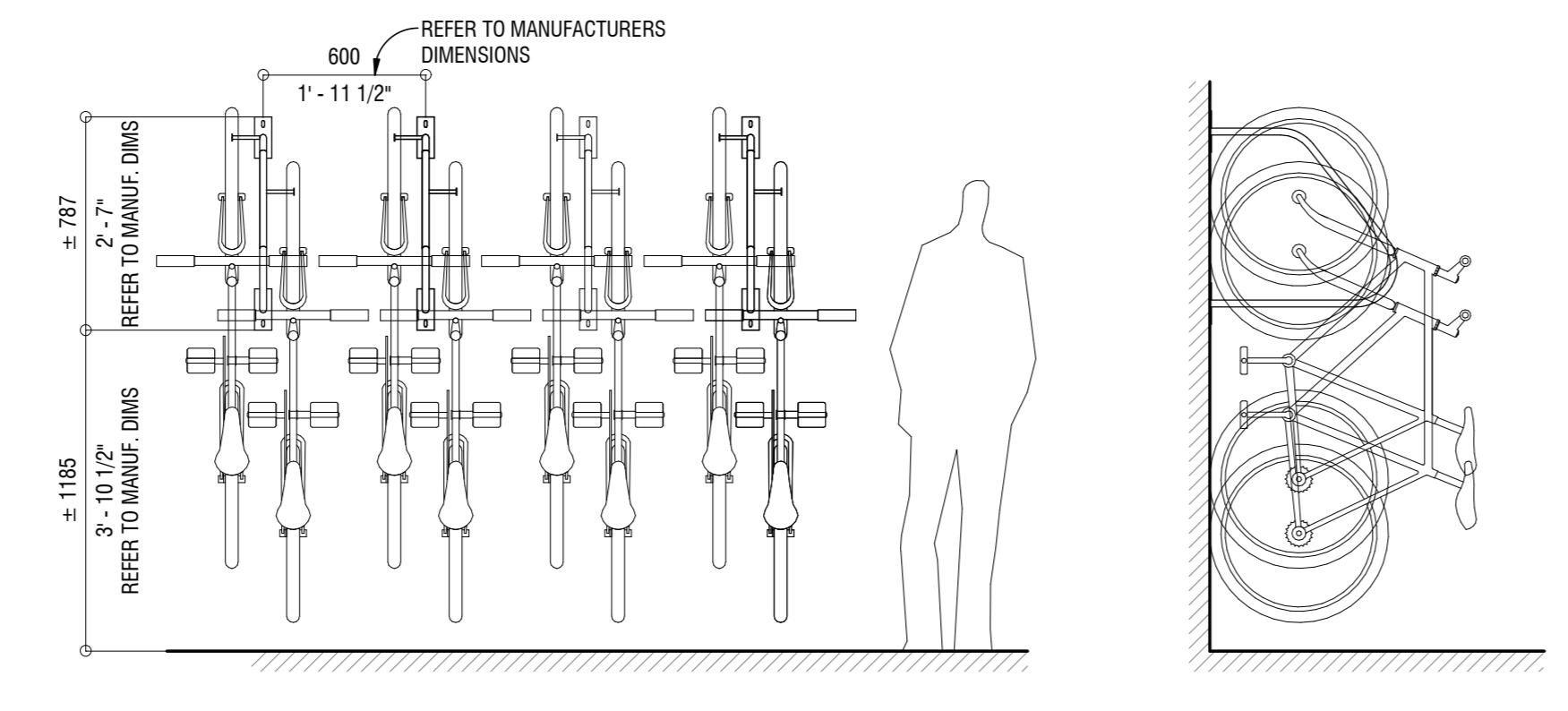
6 Typical Site Guardrail Detail  
 DP6.0 SCALE: 1:10



