

Wilson Chang, Architect AIBC
1177 W Hastings St #1610,
Vancouver, BC
V6E 2K3

July 30th, 2025

City of Kelowna
1435 Water Street
Kelowna BC
V1Y 1J4

Subject: Design Rationale Statement for 430 Harvey Avenue.

Zoning Context

UC1 – Downtown Urban Centre (Formally C7 Central Business Commercial – Residential District). The proposal substantially follows the existing zone and the related guidelines.

Physical Context

The proposed development site is situated on the northeast corner of the intersection of Harvey Avenue and Pandosy Street, adjacent to the Downtown Urban Centre. As one of the first buildings visible when approaching the city center from the west via the William R. Bennett Bridge, it presents an opportunity to create a memorable gateway and establish a new standard for high-quality, innovative designs. With its strategic location on the cusp of the urban core, this development has the potential to set the tone for future projects and inspire new, forward-thinking approaches to urban design.

Use, Form and Height

The proposed allowable uses, form, and height for the development are consistent with the policy objectives outlined in the Downtown Plan. The street level along Harvey Avenue will feature commercial retail space, with a transition into the residential lobby along Pandosy Street. While the limited size of the site and its proximity to the busy intersection make outdoor plaza spaces unfeasible, the CRU spaces have a 10-foot setback from the property line, creating an opportunity for potential coffee shops to offer outdoor seating as a social gathering space for the community.

Levels 2-6 of the building will be dedicated to parking areas, with a significant setback and material change after level 4 to establish the typical podium height. Levels 7-32 will be residential floors with alternating floor plates. The indoor amenity area will be located on Level 7, along with an outdoor amenity rooftop programmed for play areas and activities. An additional rooftop amenity space will offer leisure and lounge activities, providing residents with stunning views of the lake and downtown area.

In summary, the proposed development is consistent with the policy objectives outlined in the Downtown Plan. The street level will feature commercial retail space, while the upper floors will be dedicated to residential units with ample amenities, including two rooftop areas for leisure and activities. While outdoor plaza spaces are not feasible, the CRU spaces offer opportunities for outdoor seating and social gathering areas for the community. The design effectively establishes the typical podium height and responds appropriately to the limited site size and surrounding context.

We are proposing a relaxation on parking requirements due to the challenging site's depth limitations. However to compensate we are providing several car share stalls and planning to provide bus passes and free car share memberships (Modo) for all units with no assigned parking stalls.

Setbacks and Step-backs

The site depth of the project site, ranging from 83' to 87', poses some challenges for the layout design while maintaining compliance with the design guidelines. To address this limitation, we propose adding two levels of parking above the four-story building podium. This transition will be marked with a material change and a setback of 2-4 meters, which we plan to landscape with ample planting to screen some of the parking massing and emphasize the four-story podium expression.

To mitigate the site's proximity to the busy street, the commercial retail units (CRUs) will be set back from the road, allowing for a buffer and potential seating areas. The intersection corner at the lower level has been thoughtfully designed to allow for visibility as required. Additionally, the tower floor plates will be below 620 square meters, well below the maximum allowable 750 square meters, to minimize the shadows cast on adjacent properties to the north.

Despite the site's depth limitations, we are striving to create a workable layout that meets all design guidelines while maximizing the site's potential. By adding two levels of parking above the podium and strategically using setbacks and landscaping, we are able to create a visually appealing design that respects the surrounding context and offers functional spaces for both residents and commercial tenants.

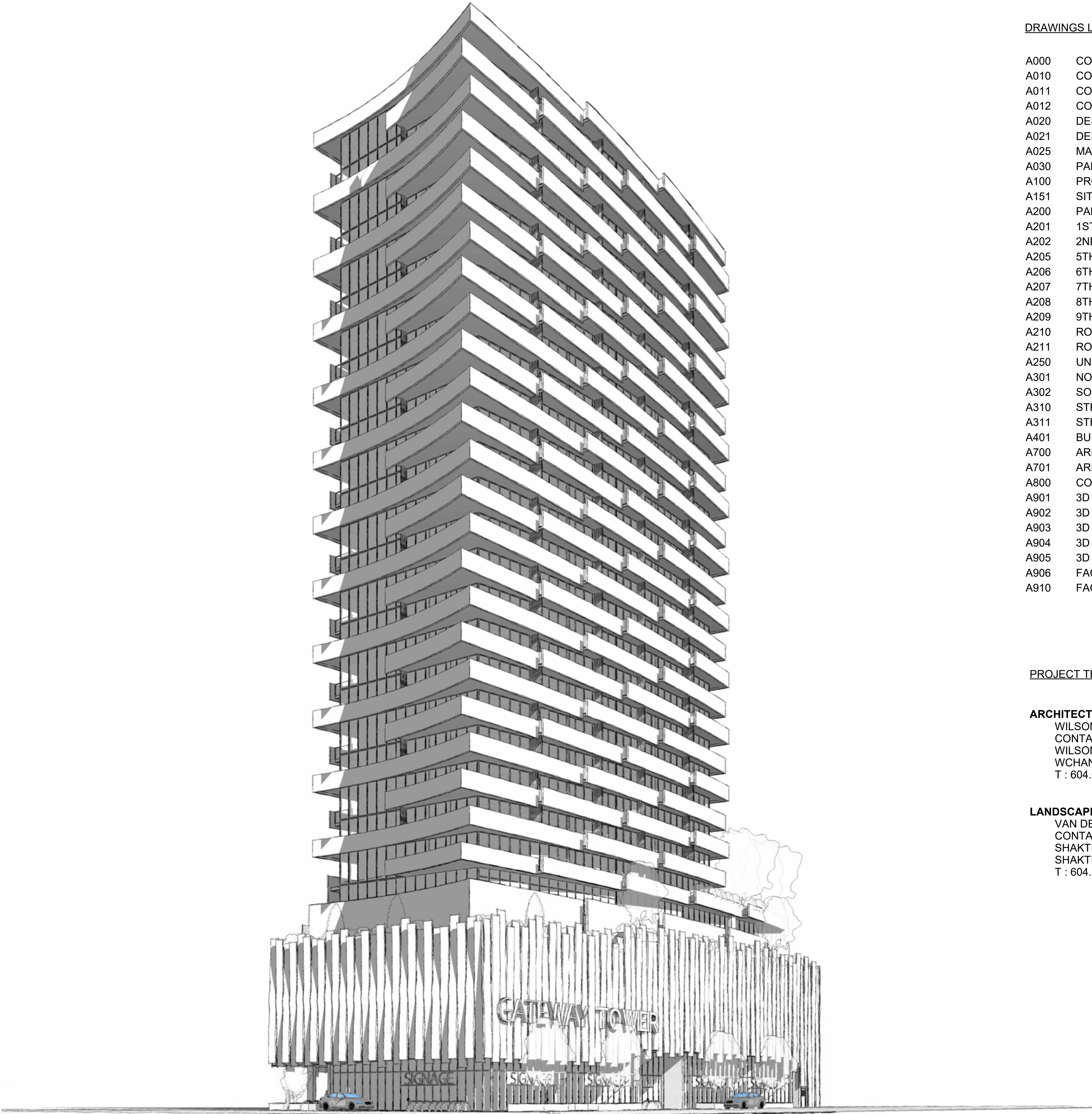
Architectural Expression, Detail and Materiality

The building design aims to achieve an elegant, modern, and simple aesthetic inspired by the beautiful Okanagan Valley landscape, including its vineyards and lakes. The natural split between the podium and tower is emphasized through shape and materiality. The podium takes inspiration from the rows of vineyards, with regimented vertical lines and offset heights and depths to reflect an organic nature. We propose using metal panels with varying oxidized copper tones, which reflect green-brown variations and further highlight the organic nature of the design.

Atop the four-story podium, we plan to extend planting areas to help screen the additional parking and mark the podium while also softening the building's expression. This will create an impression that the tower is growing out of the green space below. Additionally, the commercial retail units (CRUs) are setback to provide an overhang for rain protection without requiring an additional element.

The tower has a simple glass shape that plays with exterior balconies as the main design element. Drawing inspiration from the lake, the balconies feature an alternating pattern resembling waves, sails, or even fish scales. The duality and play of these two strong exterior design patterns create a unique look that we hope will become a small landmark marking the entrance to a vibrant downtown.

In summary, our building design draws inspiration from the natural beauty of the Okanagan Valley, and we strive to create an elegant, modern, and simple aesthetic that is unique and eye-catching. By playing with shape, materiality, and exterior design elements, we hope to create a building that not only serves its functional purpose but also adds value to the community by becoming a distinct and memorable landmark.



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PROJECT TEAM

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CONSULTANT:



PROJECT TITLE:
GATEWAY TOWER

430 HARVEY AVE, KELOWNA BC,
VIY 6C6

LOT A, DISTRICT LOT 139, O.D.Y.D.,
PLAN 40022

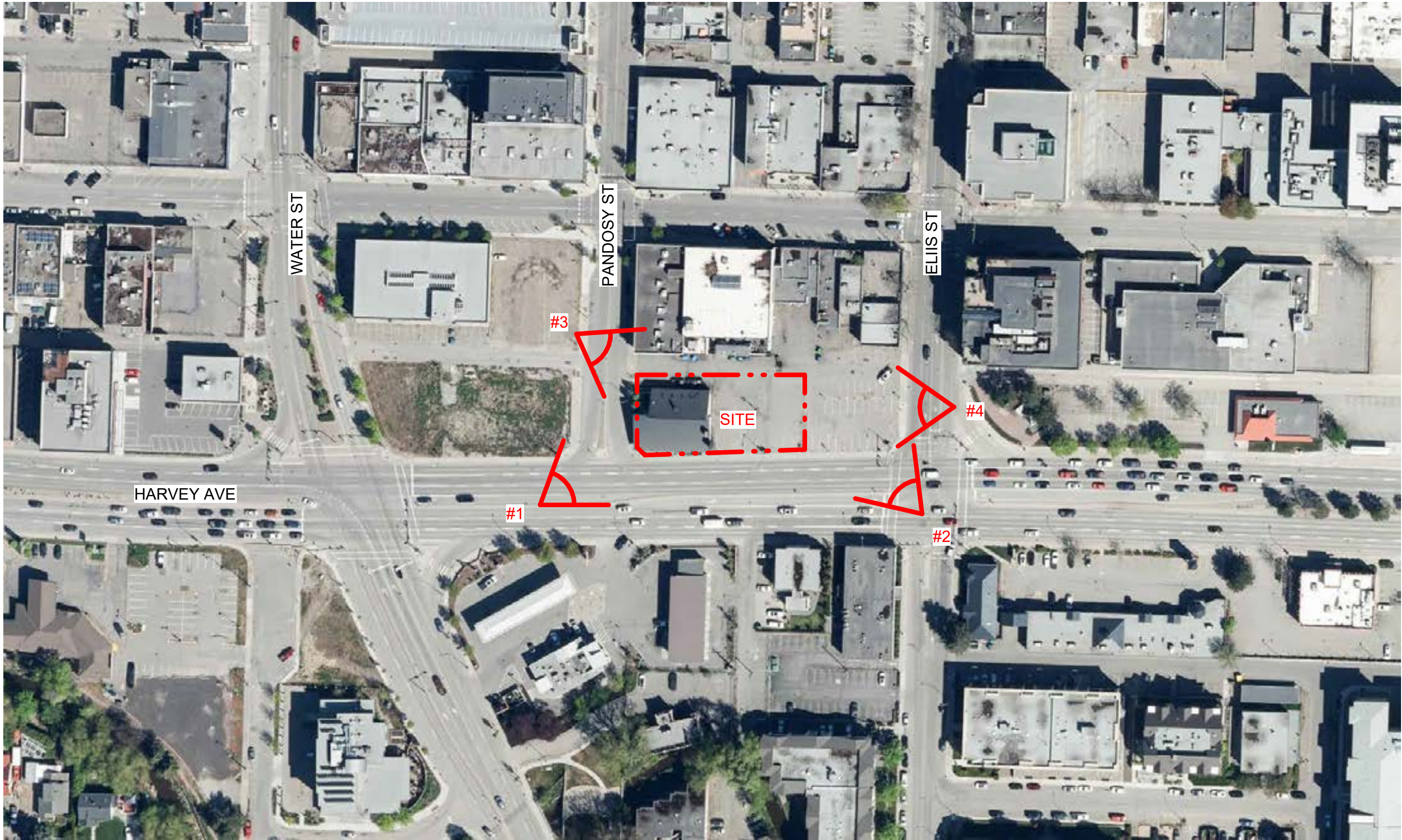
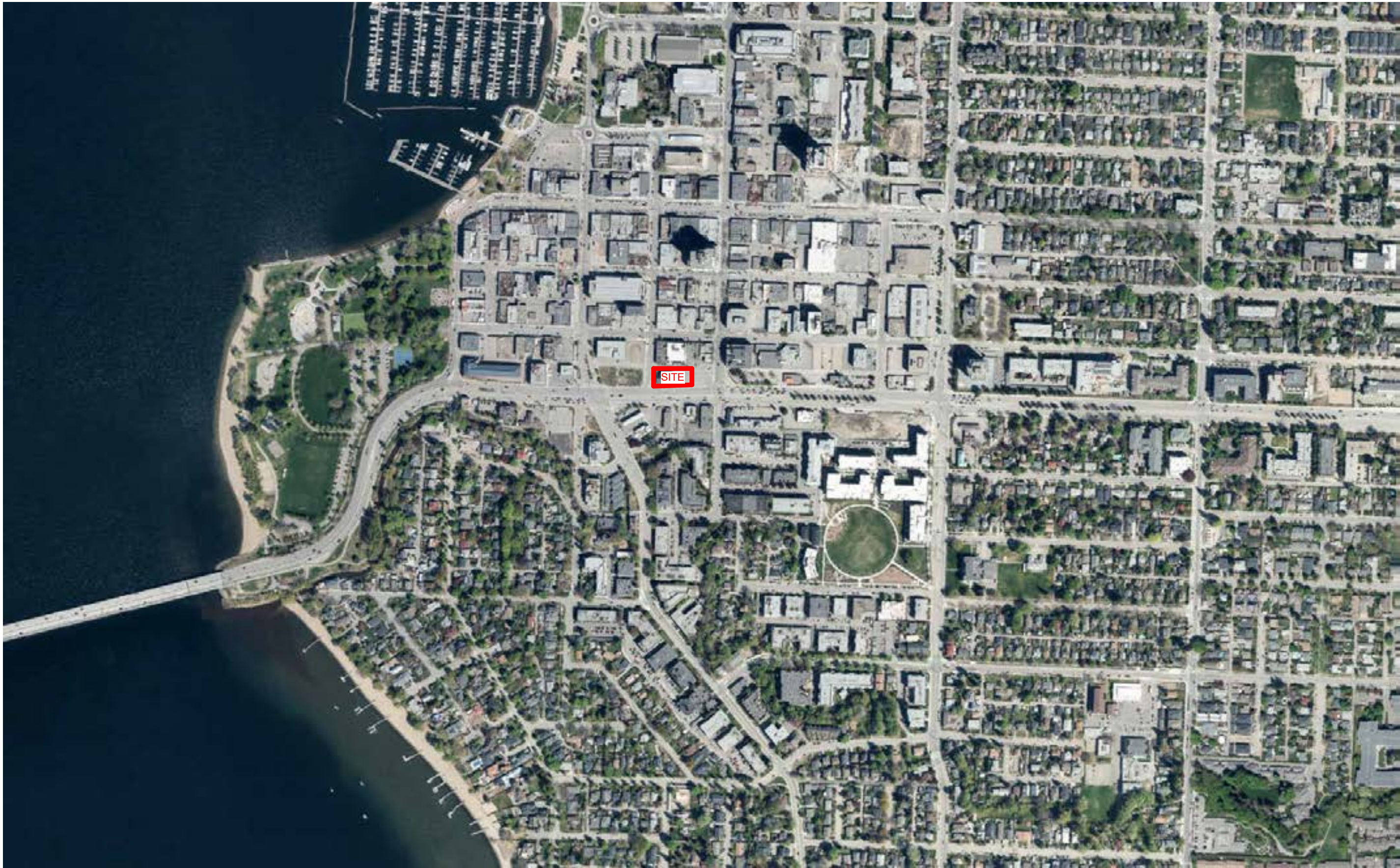
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01	JUN 27TH 2025	FOR DP SUBMISSION

KEY PLAN:

DRAWING TITLE:
COVER

PROJECT NO: W2112
SCALE:
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DRAWING NO:



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CONTEXT VIEW 1

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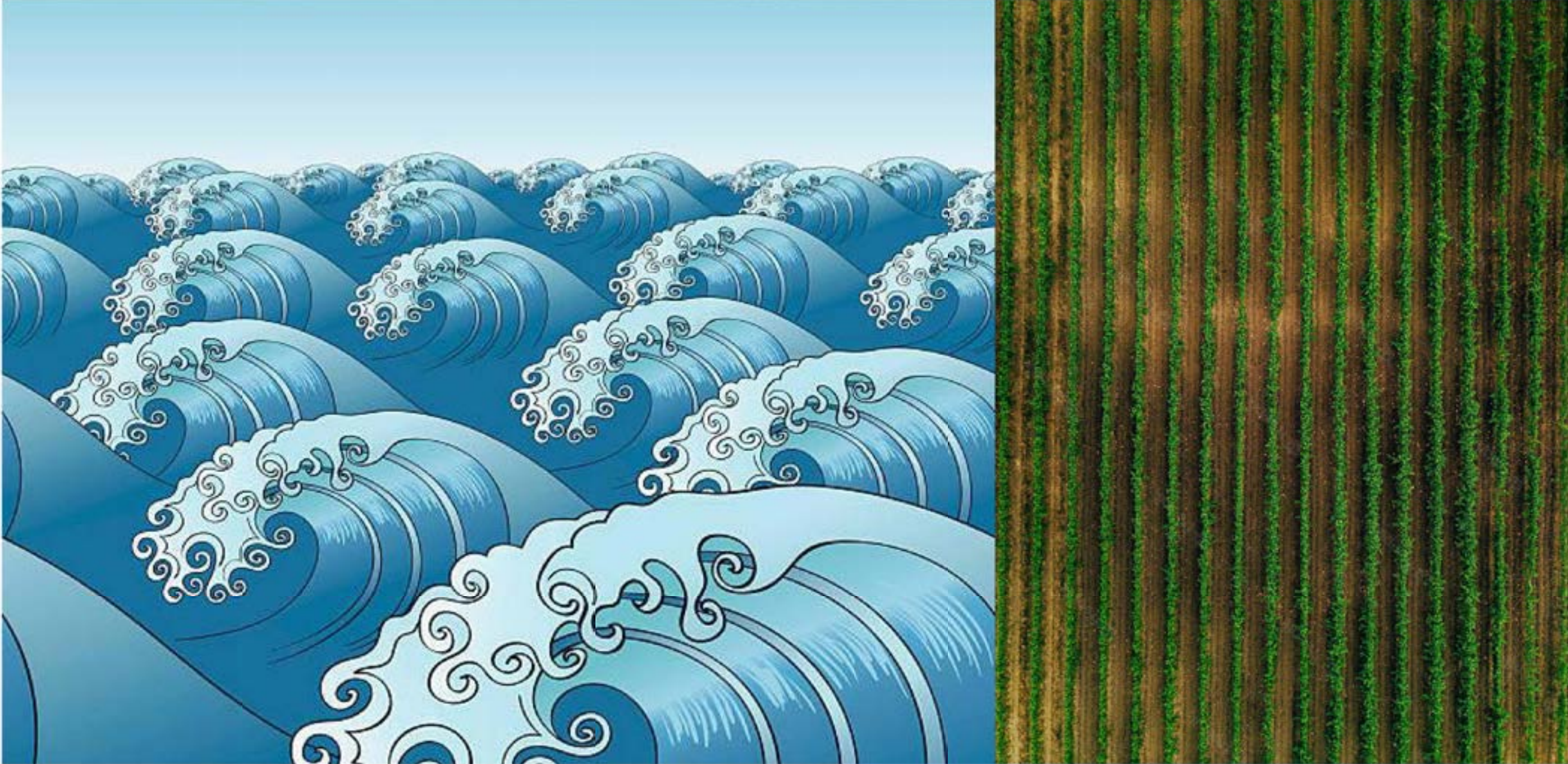
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A020





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PROJECT TITLE:

GATEWAY TOWER

430 HARVEY AVE, KELOWNA BC,
VIY 6C6

LOT A, DISTRICT LOT 139, O.D.Y.D.,
PLAN 40022

NO.	DATE	REMARKS
01	JUN 27TH 2025	FOR DP SUBMISSION

KEY PLAN:

DRAWING TITLE:

DESIGN RATIONAL

PROJECT NO:	W2112
SCALE:	
DRAWN:	Author
CHECKED:	Checker
DRAWING NO:	



- ① METAL PANEL (WHITE)
- ② METAL PANEL (VARIING OXIDIZED COPPER TONES)
- ③ CLEAR GLASS
- ④ WINDOW WALL METAL PANEL (DARK BLUE)
- ⑤ EXPOSED CONCRETE



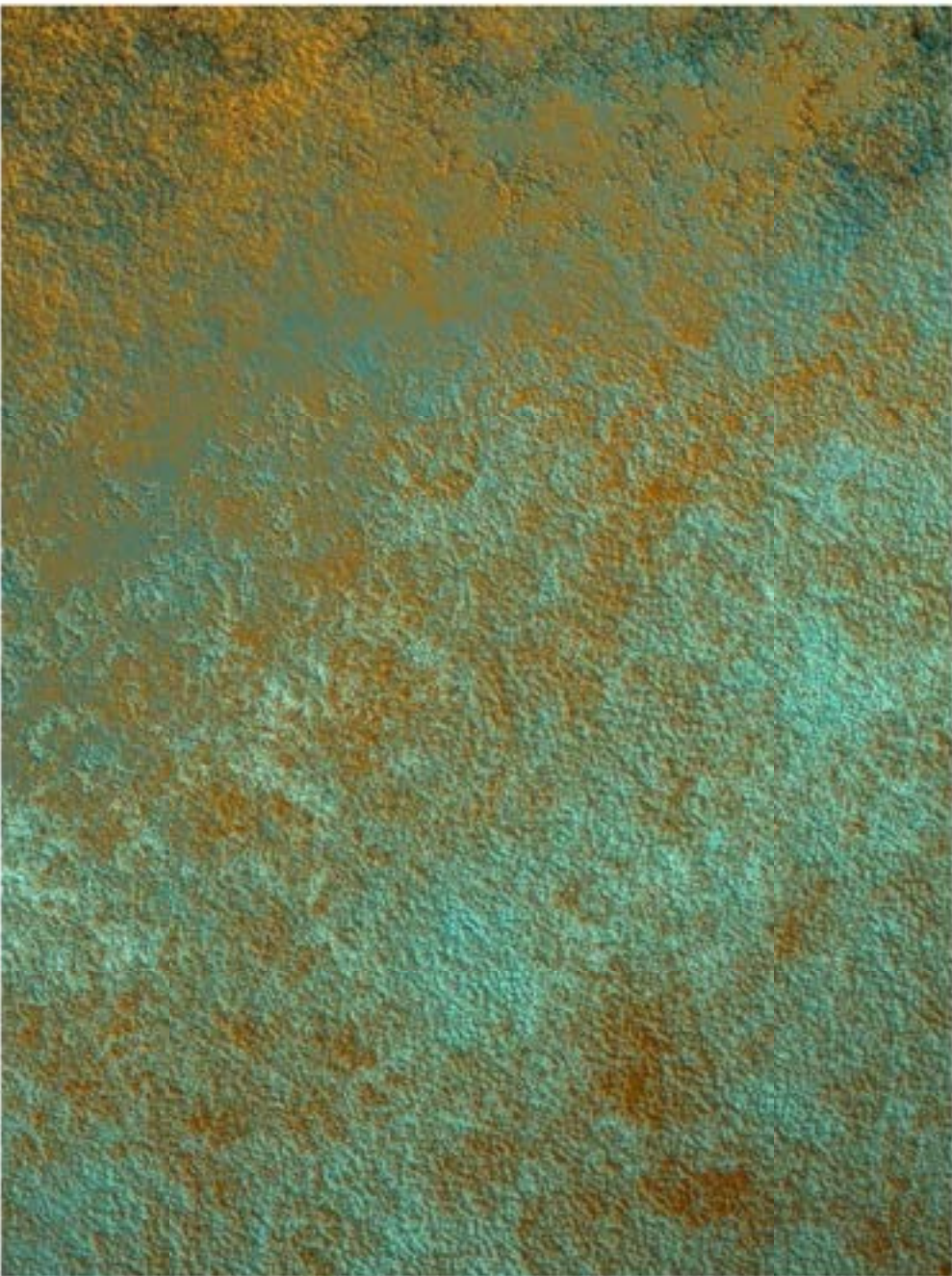
4 WINDOW WALL METAL PANEL (DARK BLUE)