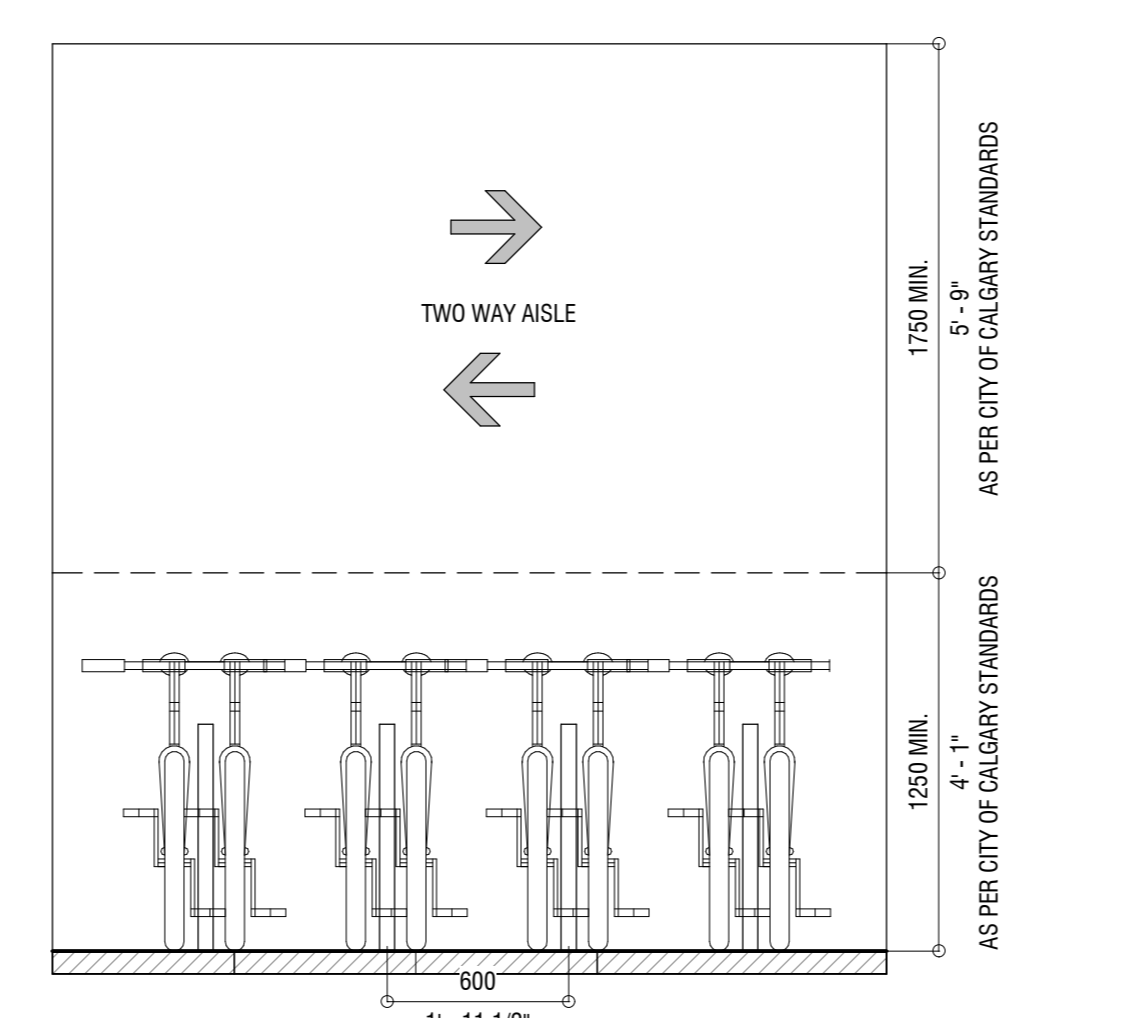
7 Typical Overhead Door Rail Detail  
 DP6.0 SCALE: 1:10