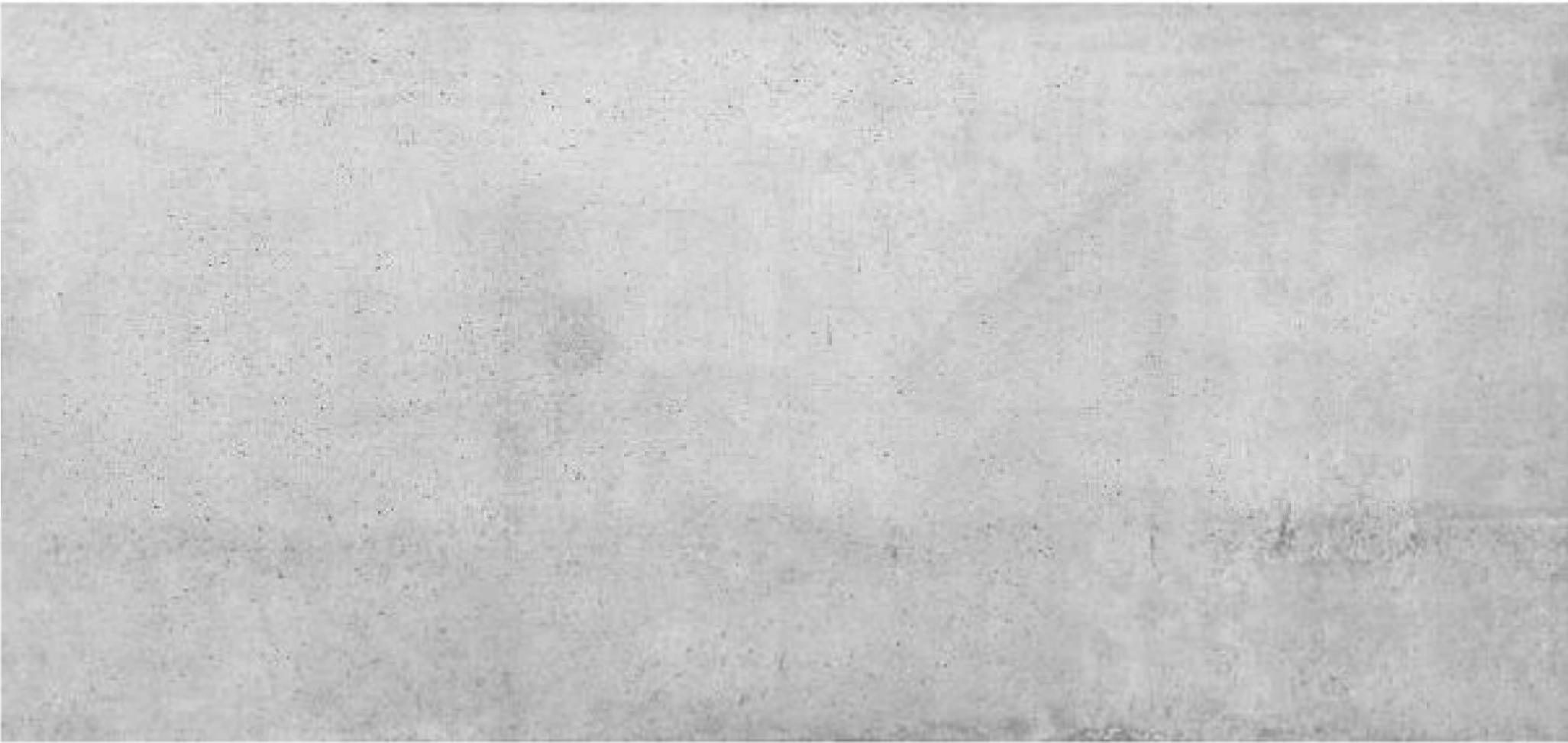
1 METAL PANEL (WHITE)



3 CLEAR GLASS



2 METAL PANEL (VARIING OXIDIZED COPPER TONES)



5 EXPOSED CONCRETE

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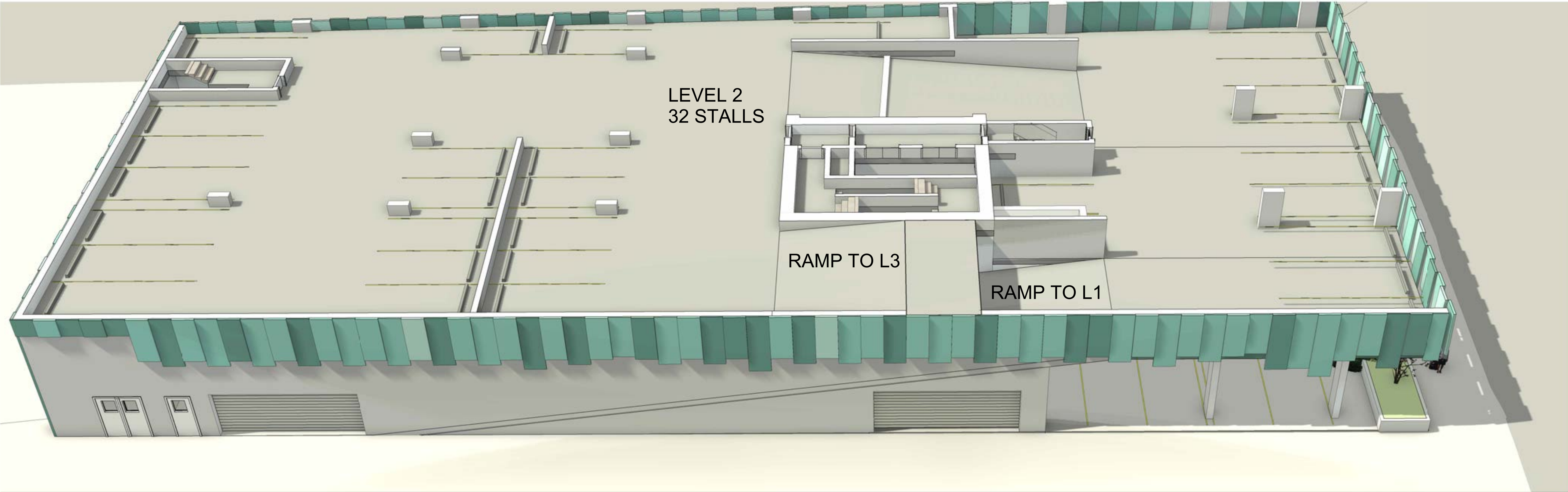
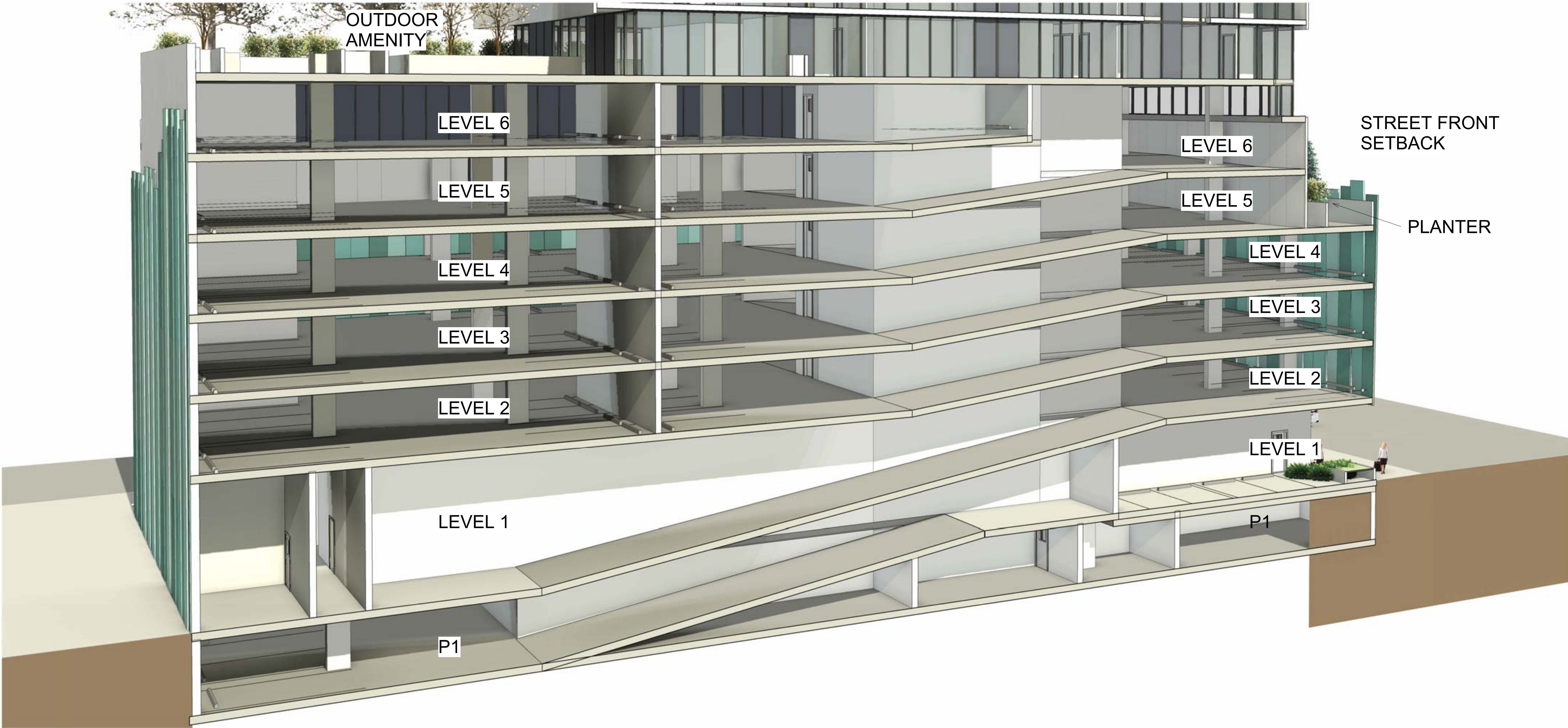
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MATERIAL BOARD

PROJECT NO: W2112
SCALE: 1/2" = 1'-0"
DRAWN: Author
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GATEWAY TOWER

430 HARVEY AVE, KELOWNA BC,
V1Y 6C6

LOT A, DISTRICT LOT 139, O.D.Y.D.,
PLAN 40022

NO.	DATE	REMARKS
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KEY PLAN:

DRAWING TITLE:

PARKING STRATEGY

PROJECT NO: W2112
SCALE:
DRAWN: Author
CHECKED: Checker
DRAWING NO:

A030

PROJECT DATA

PROJECT WORK
CONSTRUCT MIXED USE HIGH RISE WITH ONE LEVEL UNDERGROUND PARKING.

CIVIC ADDRESS
430 HARVEY AVE, KELOWNA BC. V1Y 6C6

LEGAL DESCRIPTION
LOT A DISTRICT 139, ODYO, PLAN 40022

LOT AREA
~ 1581.0 m²

NET LOT AREA
~ 1535.5 m² (16528 SF)

ZONING INFO.

ZONE:	UC1	
SETBACKS:	REQUIRED	PROPOSED
FRONT (SOUTH)	MOTI 4.5M	2 M
REAR (NORTH):	0.0 M	0.0 M
SIDE (WEST):	0.0 M	0.0 M
SIDE (EAST)	0.0 M	0.0 M

HEIGHT
102.5M / 32 STOREYS

FLOOR AREA RATIO

COMMERCIAL	0.30
RESIDENTIAL	8.80
TOTAL	9.10

FLOOR AREAS

FAR		
COMMERCIAL	5030 SF	467 m²
RESIDENTIAL	145410 SF	13509 m²
	150439 SF	13976 m²

NONE FAR		
AMENITY	1613 SF	150 m²
COMMON AREA	34860 SF	3239 m²
PARKING & SERVICE AREAS	70519 SF	6551 m²

	106993 SF	9940 m²
TOTAL	257432 SF	23916 m²

AMENITY AREAS

COMMON		
INDOOR AMENITY	1613 SF	150 m²
OUTDOOR AMENITY	12080 SF	1122 m²
TOTAL	13694 SF	1272 m²
PRIVATE		
BALCONY	37255 SF	3461 m²

UNITS

1 BED					
TYPE A1	26	489 SF	1 BED	12721 SF	1182 m²
TYPE A2	26	489 SF	1 BED	12721 SF	1182 m²
TYPE A3	26	475 SF	1 BED	12343 SF	1147 m²
TYPE D	52	487 SF	1 BED	25337 SF	2354 m²
	130			63122 SF	5864 m²
2 BED					
TYPE B	51	829 SF	2 BED	42300 SF	3930 m²
TYPE C	51	784 SF	2 BED	39987 SF	3715 m²
	102			82288 SF	7645 m²
TOTAL	232			145410 SF	13509 m²

OFF STREET PARKING

	REQUIRED	PROPOSED
RESIDENTIAL:		
1 BEDROOM	117(0.9)	52*
2 BEDROOM	102(1.0)	102
VISITOR:	33(0.14)	27
COMMERCIAL	4	4
TOTAL:	256	185 (165+ 4 CAR SHARE)
ACCESSIBLE	5	4
VAN ACCESSIBLE	1	1
SMALL CAR	MAX. 50%	54%

*BUS PASSES AND CAR-SHARE MEMBERSHIPS TO BE PROVIDED FOR ALL UNITS WITH NO PARKING ASSIGNMENT

BICYCLE PARKING

CLASS 1	REQUIRED	PROPOSED
RESIDENTIAL:	174	208
COMMERCIAL:	1	1
TOTAL:	175	209

CLASS 2

RESIDENTIAL:	6	6
COMMERCIAL/VISITOR:	2	2
TOTAL:	8	8

TALL BUILDING REGULATIONS

	REQUIRED	PROPOSED
MIN.TRANSF. 1ST FLOOR	75%	85%
MIN. DEPTH OF COM. UNIT	6.0 M	8.9 M
TRIANGULAR SETBACK	4.5 M	4.5 M
MAX. PODIUM HEIGHT	16.0 M / 4 STOREYS	20.6 M / 6 STOREYS
PODIUM ROOFTOP	NO OPEN P.	AMENITIY
BUILDING SEPARATION	30.0 M	30.0 M
MAXIMUM FLOOR PLATE GFA	750 SM	618 SM
TOWER STEPBACK	3.0 M	3.0 M



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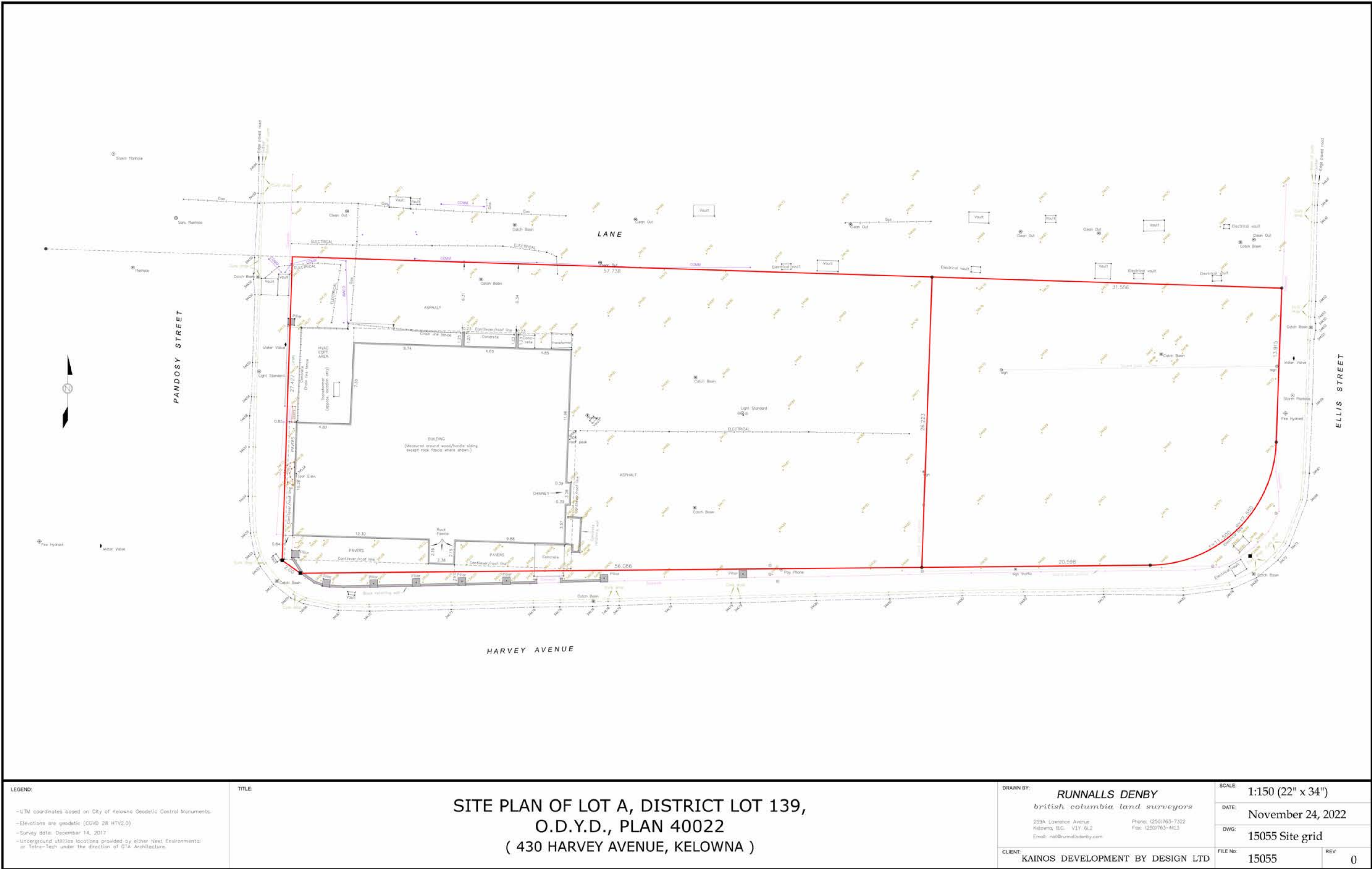
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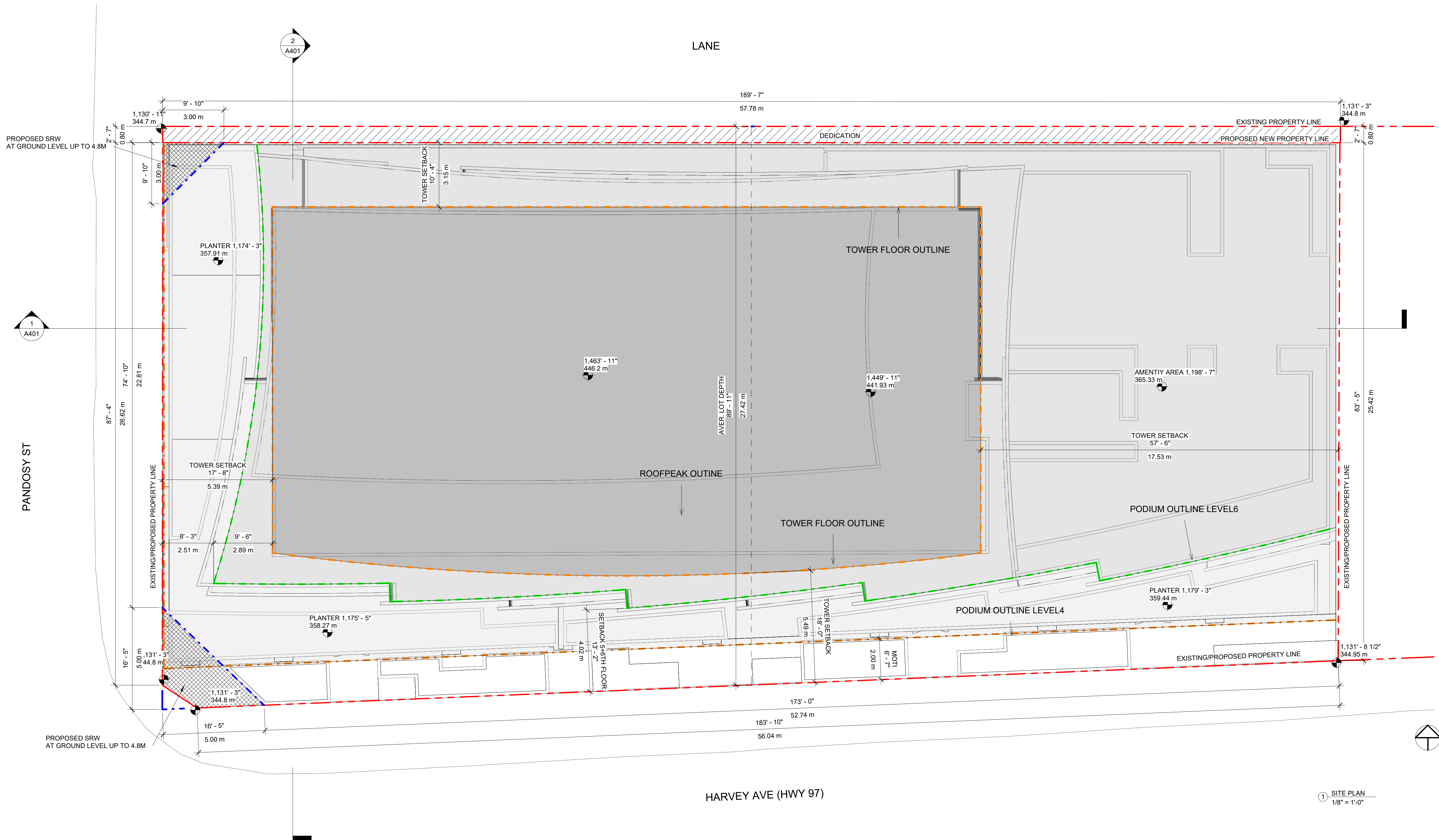
DRAWING TITLE:

PROJECT DATA

PROJECT NO: W2112
SCALE:
DRAWN: PM
CHECKED: WC

DRAWING NO:





1 SITE PLAN
1/8" = 1'-0"

SITE AREA:
EXISTING: 1,581.7 SM /17,025 SF
PROPOSED: 1,535.5 SM /16,528 SF
LOT COVERAGE: 92.2% (15,236 SF/16,528 SF)

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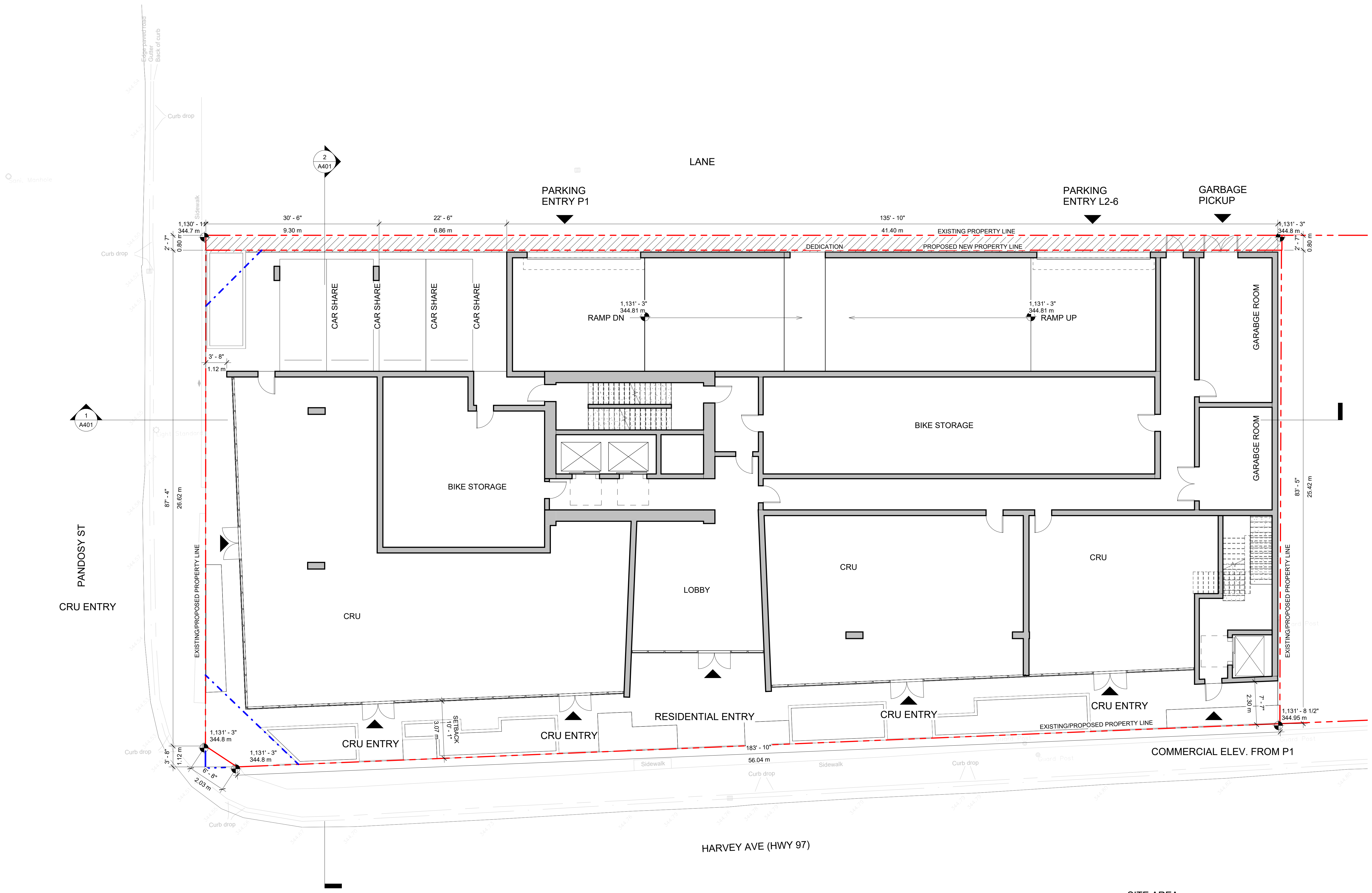
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KEY PLAN:

DRAWING TITLE:
SITE PLAN - TOP DOWN

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DRAWING TITLE:
SITE PLAN AT GRADE

PROJECT NO: W2112
SCALE: 1/8" = 1'-0"
DRAWN: Author
CHECKED: Checker
DRAWING NO:



PROJECT TITLE:

GATEWAY TOWER

430 HARVEY AVE, KELOWNA BC,
VIY 6C6

LOT A, DISTRICT LOT 139, O.D.Y.D.,
PLAN 40022

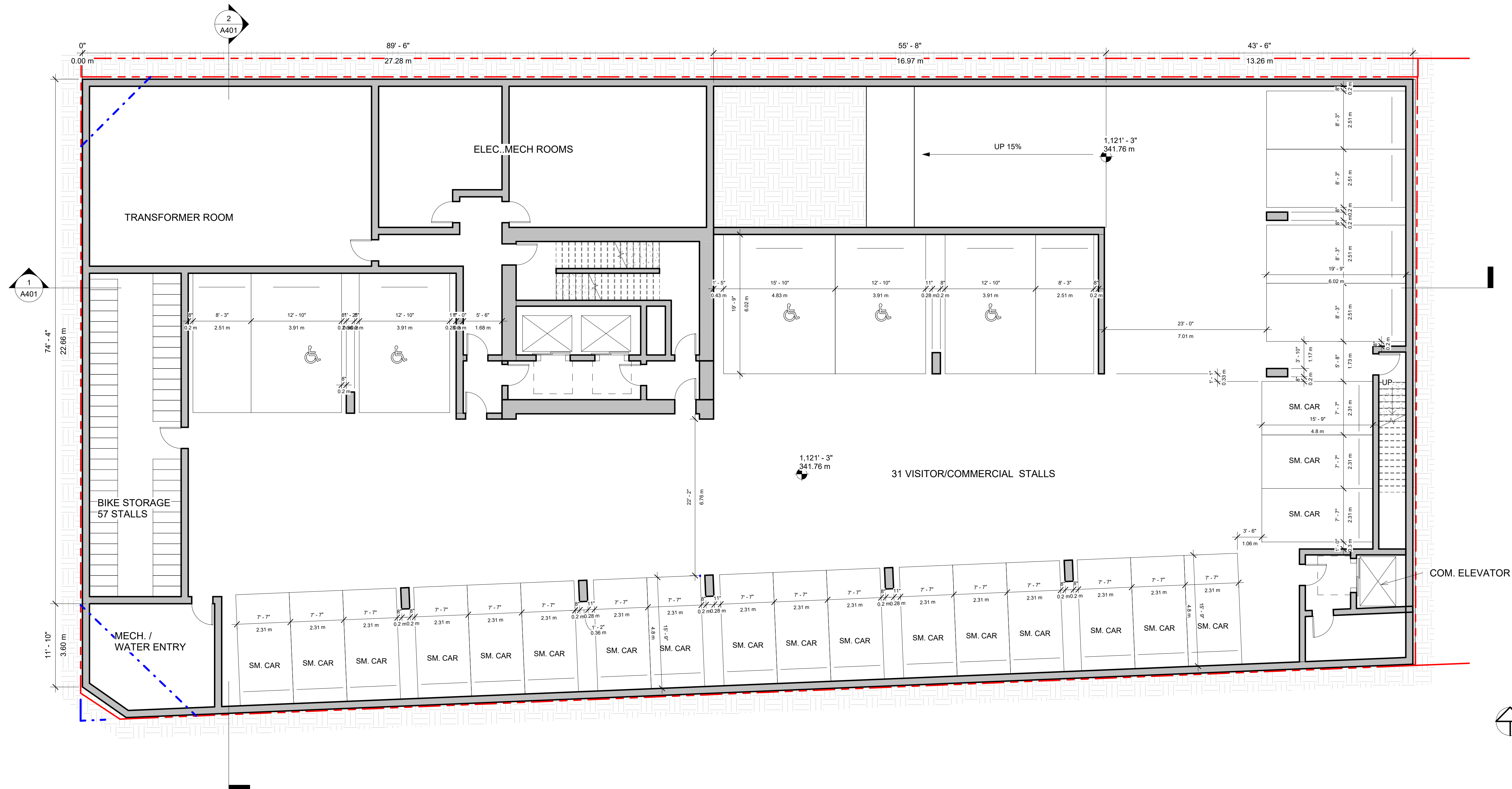
NO.	DATE	REMARKS
01	JUN 27TH 2025	FOR DP SUBMISSION

KEY PLAN:

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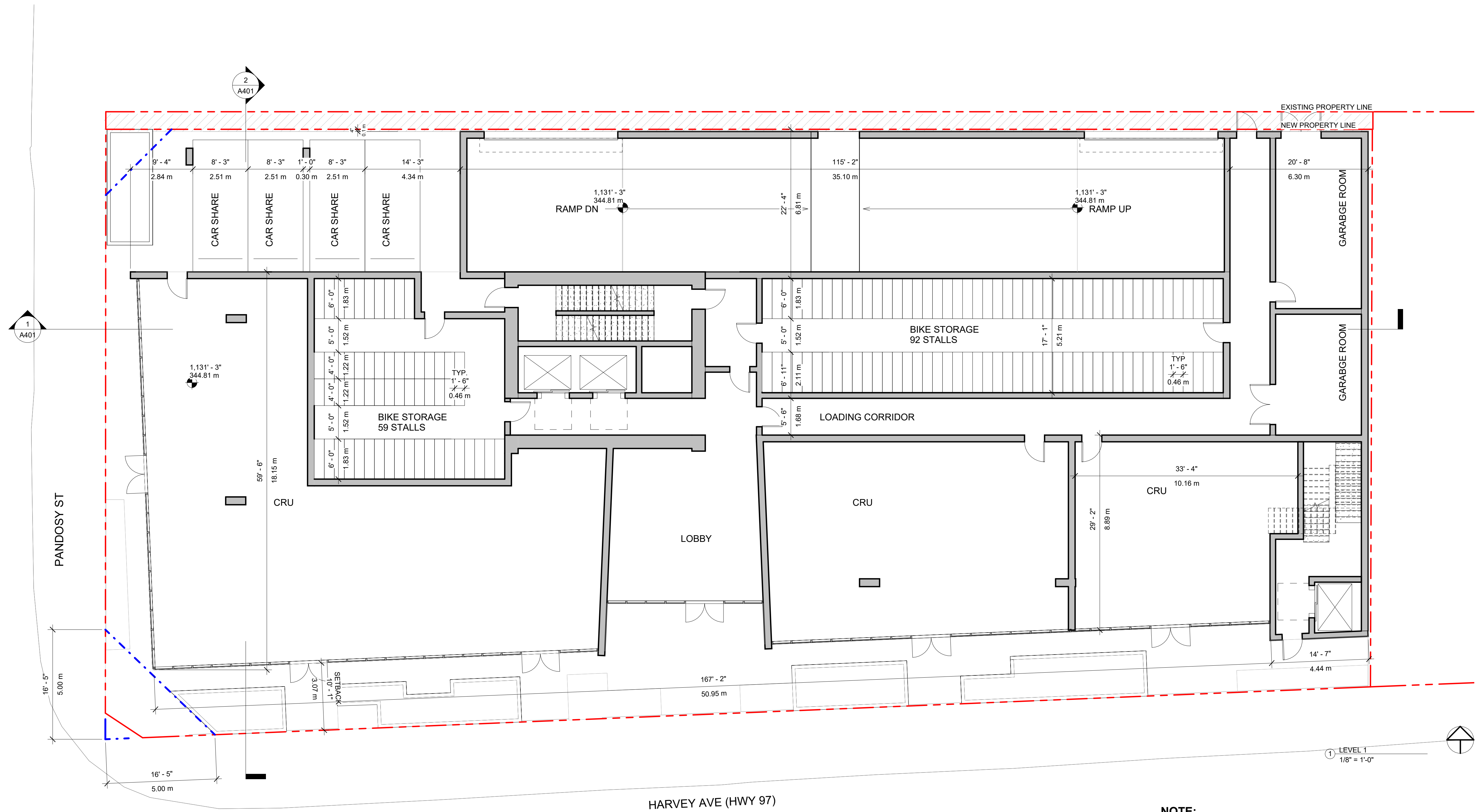
PARKING LEVEL 1

PROJECT NO: W2112
SCALE: 1/8" = 1'-0"
DRAWN: Author
CHECKED: Checker
DRAWING NO:



NOTE:

BUS PASSES AND CAR-SHARE MEMBERSHIPS TO BE PROVIDED FOR ALL UNITS WITH NO PARKING ASSIGNMENT



NOTE:
BUS PASSES AND CAR-SHARE MEMBERSHIPS TO BE PROVIDED FOR ALL UNITS WITH NO PARKING ASSIGNMENT



PROJECT TITLE:
GATEWAY TOWER

430 HARVEY AVE, KELOWNA BC,
VIY 6C6

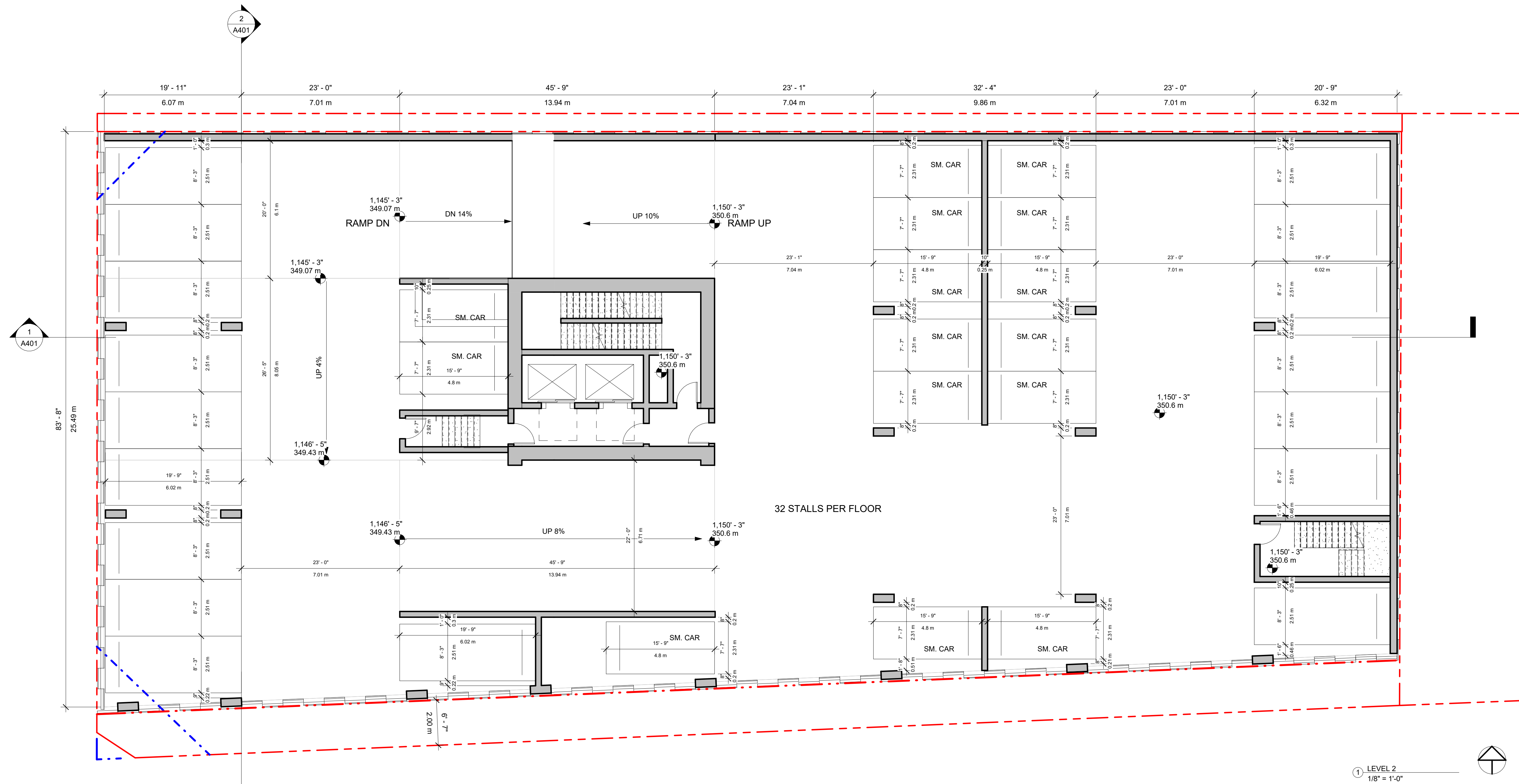
LOT A, DISTRICT LOT 139, O.D.Y.D.,
PLAN 40022

NO.	DATE	REMARKS
01	JUN 27TH 2025	FOR DP SUBMISSION

KEY PLAN:

DRAWING TITLE:
1ST FLOOR PLAN

PROJECT NO: W2112
SCALE: 1/8" = 1'-0"
DRAWN: PM
CHECKED: WC
DRAWING NO:



NOTE:

BUS PASSES AND CAR-SHARE MEMBERSHIPS TO BE PROVIDED FOR ALL UNITS WITH NO PARKING ASSIGNMENT



PROJECT TITLE:

GATEWAY TOWER

430 HARVEY AVE, KELOWNA BC,
VIY 6C6

LOT A, DISTRICT LOT 139, O.D.Y.D.,
PLAN 40022

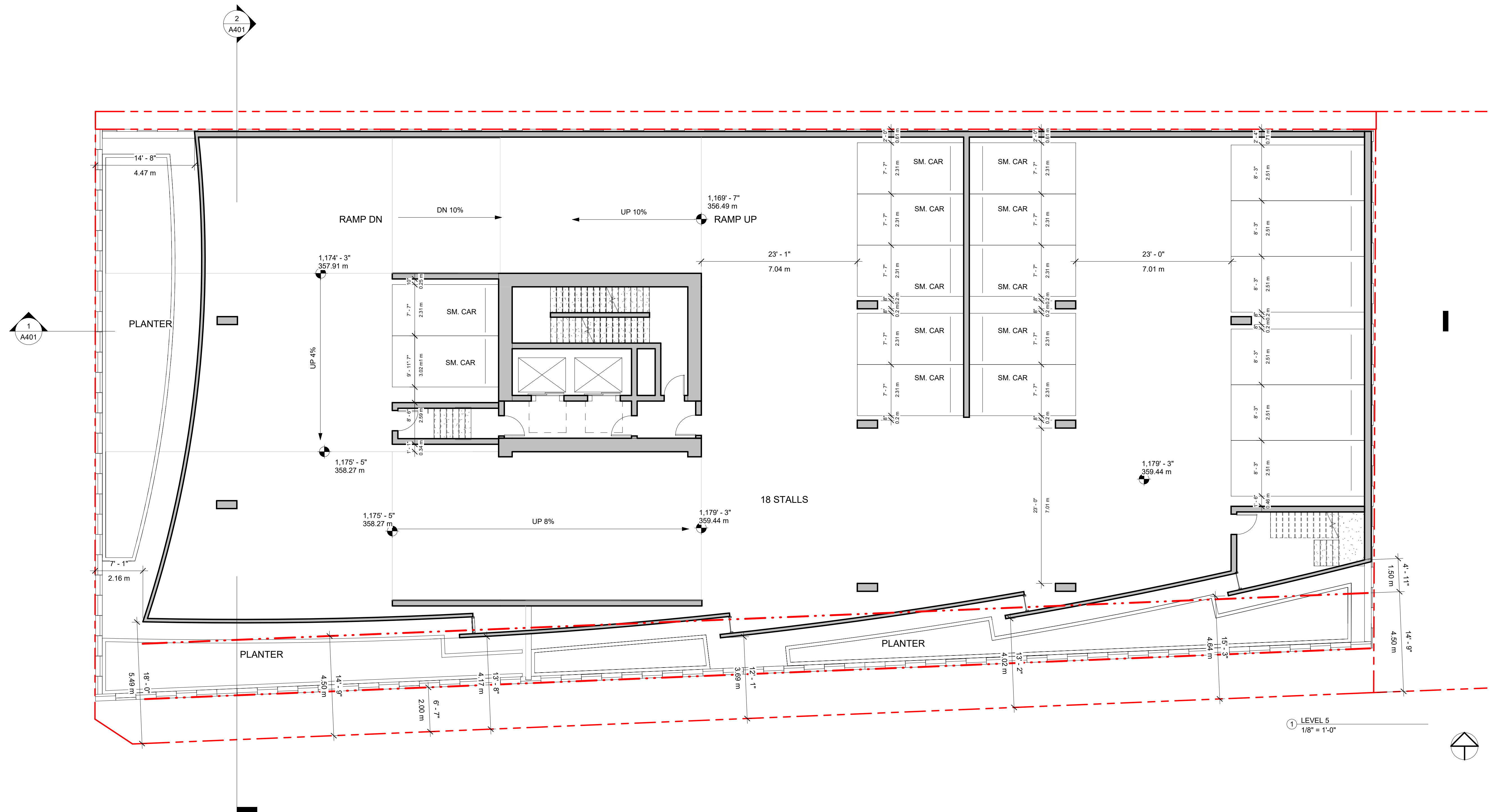
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01	JUN 27TH 2025	FOR DP SUBMISSION

KEY PLAN:

DRAWING TITLE:

2ND-4TH FLOOR PLAN

PROJECT NO: W2112
SCALE: 1/8" = 1'-0"
DRAWN: PM
CHECKED: WC
DRAWING NO:



NOTE:
BUS PASSES AND CAR-SHARE MEMBERSHIPS TO BE PROVIDED FOR ALL UNITS WITH NO PARKING ASSIGNMENT

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CONSULTANT:



PROJECT TITLE:
GATEWAY TOWER

430 HARVEY AVE, KELOWNA BC,
VIY 6C6

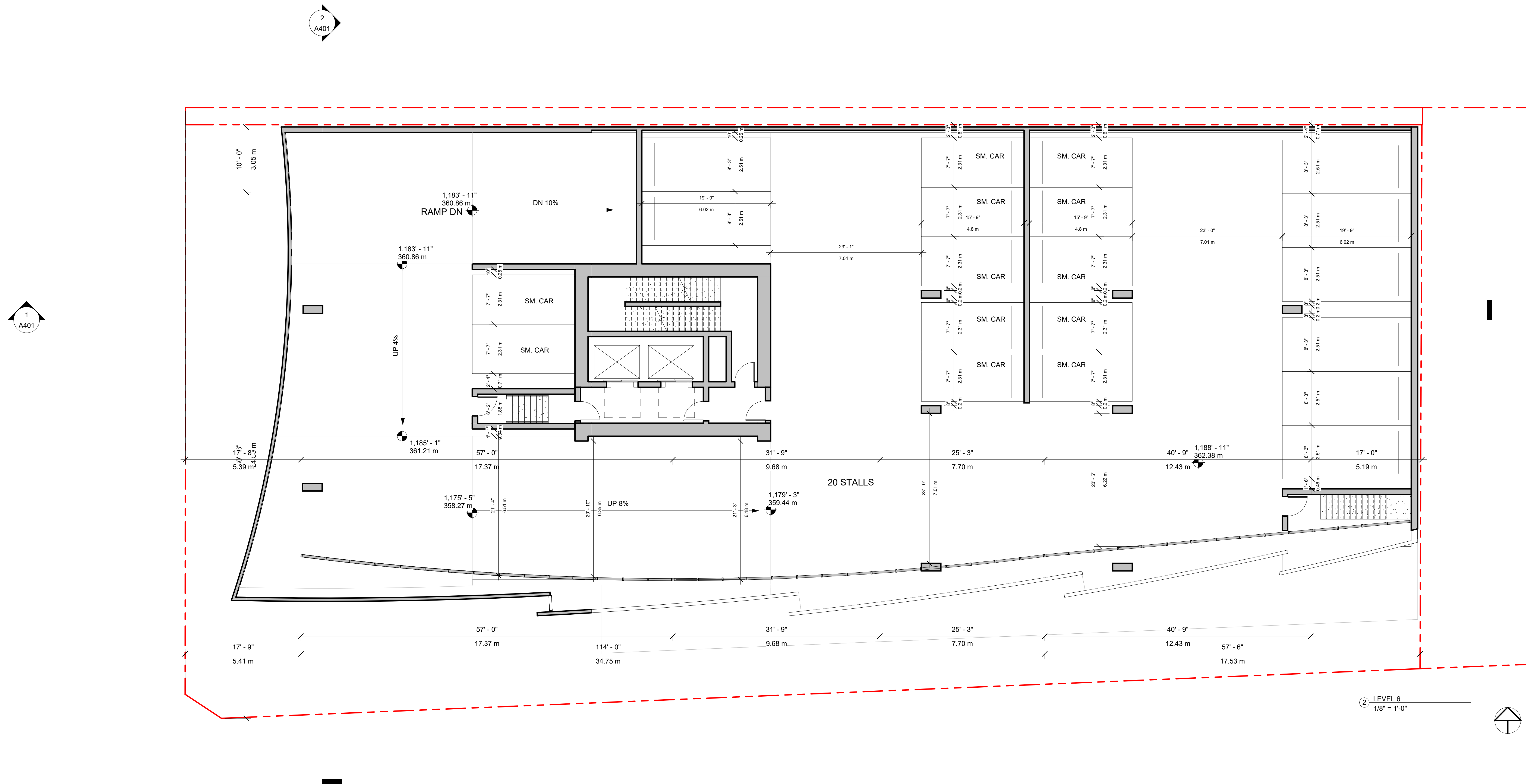
LOT A, DISTRICT LOT 139, O.D.Y.D.,
PLAN 40022