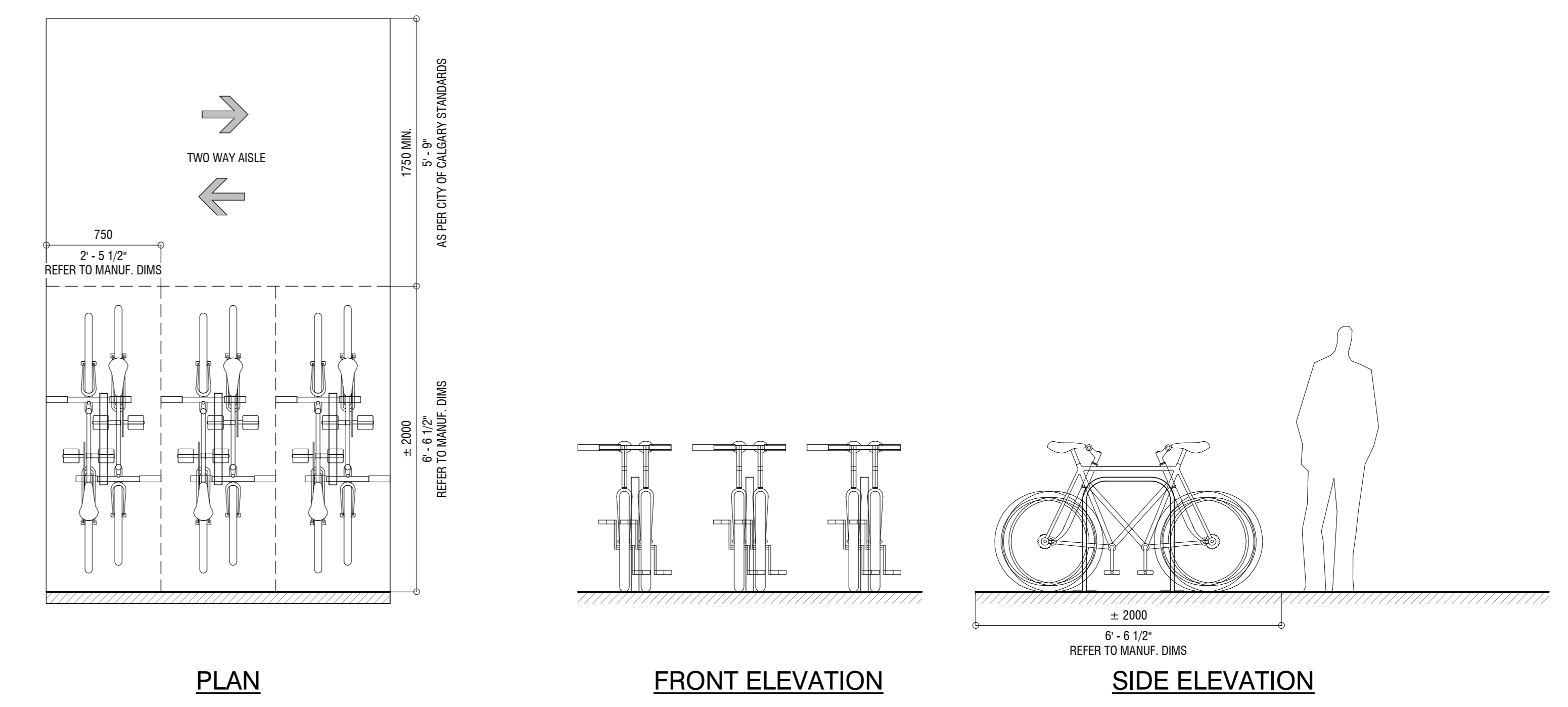
8 Typical Wall Protection Detail  
 DP6.0 SCALE: 1:10



9 Long Term Bicycle Parking - Wall  
 DP6.0 SCALE: 1:25



10 Long Term Bicycle Parking - Floor  
 DP6.0 SCALE: 1:25



NOT FOR CONSTRUCTION

This drawing supersedes previous issues. Do not scale these drawings.  
 Verify all dimensions, elevations and datum, and report any discrepancies to the Architect prior to construction. Dimensions are taken to face of exterior cladding, face of concrete block, face of stud for interior partitions, and combine of demising walls, unless noted otherwise on the drawings.  
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ISSUED FOR	DATE
2 DP SUBMISSION	2025-02-08
3 DP PRE-SUBMISSION	2021-07-12
6 DP PRE-SUBMISSION	2023-10-20

SCALE	As indicated
DATE	10/13/2023 11:43:20 AM
DRAWN BY	Author
CHECKED BY	Checker

DRAWING NO.  
**DP6.0**