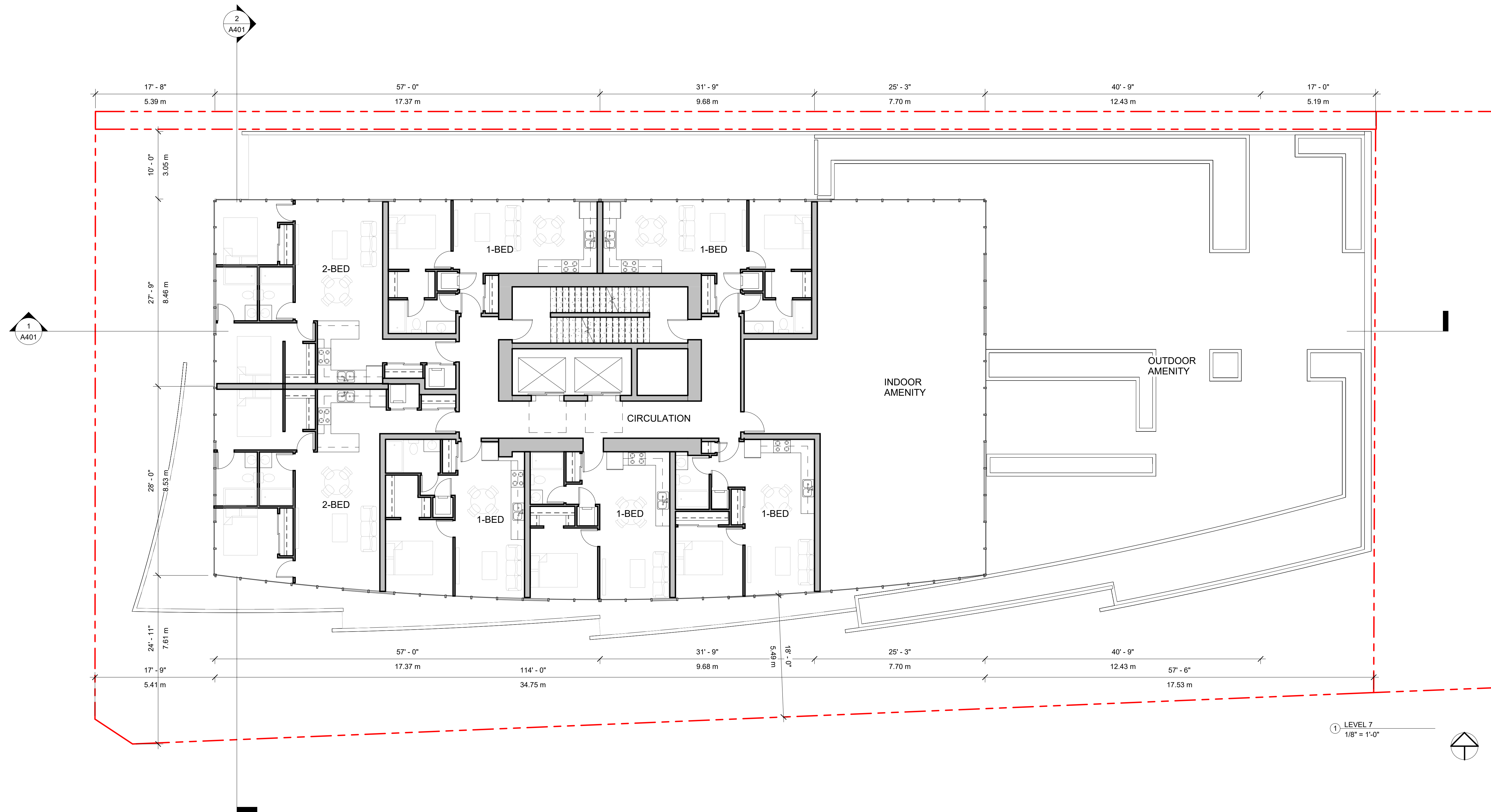
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01	JUN 27TH 2025	FOR DP SUBMISSION

KEY PLAN:

DRAWING TITLE:
5TH FLOOR PLAN

PROJECT NO: W2112
SCALE: 1/8" = 1'-0"
DRAWN: PM
CHECKED: WC
DRAWING NO:





FLOOR PLATE (EXCL. BALCONIES): 618 SM



PROJECT TITLE:

GATEWAY TOWER

430 HARVEY AVE, KELOWNA BC,
VIY 6C6

LOT A, DISTRICT LOT 139, O.D.Y.D.,
PLAN 40022

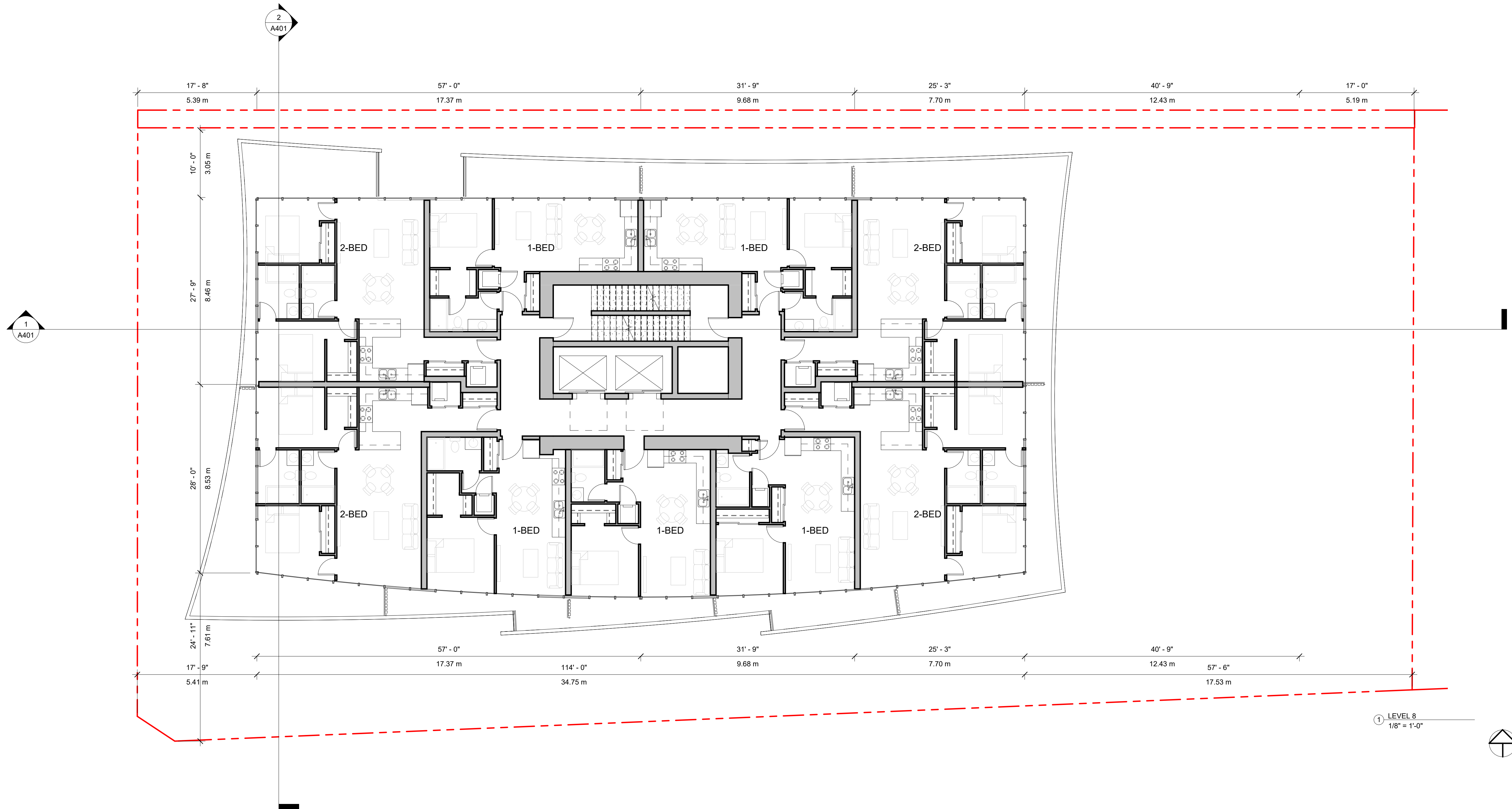
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01	JUN 27TH 2025	FOR DP SUBMISSION

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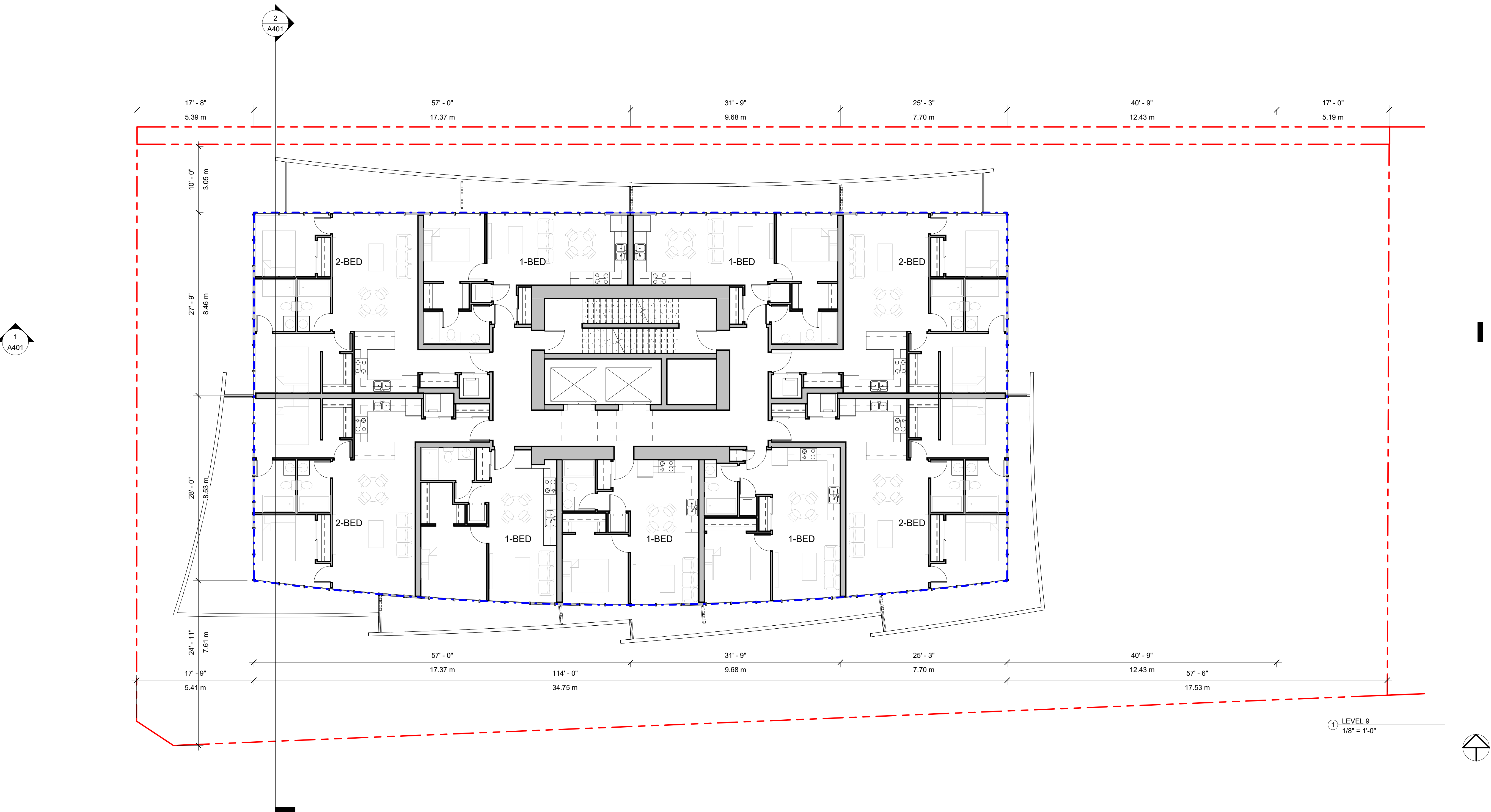
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8TH-32ND FLOOR PLAN - EVEN
FLOORS

PROJECT NO: W2112
SCALE: 1/8" = 1'-0"
DRAWN: pm
CHECKED: wc
DRAWING NO:



FLOOR PLATE (EXCL. BALCONIES): 618 SM



PROJECT TITLE:

GATEWAY TOWER

430 HARVEY AVE, KELOWNA BC,
V1Y 6C6

LOT A, DISTRICT LOT 139, O.D.Y.D.,
PLAN 40022

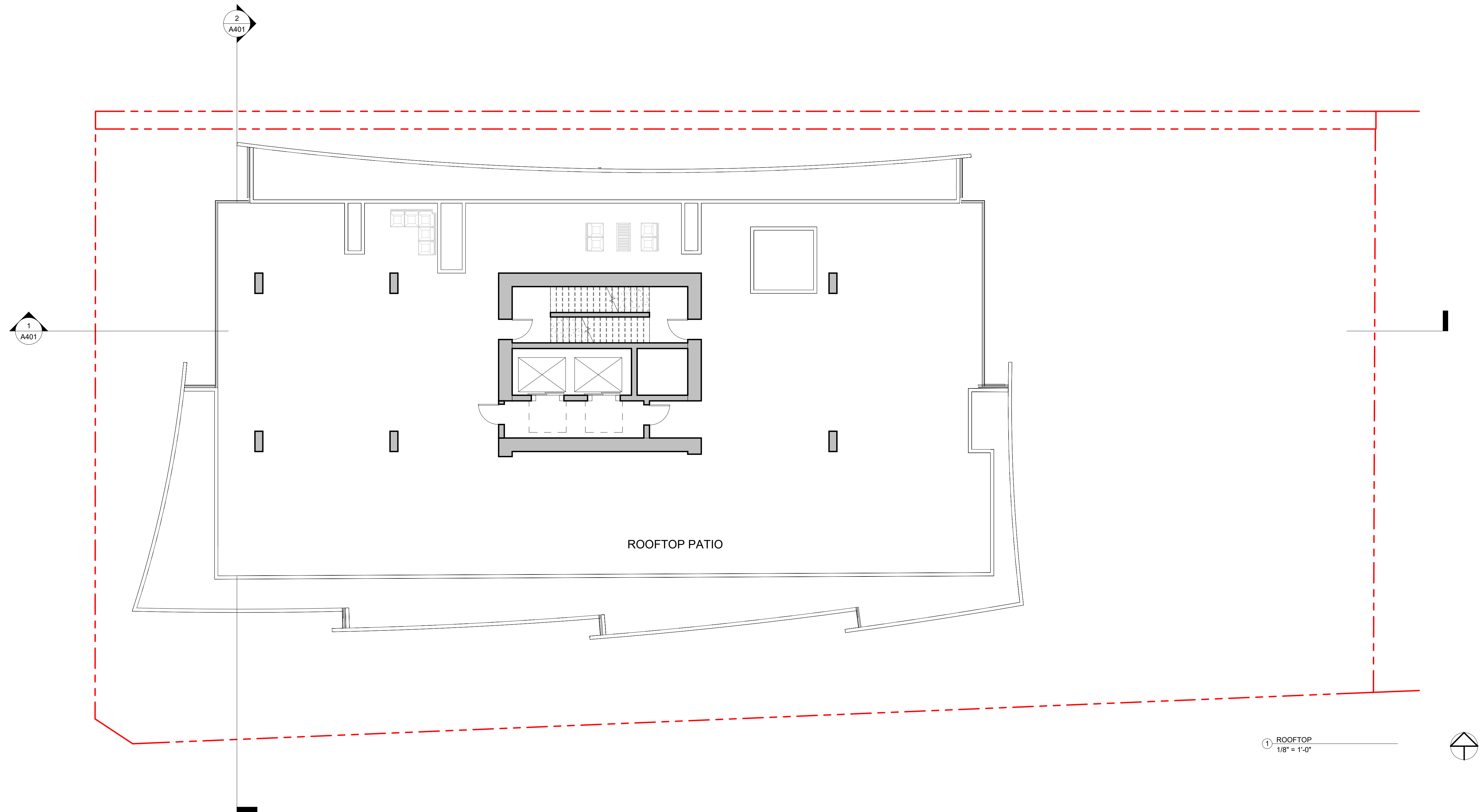
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01	JUN 27TH 2025	FOR DP SUBMISSION

KEY PLAN:

DRAWING TITLE:

9TH-31ST FLOOR PLAN - ODD
FLOORS

PROJECT NO: W2112
SCALE: 1/8" = 1'-0"
DRAWN: Author
CHECKED: Checker
DRAWING NO:



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PROJECT TITLE:

GATEWAY TOWER

430 HARVEY AVE, KELOWNA BC,
VIY 6C6

LOT A, DISTRICT LOT 139, O.D.Y.D.,
PLAN 40022

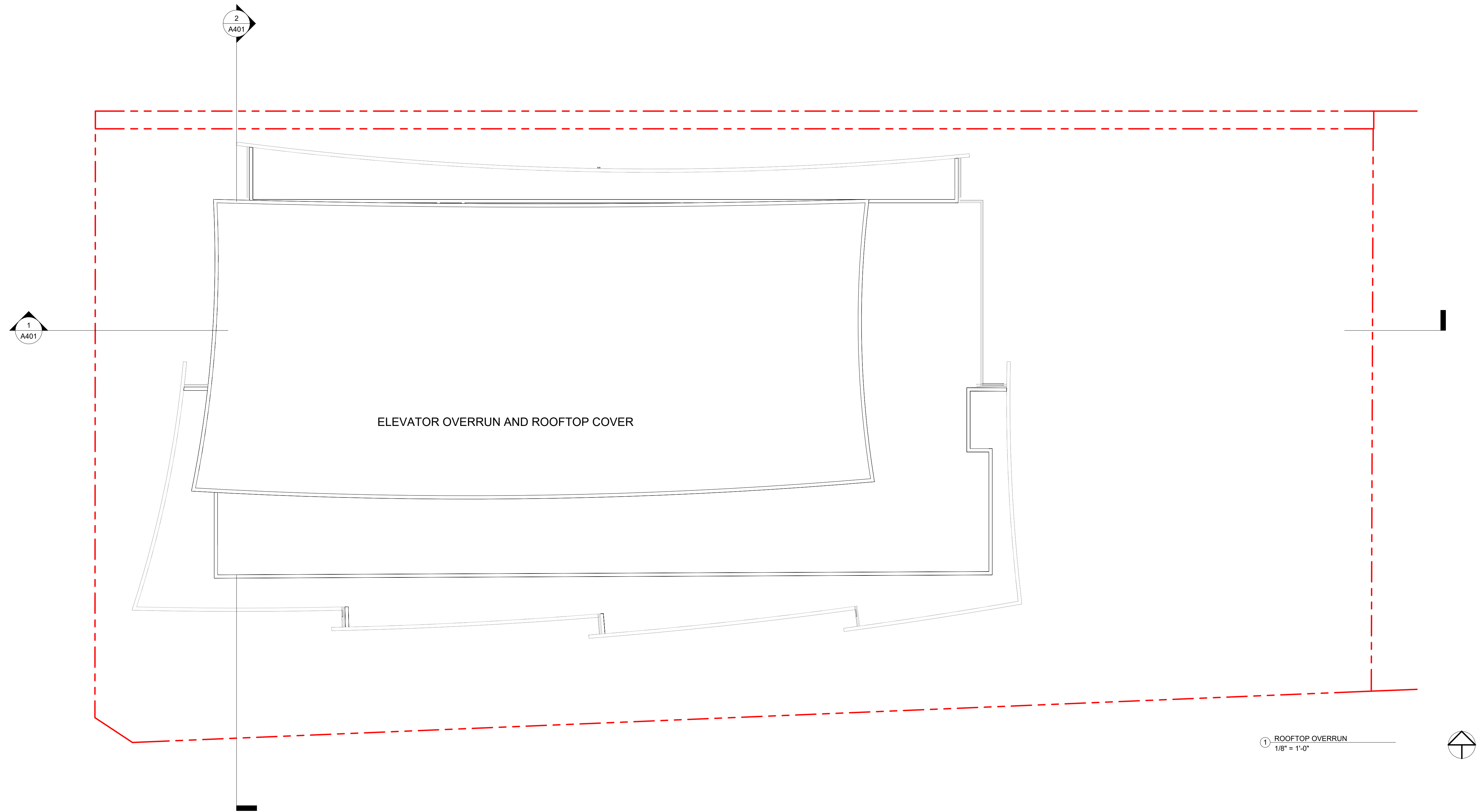
NO.	DATE	REMARKS
01	JUN 27TH 2025	FOR DP SUBMISSION

KEY PLAN:

DRAWING TITLE:

ROOFTOP PLAN

PROJECT NO: W2112
SCALE: 1/8" = 1'-0"
DRAWN: PM
CHECKED: WC
DRAWING NO:



PROJECT TITLE:

GATEWAY TOWER

430 HARVEY AVE, KELOWNA BC,
VIY 6C6

LOT A, DISTRICT LOT 139, O.D.Y.D.,
PLAN 40022

NO.	DATE	REMARKS
01	JUN 27TH 2025	FOR DP SUBMISSION

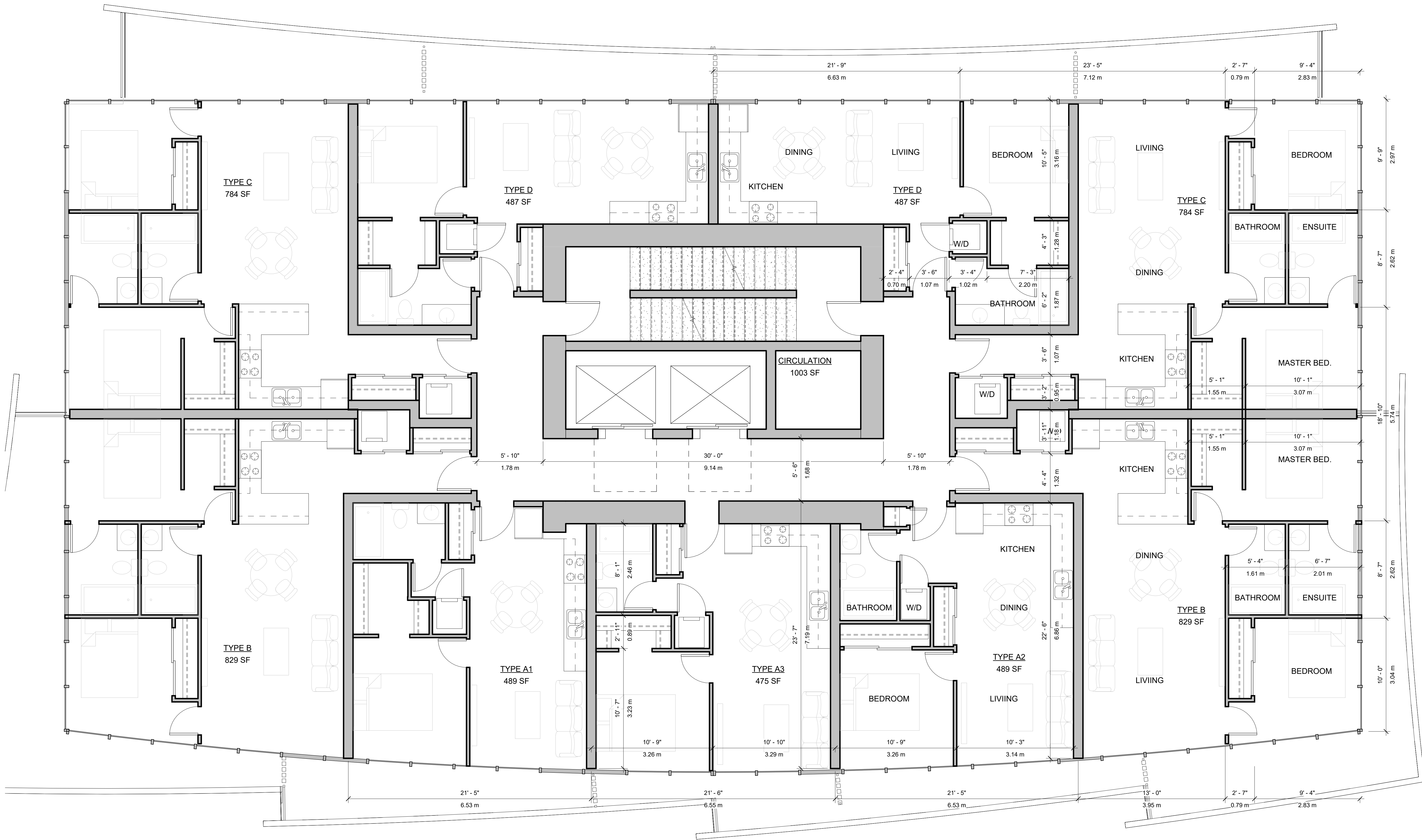
KEY PLAN:

DRAWING TITLE:

ROOFTOP OVERRUN

PROJECT NO: W2112
SCALE: 1/8" = 1'-0"
DRAWN: PM
CHECKED: WC

DRAWING NO:



PROJECT TITLE:

GATEWAY TOWER

430 HARVEY AVE, KELOWNA BC,
VIY 6C6

LOT A, DISTRICT LOT 139, O.D.Y.D.,
PLAN 40022

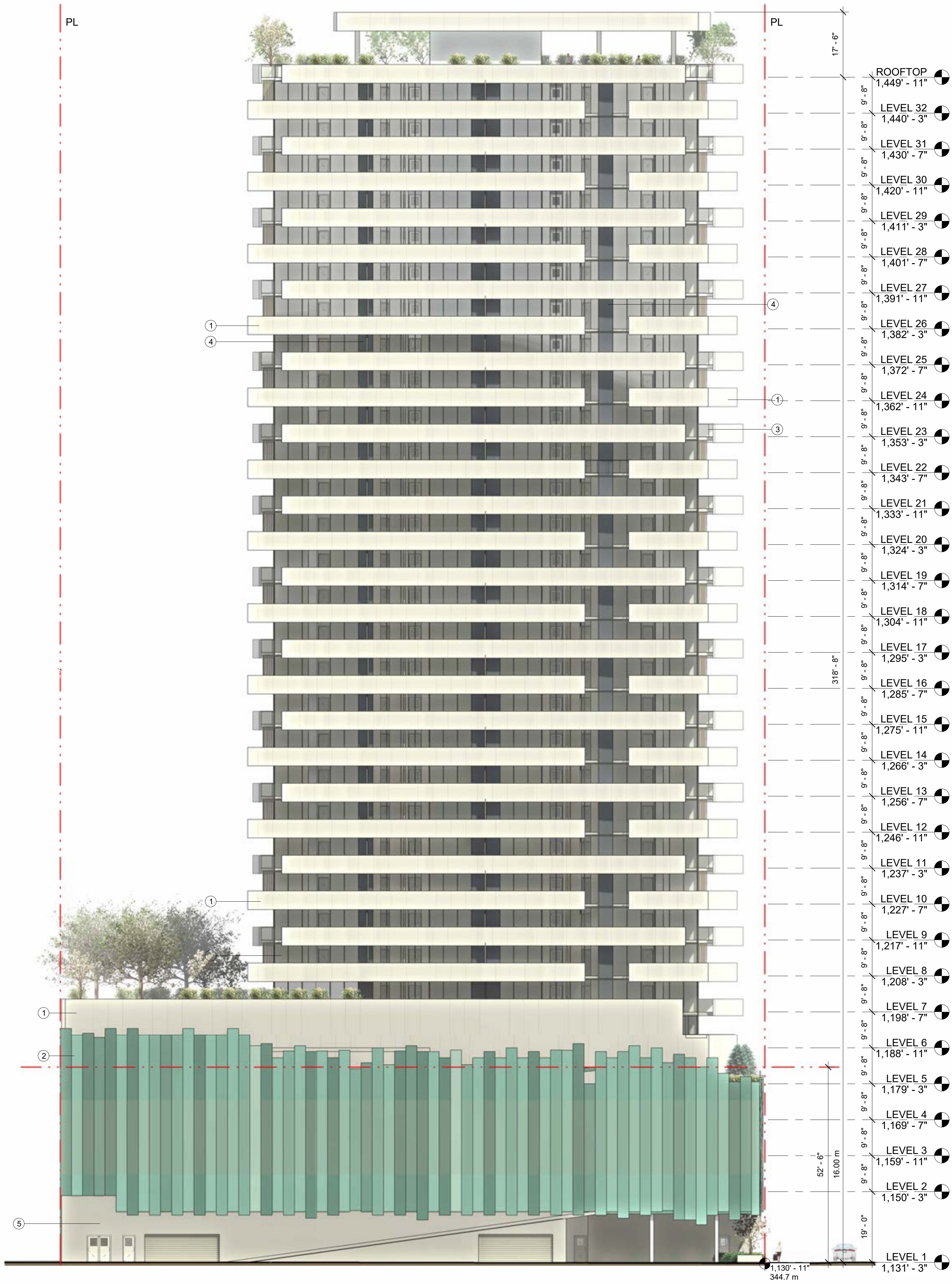
NO.	DATE	REMARKS
01	JUN 27TH 2025	FOR DP SUBMISSION

KEY PLAN:

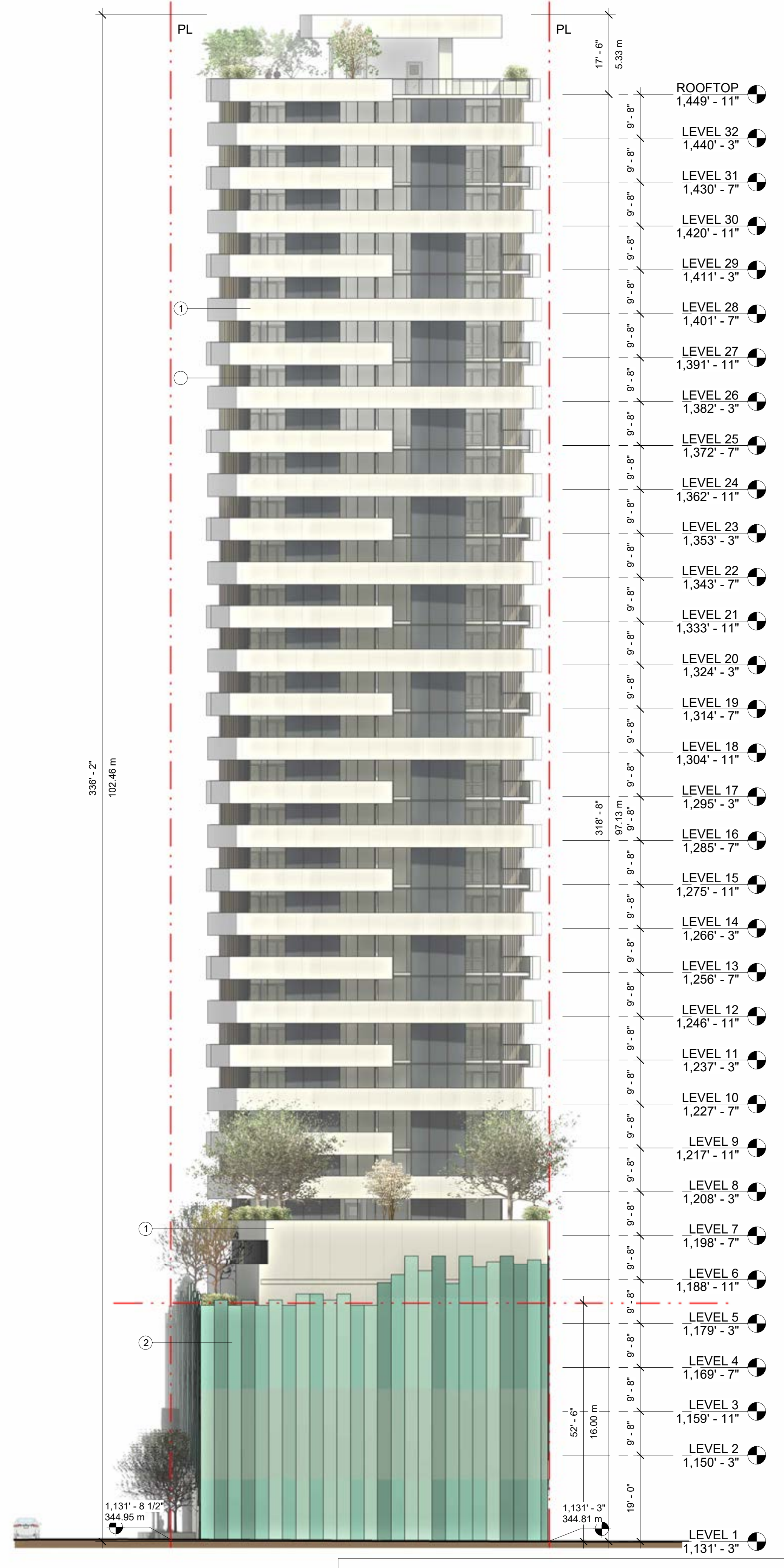
DRAWING TITLE:

UNIT PLANS

PROJECT NO: W2112
SCALE: 1/4" = 1'-0"
DRAWN: Author
CHECKED: Checker
DRAWING NO:



② NORTH ELEVATION
1/16" = 1'-0"



① EAST ELEVATION
1/16" = 1'-0"

- ① METAL PANEL (WHITE)
- ② METAL PANEL (VARIING OXIDIZED COPPER TONES)
- ③ CLEAR GLASS
- ④ WINDOW WALL METAL PANEL (DARK BLUE)
- ⑤ EXPOSED CONCRETE

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GATEWAY TOWER

430 HARVEY AVE, KELOWNA BC,
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LOT A, DISTRICT LOT 139, O.D.Y.D.,
PLAN 40022

NO.	DATE	REMARKS
01	JUN 27TH 2025	FOR DP SUBMISSION

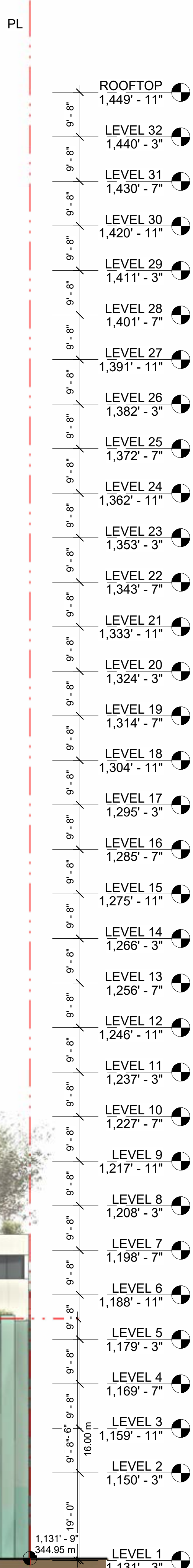
KEY PLAN:

DRAWING TITLE:
NORTH / EAST ELEVATION

PROJECT NO.: W2112
SCALE: As indicated
DRAWN: PM
CHECKED: WC
DRAWING NO.:



① SOUTH ELEVATION
1/16" = 1'-0"



② SOUTH / WEST ELEVATION
1/16" = 1'-0"

- ① METAL PANEL (WHITE)
- ② METAL PANEL (VARIING OXIDIZED COPPER TONES)
- ③ CLEAR GLASS
- ④ WINDOW WALL METAL PANEL (DARK BLUE)
- ⑤ EXPOSED CONCRETE

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CONSULTANT:



PROJECT TITLE:

GATEWAY TOWER

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LOT A, DISTRICT LOT 139, O.D.Y.D.,
PLAN 40022

NO.	DATE	REMARKS
01	JUN 27TH 2025	FOR DP SUBMISSION

KEY PLAN:

DRAWING TITLE:

SOUTH / WEST ELEVATION

PROJECT NO: W2112
SCALE: As indicated
DRAWN: PM
CHECKED: WC
DRAWING NO:

A302



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PROJECT TITLE:

GATEWAY TOWER

430 HARVEY AVE, KELOWNA BC,
VIY 6C6

LOT A, DISTRICT LOT 139, O.D.Y.D.,
PLAN 40022

NO.	DATE	REMARKS
01	JUN 27TH 2025	FOR DP SUBMISSION

KEY PLAN:

DRAWING TITLE:

STREET SCAPE - SOUTH

PROJECT NO: W2112
SCALE: 1" = 20'-0"
DRAWN: PM
CHECKED: WC

DRAWING NO:



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CONSULTANT:



PROJECT TITLE:

GATEWAY TOWER

430 HARVEY AVE, KELOWNA BC,
V1Y 6C6

LOT A, DISTRICT LOT 139, O.D.Y.D.,
PLAN 40022

NO.	DATE	REMARKS
01	JUN 27TH 2025	FOR DP SUBMISSION

KEY PLAN:

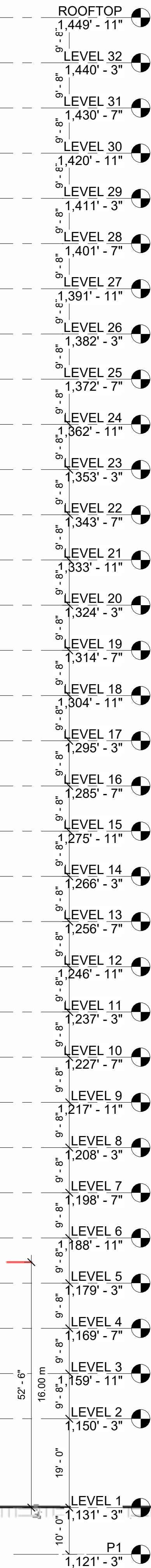
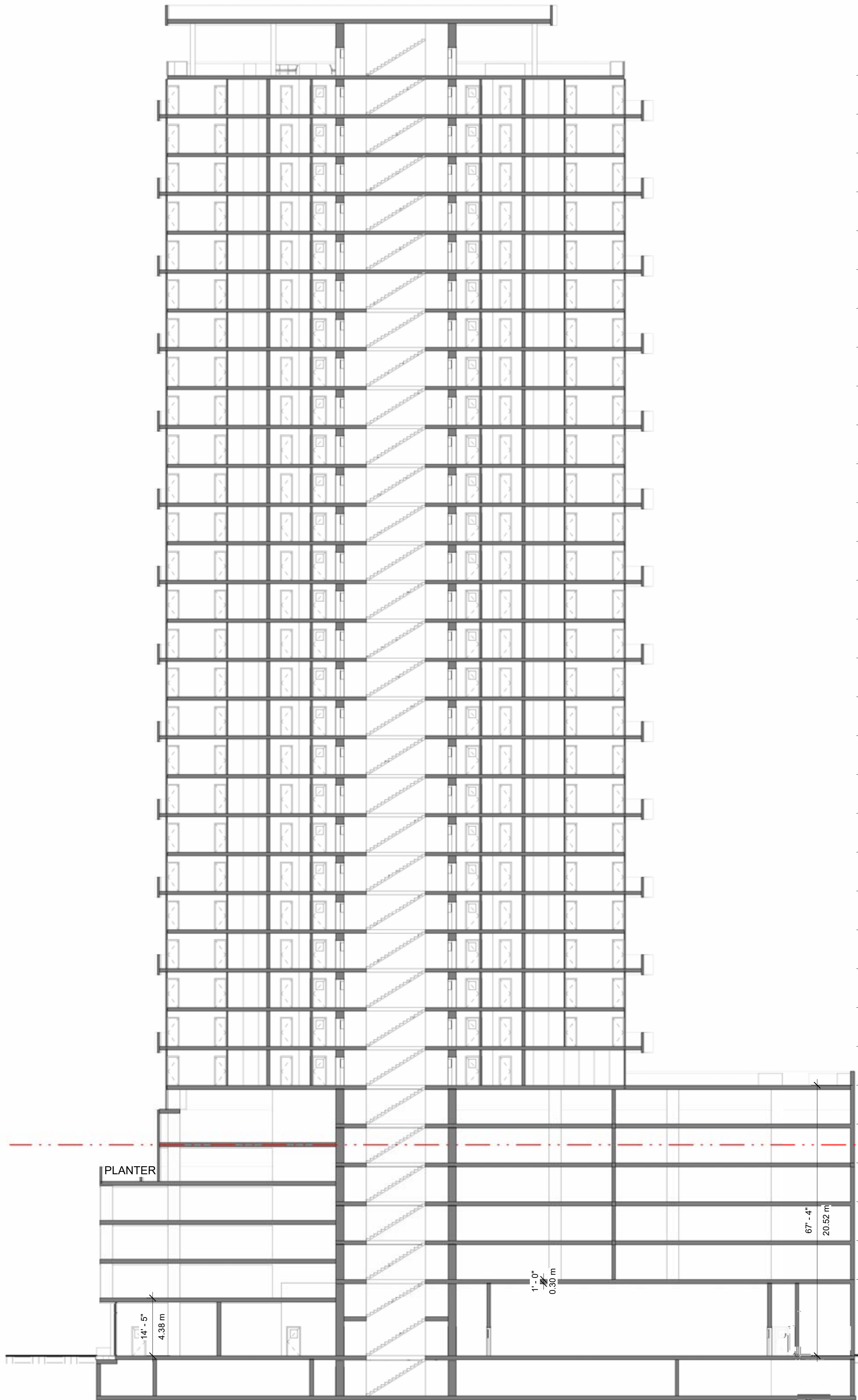
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STREET SCAPE - WEST

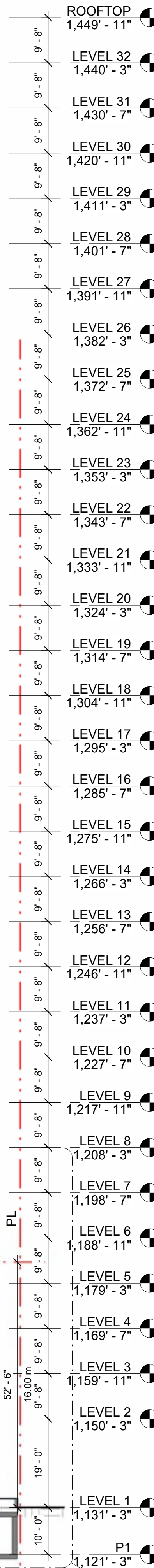
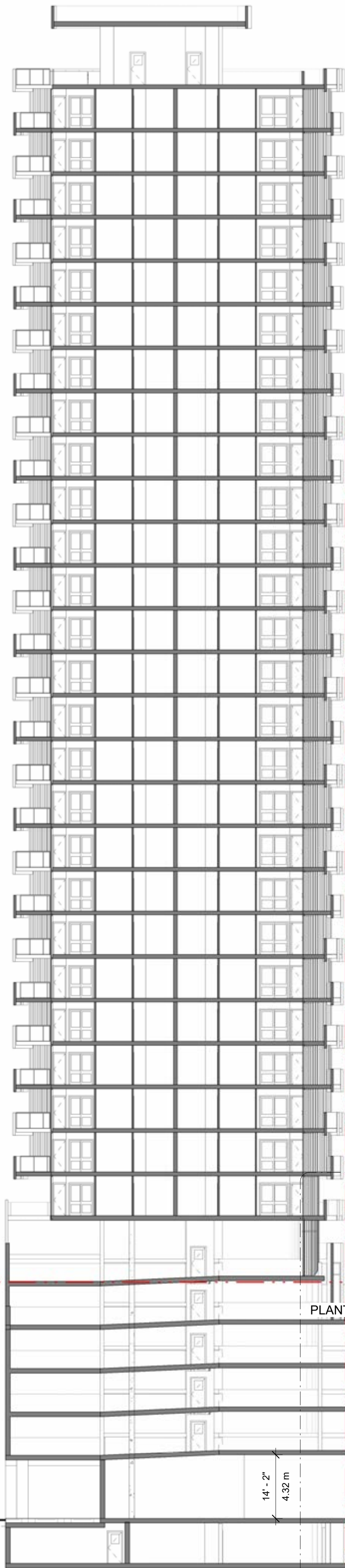
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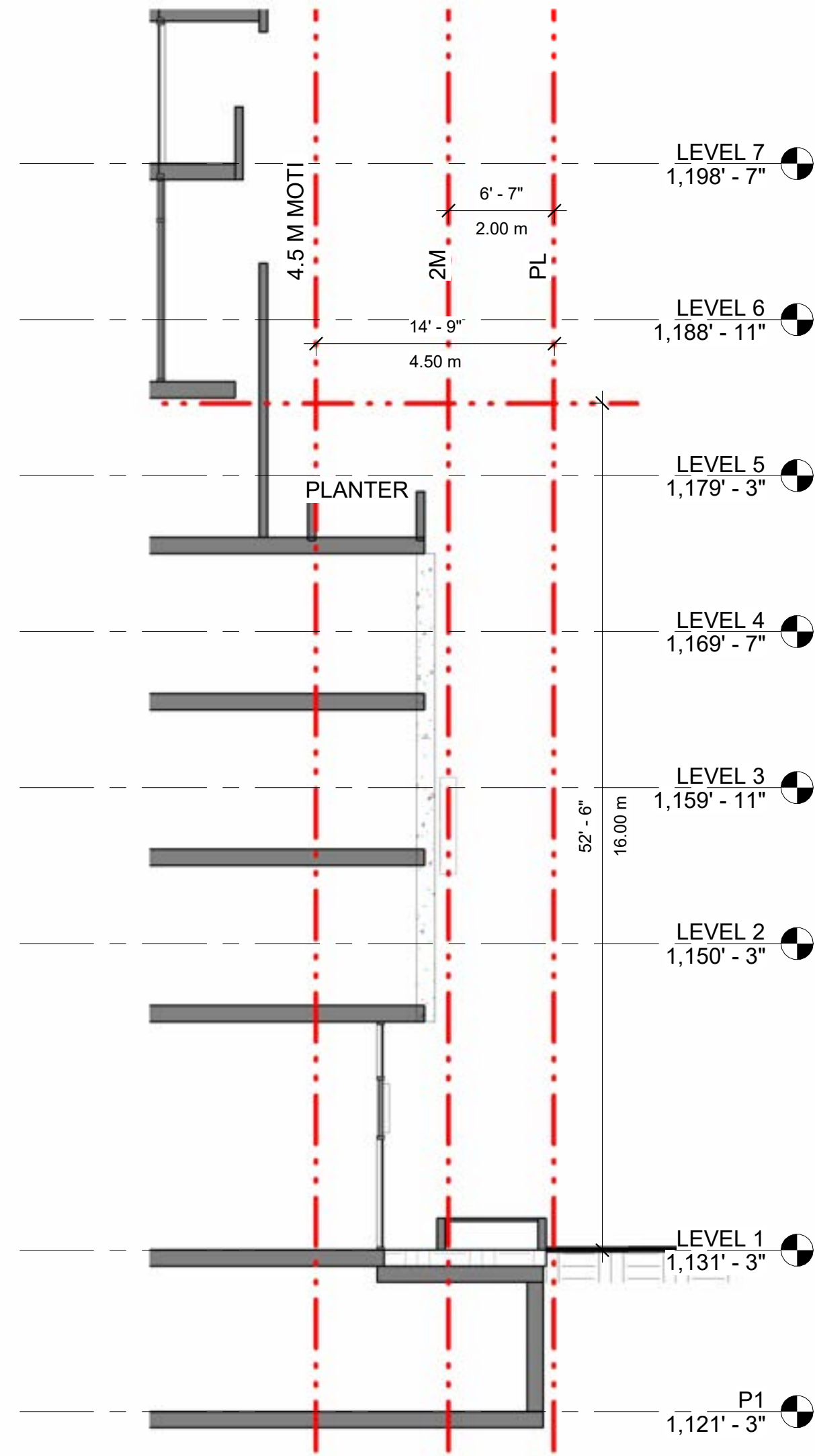
A311



① Section A
1/16" = 1'-0"



② Section B
1/16" = 1'-0"



③ MOTI INTERFACE
1/8" = 1'-0"

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CONSULTANT:



PROJECT TITLE:

GATEWAY TOWER

430 HARVEY AVE, KELOWNA BC,
VIY 6C6

LOT A, DISTRICT LOT 139, O.D.Y.D.,
PLAN 40022

NO.	DATE	REMARKS
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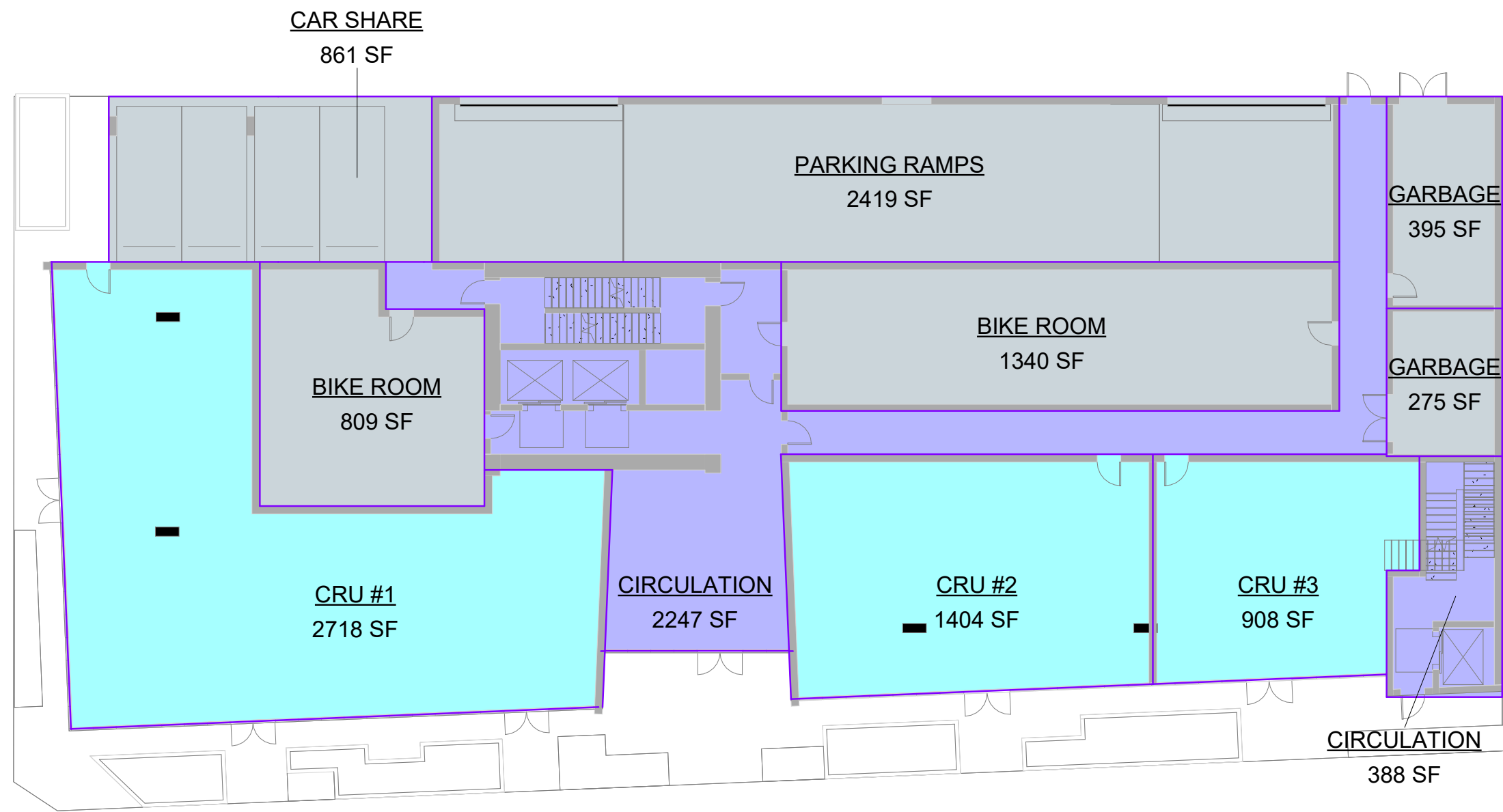
KEY PLAN:

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BUILDING SECTIONS

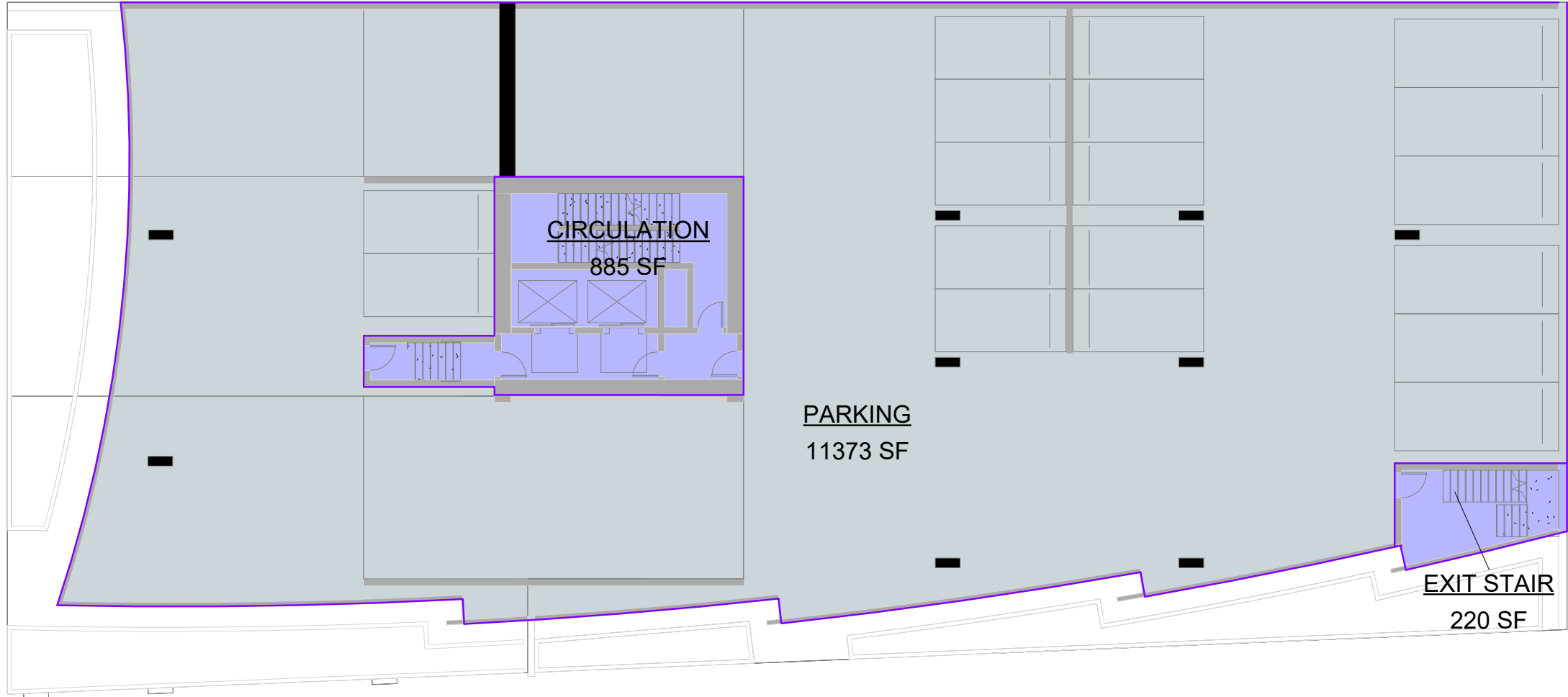
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A401



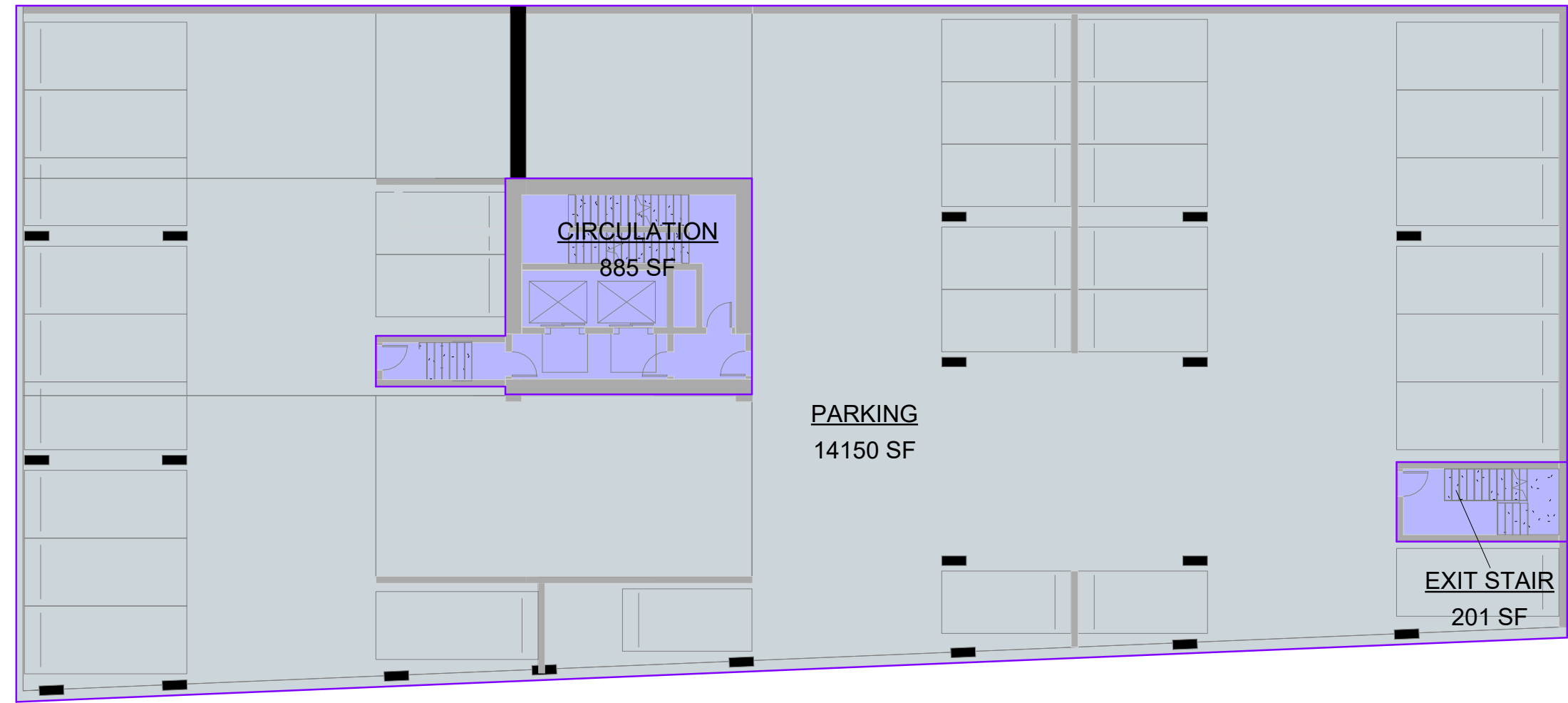
① LEVEL 1
1 : 200

FAR		
CRU #1	2718 SF	252 m ²
CRU #2	1404 SF	130 m ²
CRU #3	908 SF	84 m ²
	5030 SF	467 m ²
NONE FAR		
CIRCULATION	2247 SF	209 m ²
CIRCULATION	388 SF	36 m ²
BIKE ROOM	1340 SF	124 m ²
BIKE ROOM	809 SF	75 m ²
CAR SHARE	861 SF	80 m ²
GARBAGE	395 SF	37 m ²
GARBAGE	275 SF	26 m ²
PARKING RAMPS	2419 SF	225 m ²
	8733 SF	811 m ²
TOTAL	13762 SF	1279 m ²



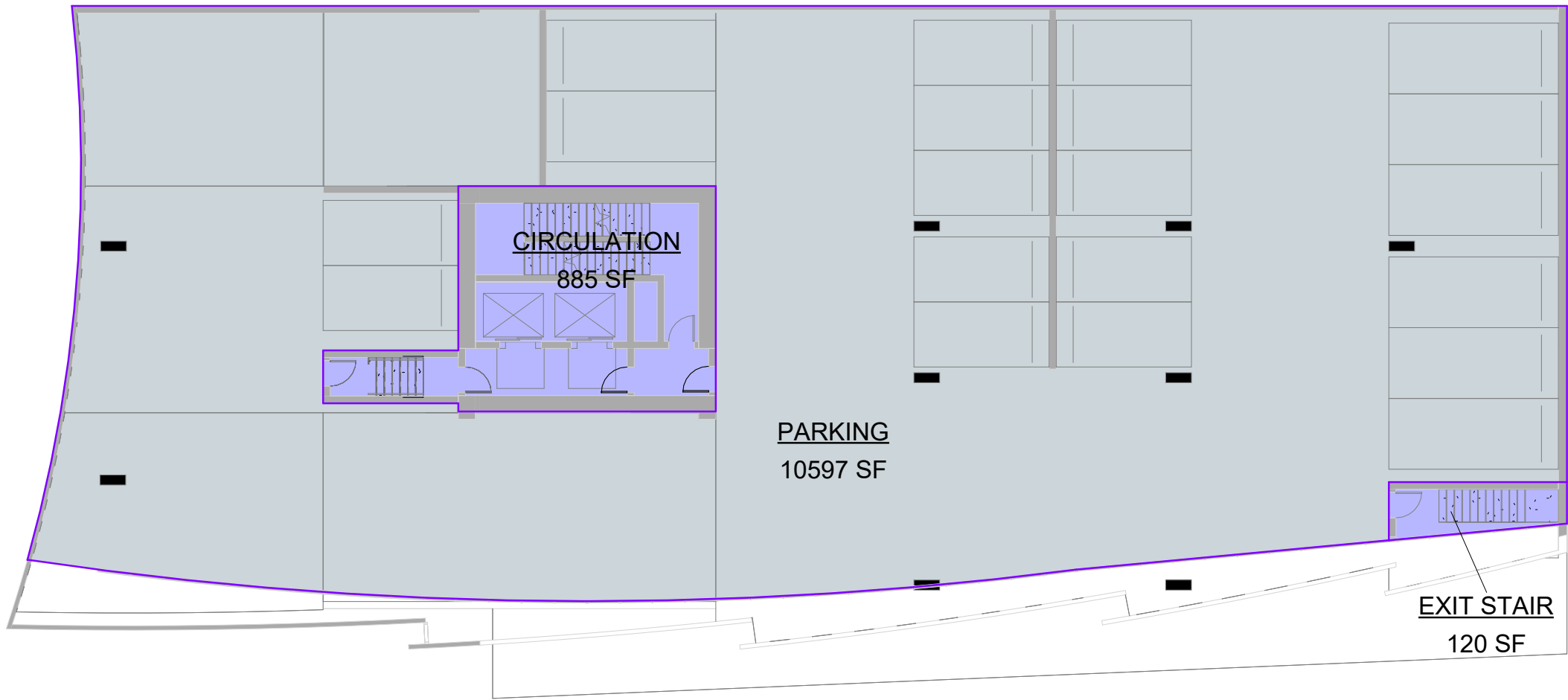
③ LEVEL 5
1 : 200

NONE FAR		
CIRCULATION	885 SF	82 m ²
EXIT STAIR	220 SF	20 m ²
PARKING	11373 SF	1057 m ²
	12478 SF	1159 m ²
TOTAL	12478 SF	1159 m ²



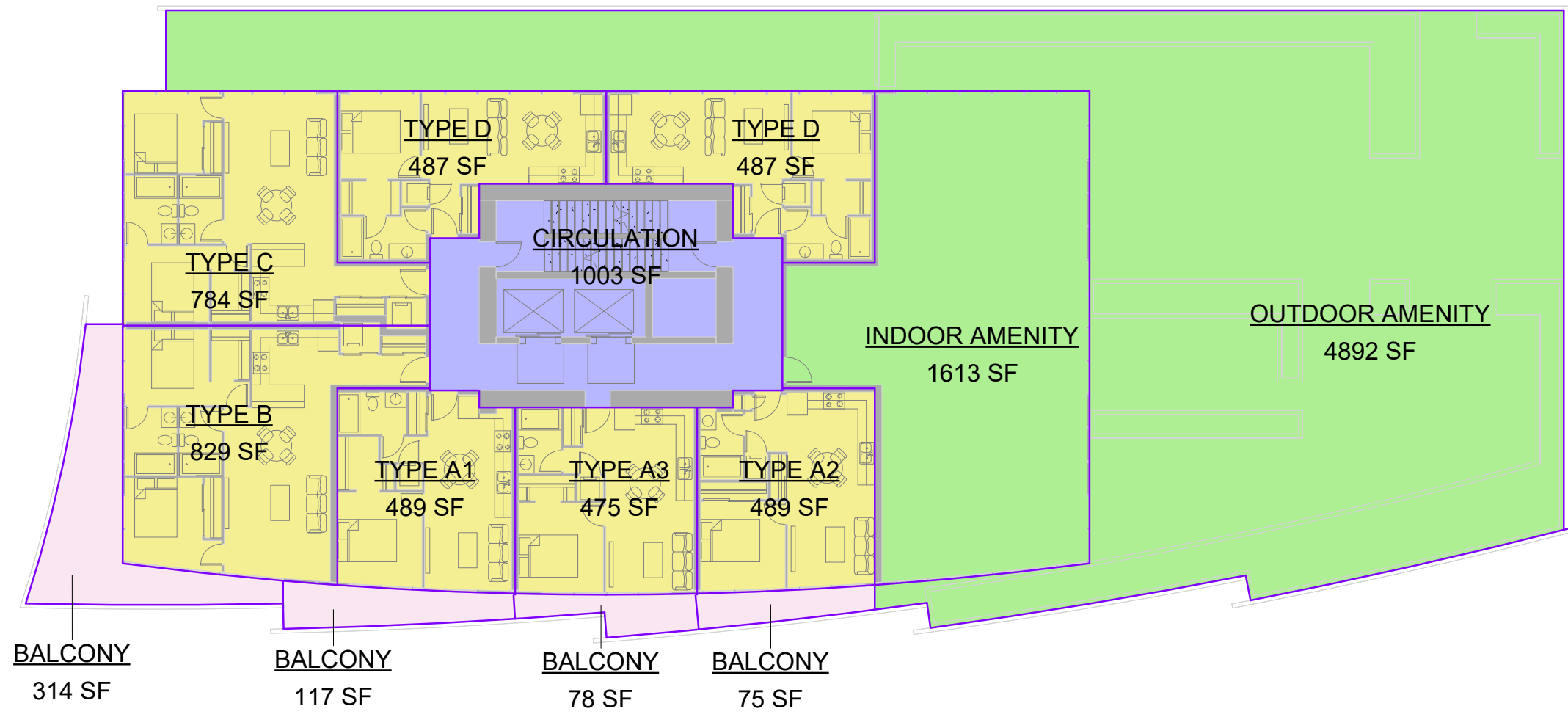
② LEVEL 2 - 4
1 : 200

NONE FAR		
CIRCULATION	885 SF	82 m ²
EXIT STAIR	201 SF	19 m ²
PARKING	14150 SF	1315 m ²
	15236 SF	1415 m ²
TOTAL	15236 SF	1415 m ²



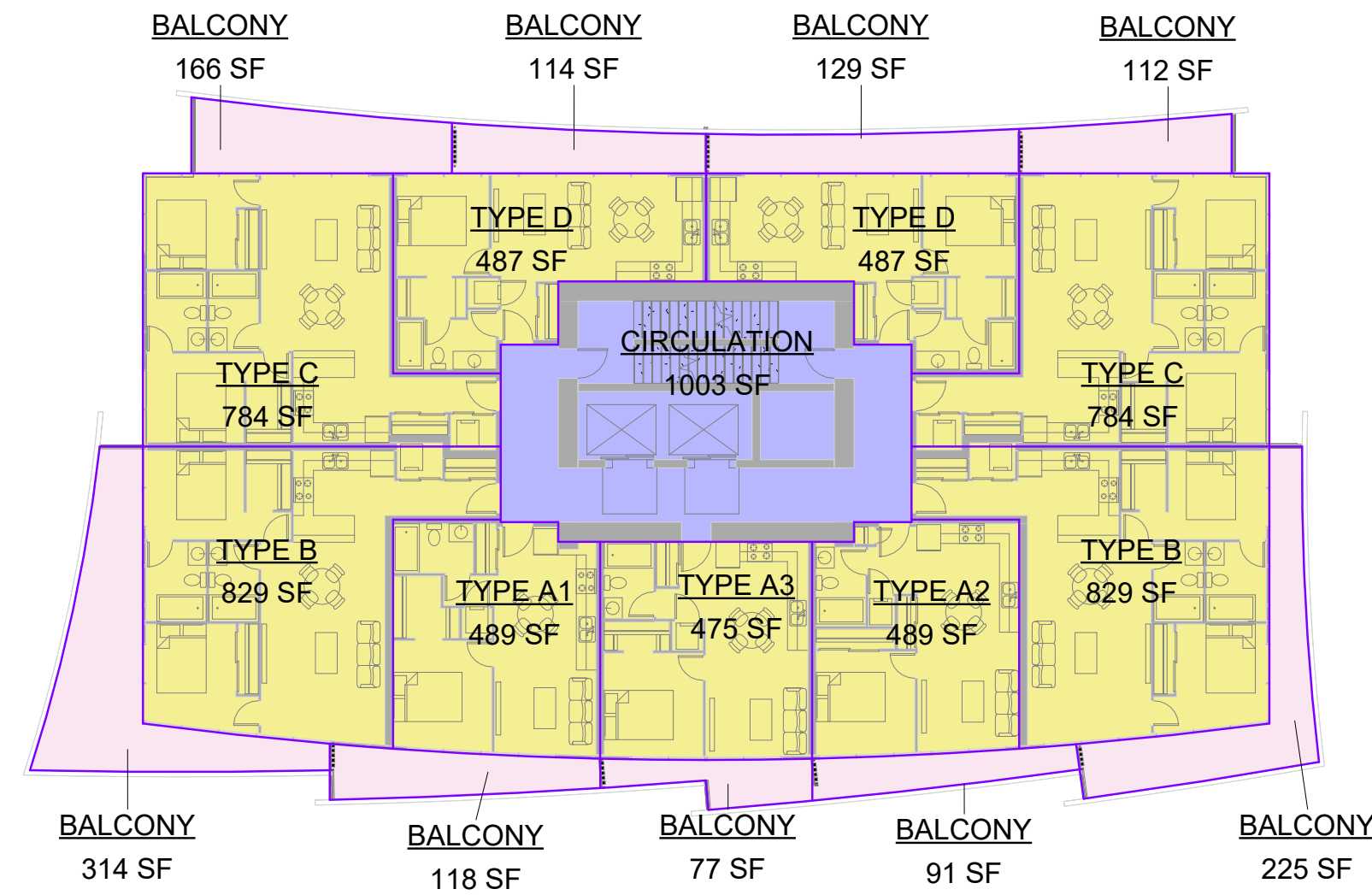
④ LEVEL 6
1 : 200

NONE FAR		
CIRCULATION	885 SF	82 m ²
EXIT STAIR	120 SF	11 m ²
PARKING	10597 SF	985 m ²
	11603 SF	1078 m ²
TOTAL	11603 SF	1078 m ²



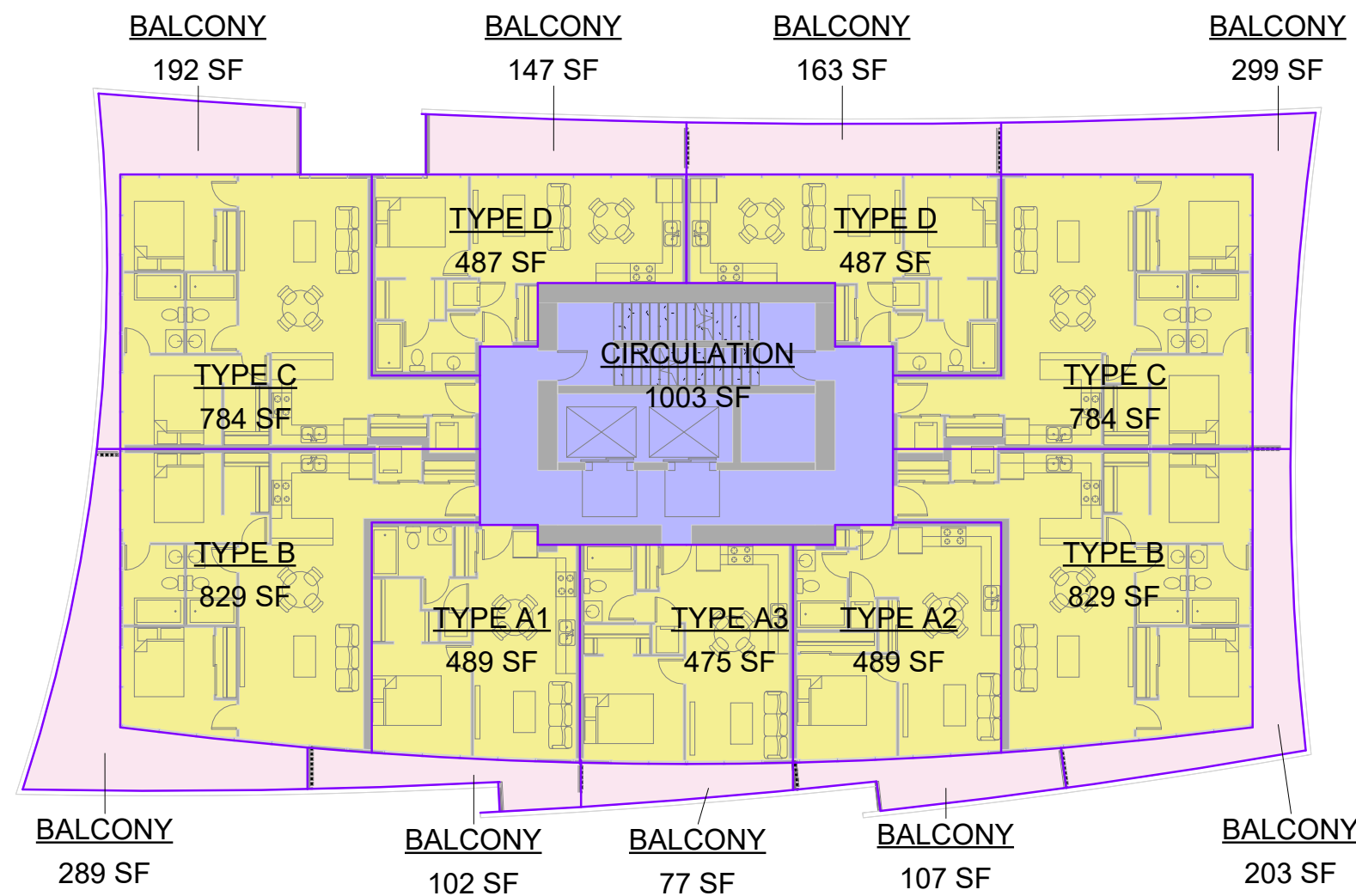
② LEVEL 7
1 : 200

FAR		
TYPE A1	489 SF	45 m²
TYPE A2	489 SF	45 m²
TYPE A3	475 SF	44 m²
TYPE B	829 SF	77 m²
TYPE C	784 SF	73 m²
TYPE D	487 SF	45 m²
TYPE D	487 SF	45 m²
	4041 SF	375 m²
NONE FAR		
INDOOR AMENITY	1613 SF	150 m²
OUTDOOR AMENITY	4892 SF	455 m²
CIRCULATION	1003 SF	93 m²
	7508 SF	698 m²
TOTAL	11550 SF	1073 m²



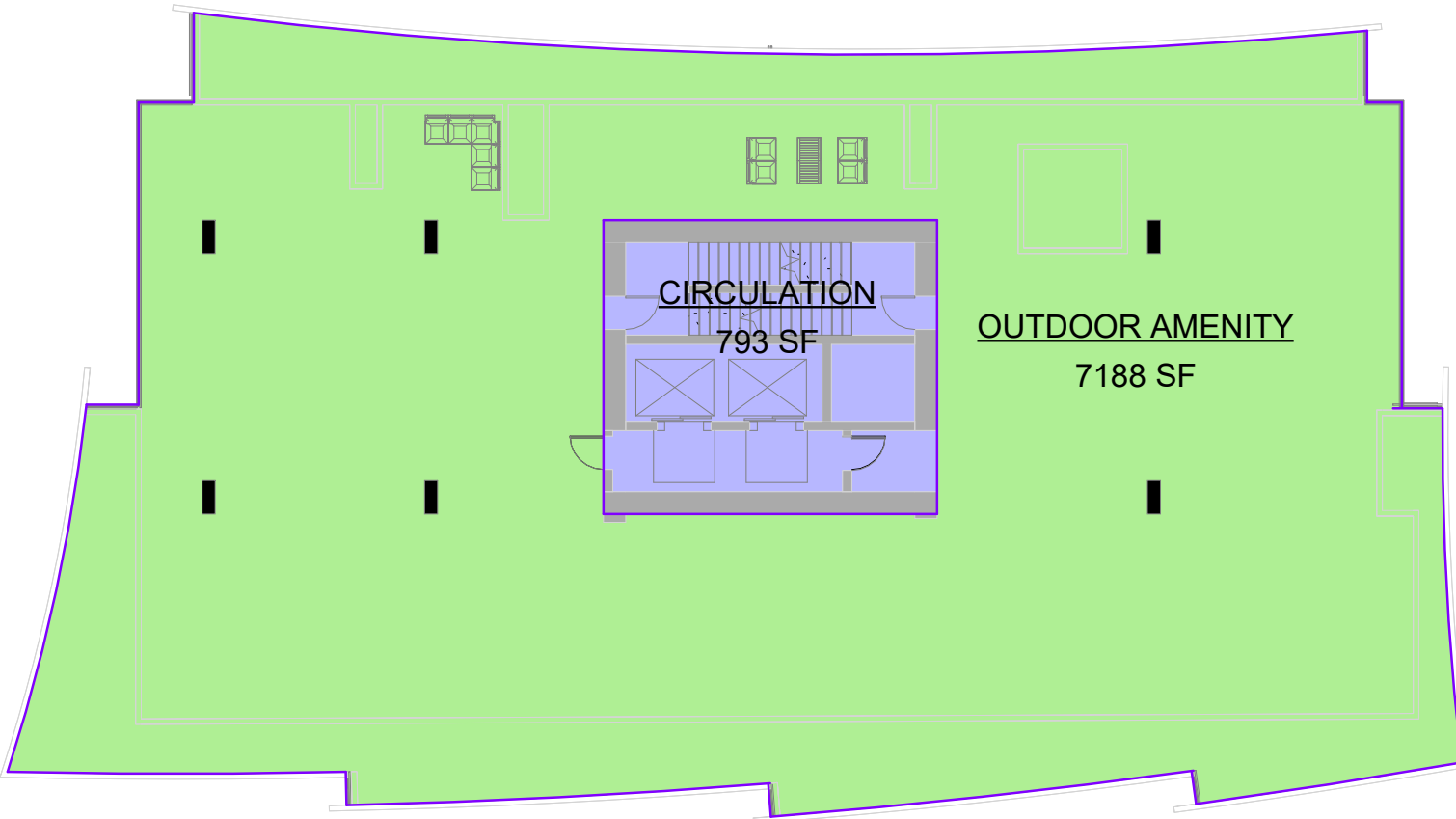
④ LEVEL 9-31 - ODD LEVELS
1 : 200

FAR		
TYPE A1	489 SF	45 m²
TYPE A2	489 SF	45 m²
TYPE A3	475 SF	44 m²
TYPE B	829 SF	77 m²
TYPE B	829 SF	77 m²
TYPE C	784 SF	73 m²
TYPE C	784 SF	73 m²
TYPE D	487 SF	45 m²
TYPE D	487 SF	45 m²
	5655 SF	525 m²
NONE FAR		
CIRCULATION	1003 SF	93 m²
	1003 SF	93 m²
TOTAL	6657 SF	618 m²



③ LEVEL 8 - 32 - EVEN LEVELS
1 : 200

FAR		
TYPE A1	489 SF	45 m²
TYPE A2	489 SF	45 m²
TYPE A3	475 SF	44 m²
TYPE B	829 SF	77 m²
TYPE B	829 SF	77 m²
TYPE C	784 SF	73 m²
TYPE C	784 SF	73 m²
TYPE D	487 SF	45 m²
TYPE D	487 SF	45 m²
	5655 SF	525 m²
NONE FAR		
CIRCULATION	1003 SF	93 m²
	1003 SF	93 m²
TOTAL	6657 SF	618 m²



⑤ ROOFTOP
1 : 200

OUTDOOR AMENITY	7188 SF	668 m²
NONE FAR		
CIRCULATION	793 SF	74 m²
TOTAL	7981 SF	741 m²

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CONSULTANT:



PROJECT TITLE:

GATEWAY TOWER

430 HARVEY AVE, KELOWNA BC,
VIY 6C6

LOT A, DISTRICT LOT 139, O.D.Y.D.,
PLAN 40022

NO.	DATE	REMARKS
01	JUN 27TH 2025	FOR DP SUBMISSION

KEY PLAN:

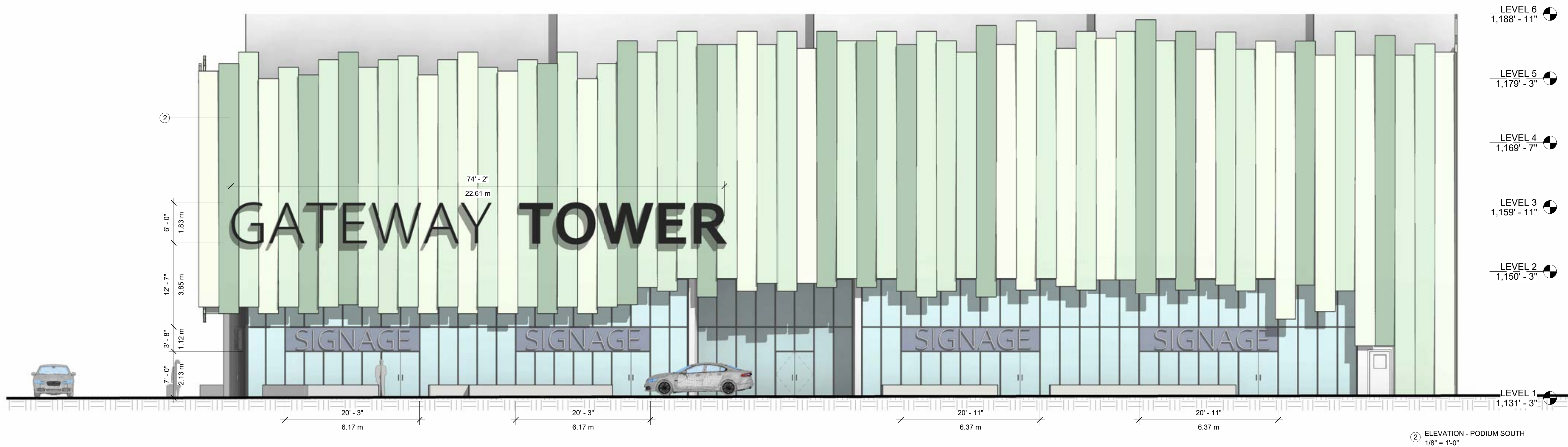
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AREA PLAN - UPPER LEVELS

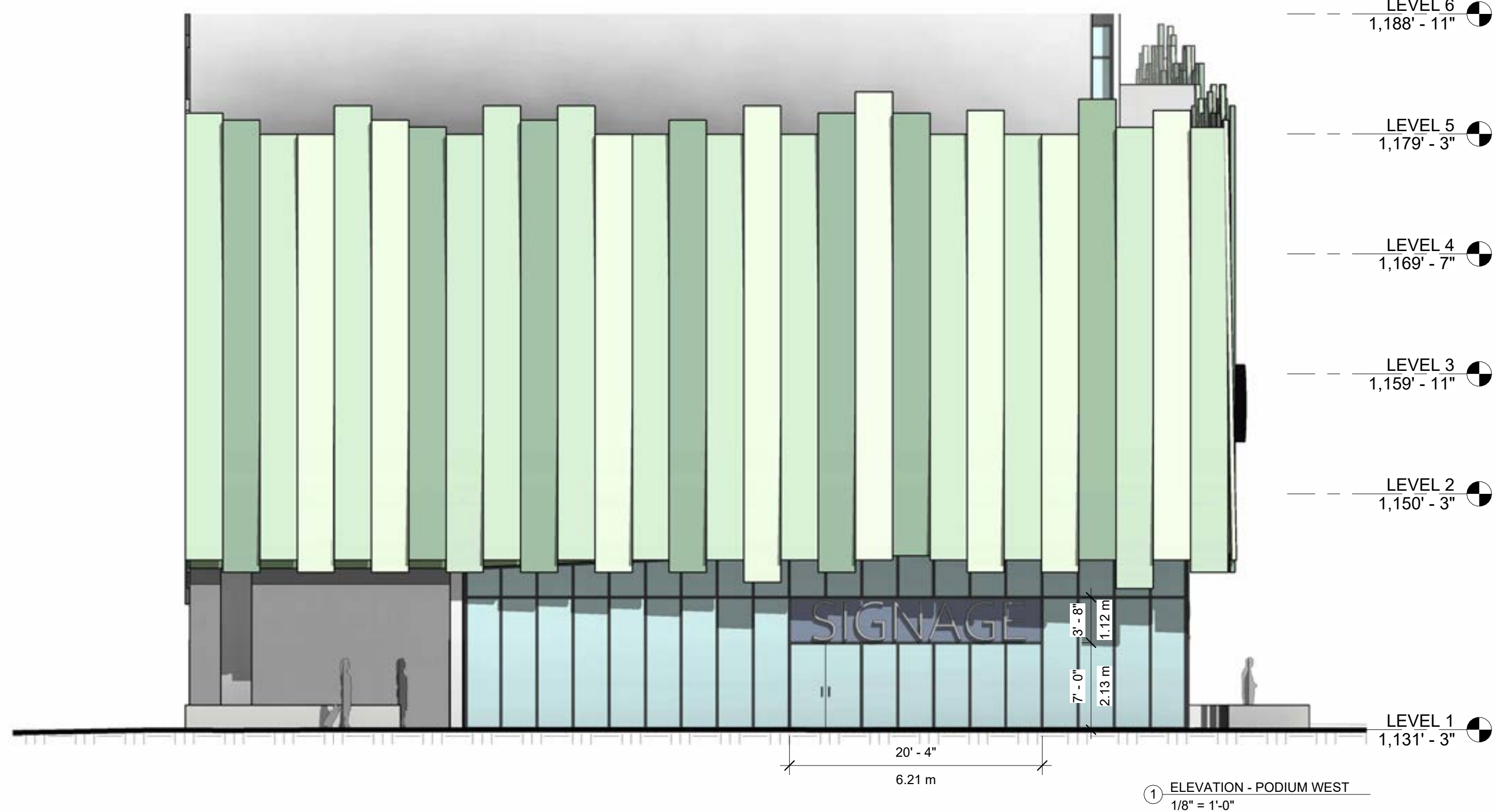
PROJECT NO: W2112
SCALE: 1 : 200
DRAWN: Author
CHECKED: Checker

DRAWING NO:

A701



② ELEVATION - PODIUM SOUTH
1/8" = 1'-0"



① ELEVATION - PODIUM WEST
1/8" = 1'-0"

ALL SIGNAGE TO BE COMPRISED OF INDIVIDUAL CHANNEL LETTERS.
CRU SIGNS TO BE INSTALLED WINDOW WALL METAL PANEL (DARK BLUE)





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CONSULTANT:

REGISTERED ARCHITECT
WILSON CHANG
BRITISH COLUMBIA


2025-07-30

PROJECT TITLE:

GATEWAY TOWER

430 HARVEY AVE, KELOWNA BC,
VIY 6C6

LOT A, DISTRICT LOT 139, O.D.Y.D.,
PLAN 40022

NO.	DATE	REMARKS
01	JUN 27TH 2025	FOR DP SUBMISSION

KEY PLAN:

DRAWING TITLE:

3D VIEW - SOUTH WEST

PROJECT NO: W2112
SCALE:
DRAWN: PM
CHECKED: WC
DRAWING NO:



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CONSULTANT:



PROJECT TITLE:
GATEWAY TOWER

**430 HARVEY AVE, KELOWNA BC,
VIY 6C6**

**LOT A, DISTRICT LOT 139, O.D.Y.D.,
PLAN 40022**

NO.	DATE	REMARKS
01	JUN 27TH 2025	FOR DP SUBMISSION

KEY PLAN:

DRAWING TITLE:
3D VIEW - WEST

PROJECT NO: W2112
SCALE: PM
DRAWN: WC
CHECKED: WC
DRAWING NO:



WCA

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CONSULTANT:



PROJECT TITLE:

GATEWAY TOWER

430 HARVEY AVE, KELOWNA BC,
VIY 6C6

LOT A, DISTRICT LOT 139, O.D.Y.D.,
PLAN 40022

NO.	DATE	REMARKS
01	JUN 27TH 2025	FOR DP SUBMISSION

KEY PLAN:

DRAWING TITLE:

3D VIEW - NORTH EAST

PROJECT NO: W2112
SCALE: PM
DRAWN: WC
CHECKED: WC
DRAWING NO:

A903



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CONSULTANT:



PROJECT TITLE:

GATEWAY TOWER

430 HARVEY AVE, KELOWNA BC,
VIY 6C6

LOT A, DISTRICT LOT 139, O.D.Y.D.,
PLAN 40022

NO.	DATE	REMARKS
01	JUN 27TH 2025	FOR DP SUBMISSION

KEY PLAN:

DRAWING TITLE:

3D VIEW - SOUTH EAST

PROJECT NO: W2112
SCALE: PM
DRAWN: WC
CHECKED: WC
DRAWING NO:

A904



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CONSULTANT:



PROJECT TITLE:
GATEWAY TOWER

430 HARVEY AVE, KELOWNA BC,
VIY 6C6

LOT A, DISTRICT LOT 139, O.D.Y.D.,
PLAN 40022

NO.	DATE	REMARKS
01	JUN 27TH 2025	FOR DP SUBMISSION

KEY PLAN:

DRAWING TITLE:
3D VIEW - SOUTH

PROJECT NO: W2112
SCALE: PM
DRAWN: WC
CHECKED: WC
DRAWING NO:

A905



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CONSULTANT:



PROJECT TITLE:

GATEWAY TOWER

430 HARVEY AVE, KELOWNA BC,
V1Y 6C6

LOT A, DISTRICT LOT 139, O.D.Y.D.,
PLAN 40022

NO.	DATE	REMARKS
01	JUN 27TH 2025	FOR DP SUBMISSION

KEY PLAN:

DRAWING TITLE:

FACADE DETAIL - TOWER

PROJECT NO: W2112
SCALE:
DRAWN: PM
CHECKED: WC
DRAWING NO:

A906



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CONSULTANT:



PROJECT TITLE:

GATEWAY TOWER

**430 HARVEY AVE, KELOWNA BC,
V1Y 6C6**

**LOT A, DISTRICT LOT 139, O.D.Y.D.,
PLAN 40022**

NO.	DATE	REMARKS
01	JUN 27TH 2025	FOR DP SUBMISSION

KEY PLAN:

DRAWING TITLE:

FACADE DETAIL - PODIUM

PROJECT NO: W2112
SCALE:
DRAWN: PM
CHECKED: WC
DRAWING NO:

A910



SOFTSCAPE MATERIALS

HARDSCAPE MATERIALS

REVISIONS TABLE FOR DRAWINGS

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No.	By:	Description	Date
REVISIONS TABLE FOR SHEET			

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430 HARVEY AVENUE TOWER

Location:
430 HARVEY AVENUE
KELOWNA, B.C.

Drawing Title:
LEVEL 1 LANDSCAPE PLAN



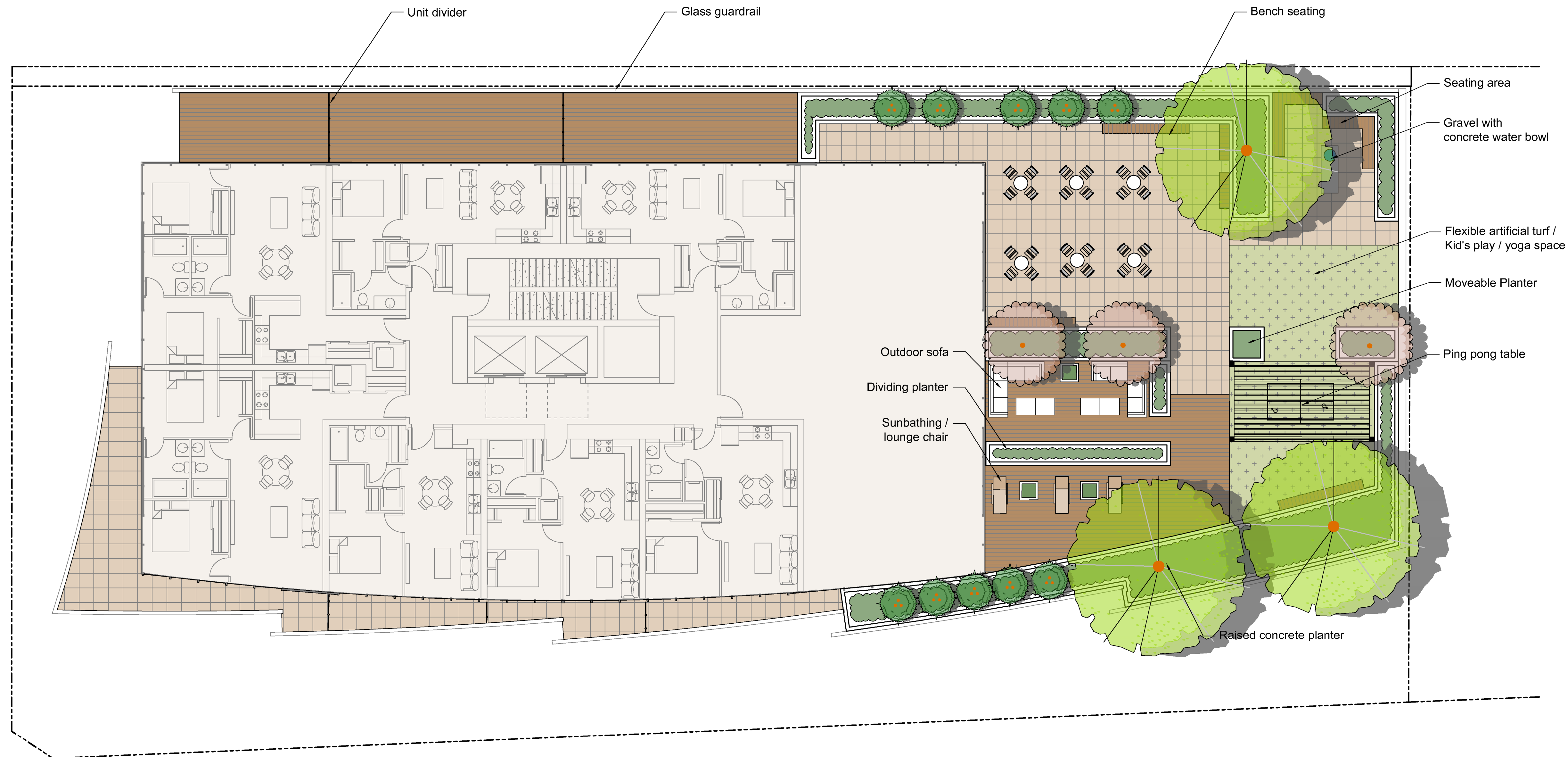
VDZ Project #:
DP2023-23

Drawing #: **L-02**






SOFTSCAPE MATERIALS

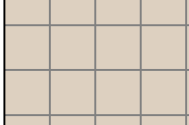
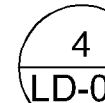

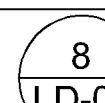
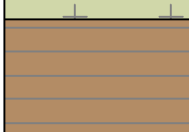
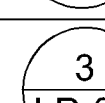
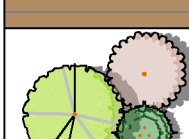
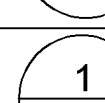

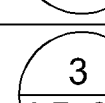
CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. ALL DRAWINGS AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND MUST BE RETURNED AT THE COMPLETION OF THE WORK. ALL REZONING/DP/PA/FH/BP DRAWINGS MUST NOT BE PRICED FOR CONSTRUCTION UNLESS LABELED ISSUED FOR TENDER/CONSTRUCTION.





PLANT SCHEDULE

<u>SYMBOL</u>	<u>BOTANICAL / COMMON NAME</u>	<u>CONT</u>	<u>SIZE</u>	<u>QTY</u>
<u>TREES</u>				
	Juniperus scopulorum `Wichita Blue` / Wichita Blue Juniper	#20 pot	2.0m ht	10
	Magnolia x `Susan` / Susan Magnolia	#20 pot	3cm cal.	3
	Quercus coccinea / Scarlet Oak	B&B	5cm cal.	3

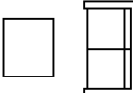


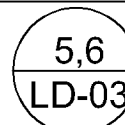

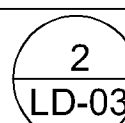

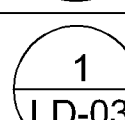
HARDSCAPE MATERIALS

KEY	REF.	DESCRIPTION
		HYDRAPRESSED SLABS Pattern: Stacked Bond Colour: Natural
		ARTIFICIAL TURF
		WOOD DECK
		PROPOSED TREE Refer to tree schedule
		PROPOSED SHRUB PLANTING AREAS Refer to sheet L-04 for schedule of selected plant material

FENCING AND WALL LEGEND

KEY	REF.	DESCRIPTION
		1.8m UNIT DIVIDER Refer to Architect

FURNITURE LEGEND

KEY	REF.	DESCRIPTION
		OUTDOOR SOFA Manufacturer: Sudden Fun Model: Nexus Woven Lounge Seating Colour: Rosewood Weave
		MOVABLE PLANTER
		CAFE TABLE WITH CHAIRS Manufacturer: Landscape Forms Model: Catena Series Colour: Silver (matte finish)
		SUNBATHING CHAIR

[illegible]

2	KM	Re-Issued for DP	2025-02-28
1	KM	Issued for Development Permit	2023-05-25
No.	By:	Description	Date

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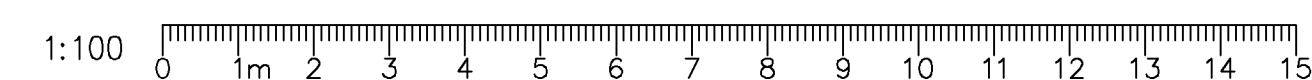
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Project:
430 HARVEY AVENUE TOWER

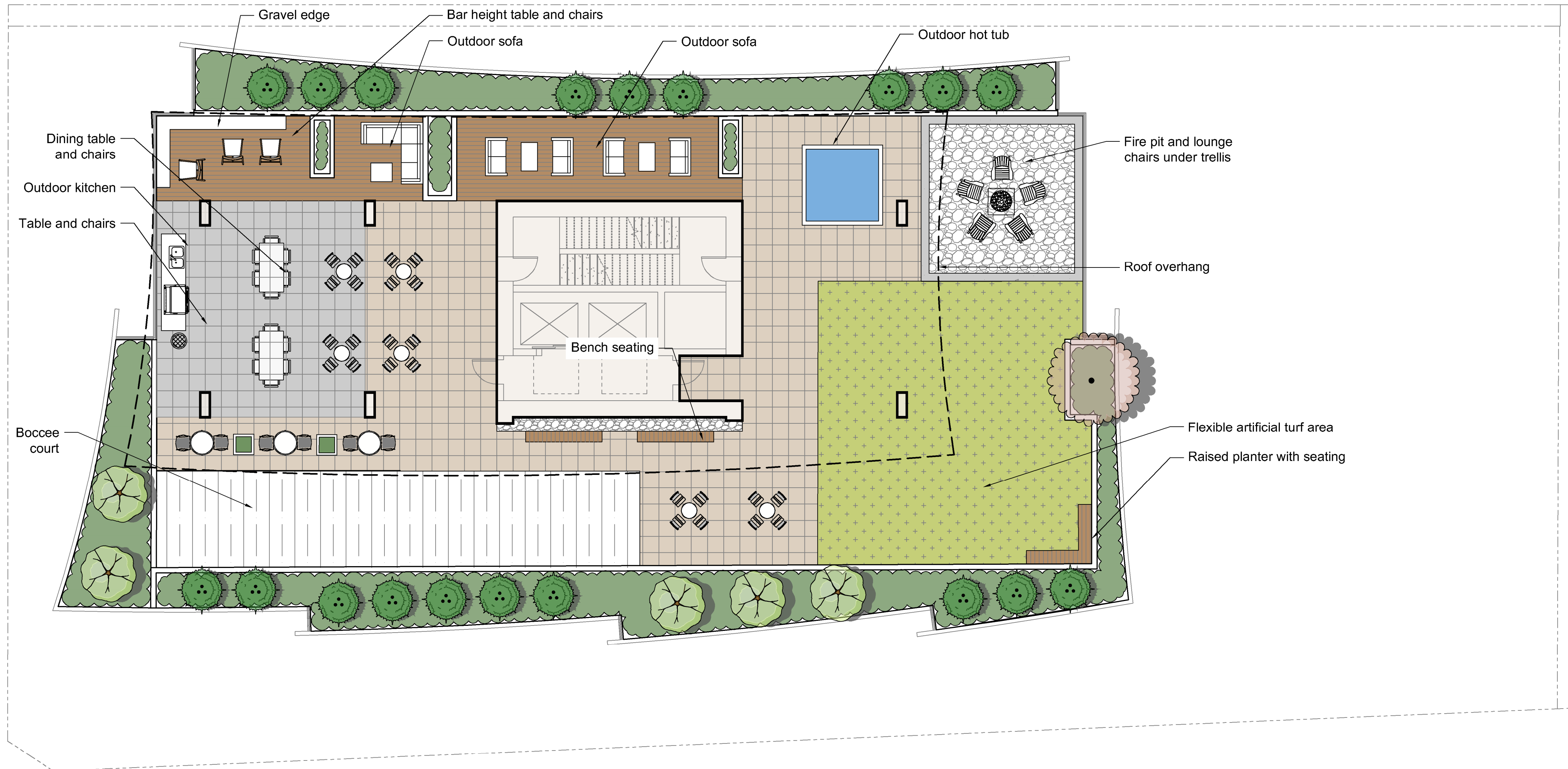
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430 HARVEY AVENUE
KELOWNA, B.C.

Drawn: BA PH	Stamp: 
Checked: KM	
Approved: KM	Original Sheet 1 of 3 24"x36" 2025-07-31

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1:100	



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PLANT SCHEDULE

SYMBOL	BOTANICAL / COMMON NAME	CONT	SIZE	QTY
--------	-------------------------	------	------	-----

TREES

	Juniperus scopulorum 'Wichita Blue' / Wichita Blue Juniper	#20 pot	2.0m ht	19
	Magnolia x 'Susan' / Susan Magnolia	#20 pot	3cm cal.	1
	Rhus typhina 'Bailtiger' / Tiger Eyes® Staghorn Sumac	#20 pot	3cm cal.	5

HARDSCAPE MATERIALS

KEY	REF.	DESCRIPTION
	6 LD-01	CONCRETE PAVING
	4 LD-02	HYDRAPRESSED SLABS Pattern: Stack Bond Colour: Natural
	8 LD-01	ARTIFICIAL TURF
	3 LD-02	WOOD DECK
	5 LD-02	RESIN BOUND GRAVEL BED Type: Rompox Profi-Deko or approved equal
	1 LD-01	PROPOSED TREE Refer to tree schedule
	3 LD-01	PROPOSED SHRUB PLANTING AREAS Refer to sheet L-04 for schedule of selected plant material

FURNITURE LEGEND

KEY	REF.	DESCRIPTION
	5 LD-04	BAR HEIGHT STOOL CHAIR Manufacturer: MAGLIN Model: MCH-1700-00005 Colour: Silver (matte finish)
	4 LD-03	OUTDOOR SOFA Manufacturer: Studden Fun Model: Nexus Woven Lounge Seating Colour: Rosewood Weave
	9 LD-04	LOUNGE CHAIR
	2 LD-03	CAFE TABLE WITH CHAIRS Manufacturer: Landscape Forms Model: Catalina Series Colour: Silver (matte finish)
	6 LD-03	GARBAGE RECEPTACLE
	3 LD-04	FIRE PIT

1:100 0 1m 2 3 4 5 6 7 8 9 10 11 12 13 14 15

No.	By:	Description	Date
2	KM	Re-Issued for DP	2025-02-28
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Location:
430 HARVEY AVENUE
KELOWNA, B.C.

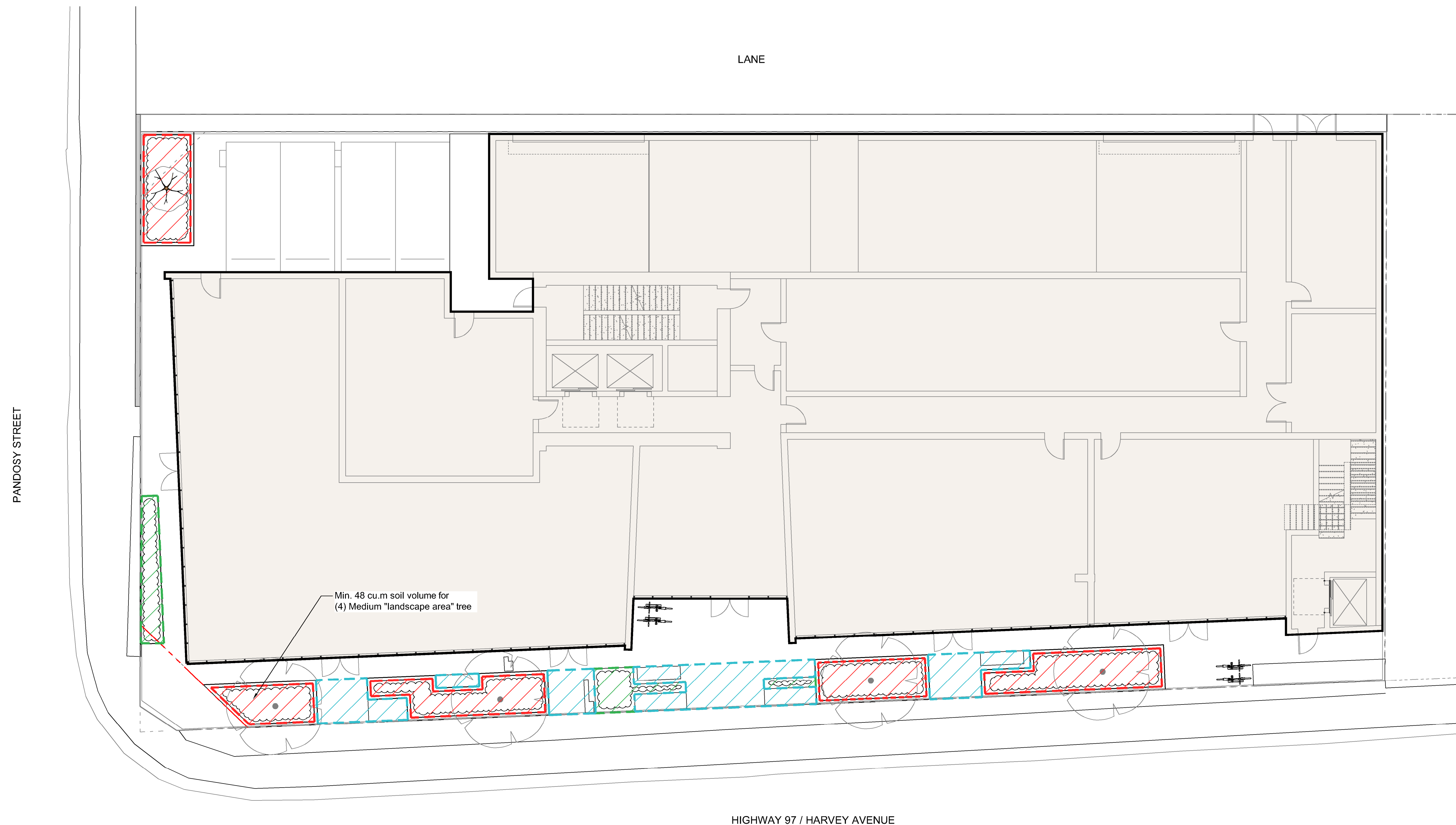
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Drawing Title:
LEVEL 33 LANDSCAPE PLAN



VDZ Project #:
DP2023-23

Drawing #:
L-05

[illegible]

2	KM	Re-Issued for DP	2025-02-28
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No.	By:	Description	Date


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Project:
430 HARVEY AVENUE TOWER

Location:
430 HARVEY AVENUE
KELOWNA, B.C.

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1:100	

SOIL VOLUME LEGEND


KEY	DESCRIPTION
	SOIL VOLUME AREA OVER SLAB - MIN. 1.0m depth
	SOIL VOLUME AREA OVER SLAB - MIN. 0.45m depth
	STRUCTURAL SOIL OVER SLAB - MIN. 0.30m depth

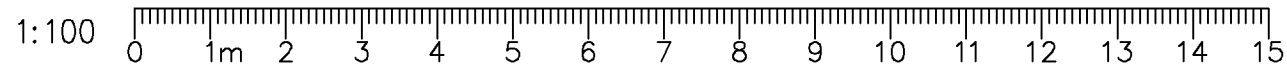
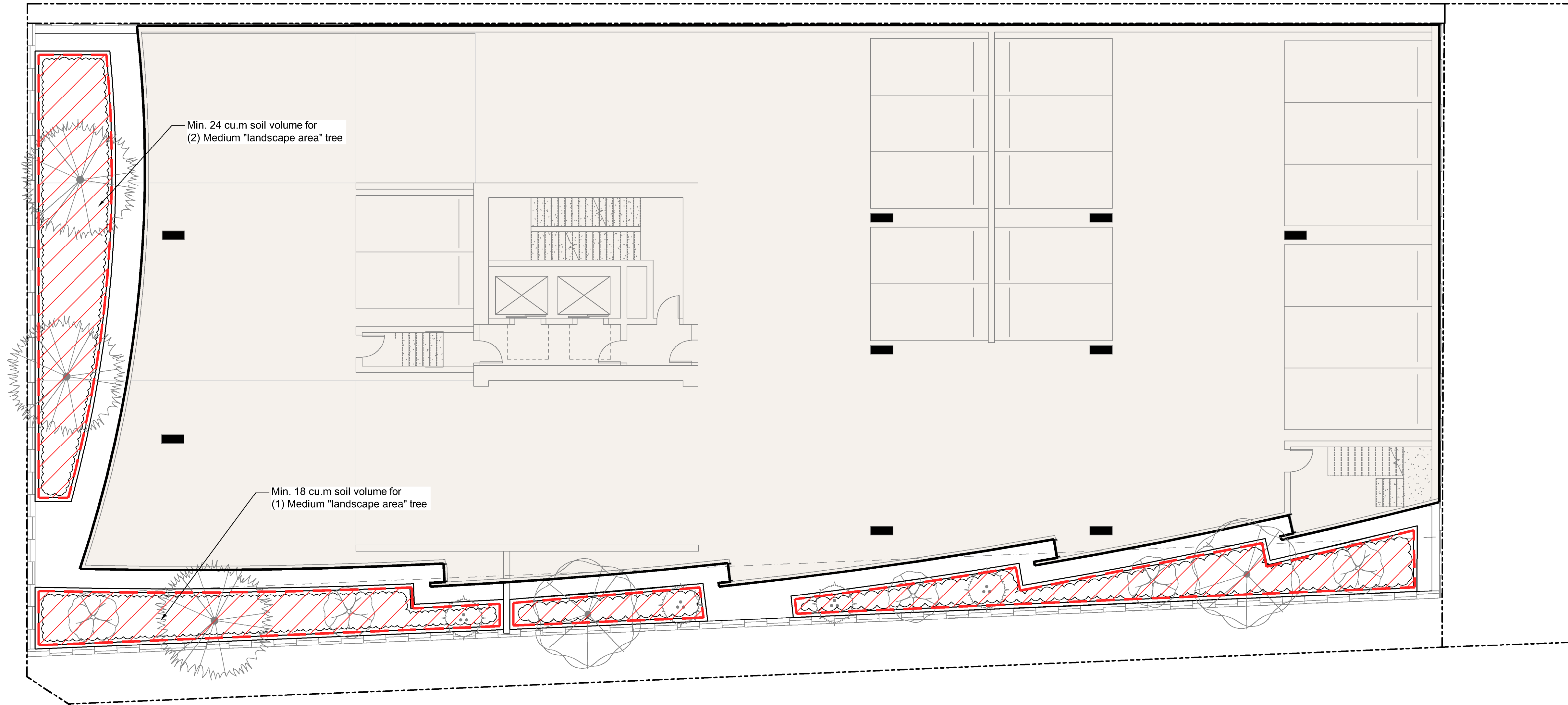
HIGHWAY 97 / HARVEY AVENUE




Z:\PROJECTS\DEVELOPMENT PERMIT\ACTIVE\2023\DP2023-23-430 HARVEY TOWERS- DWG\SHEETS\L-07 LEVEL 5 SOIL VOLUME PLAN.DWG

SOIL VOLUME LEGEND

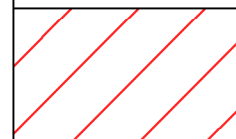
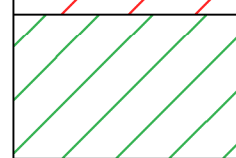
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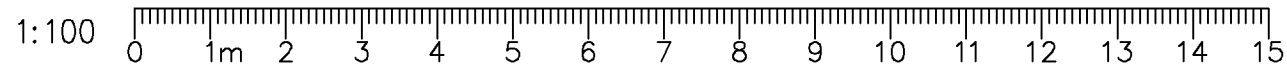
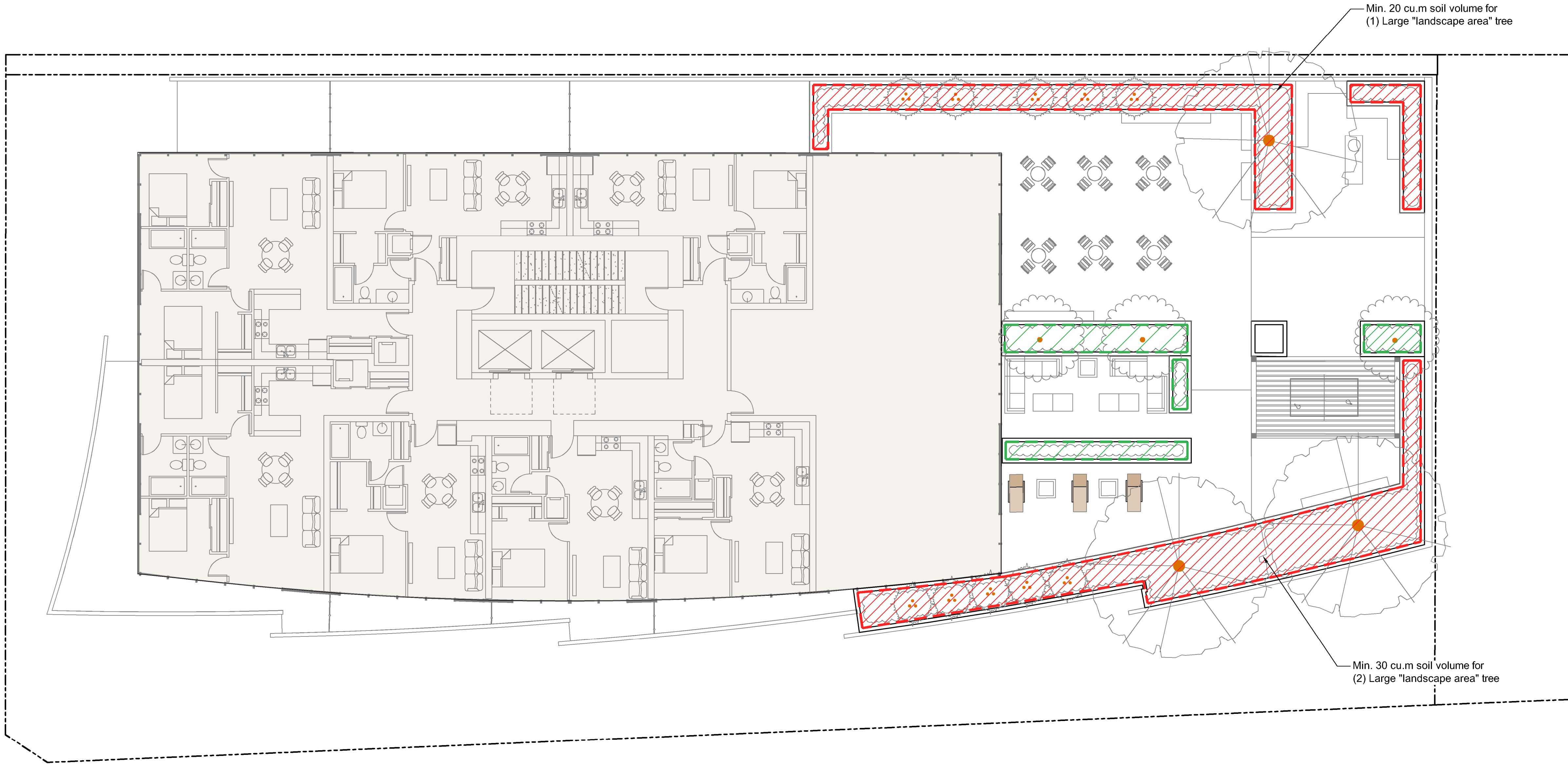



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Location: 430 HARVEY AVENUE KELOWNA, B.C.			
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SOIL VOLUME LEGEND

KEY	DESCRIPTION
	SOIL VOLUME AREA OVER SLAB - MIN. 1.0m depth
	SOIL VOLUME AREA OVER SLAB - MIN. 0.45m depth



2	KM	Re-Issued for DP	2025-02-28
1	KM	Issued for Development Permit	2023-05-25
No.	By:	Description	Date
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REVISIONS TABLE FOR SHEET			
Project: 430 HARVEY AVENUE TOWER			
Location: 430 HARVEY AVENUE KELOWNA, B.C.			
Drawn: BA PH			
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Approved: KM	Original Sheet 24"x36" 2025-07-31		
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KEY	DESCRIPTION
	SOIL VOLUME AREA OVER SLAB - MIN. 0.6m depth
	SOIL VOLUME AREA OVER SLAB - MIN. 0.45m depth




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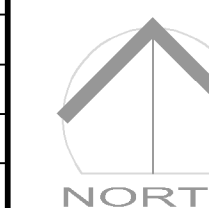
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REVISIONS TABLE FOR SHEET		

Project:
430 HARVEY AVENUE TOWER

Location:
430 HARVEY AVENUE
KELOWNA, B.C.

Drawn: AH	Stamp: 
Checked: KM	
Approved: SH	Original Sheet 2023-07-31
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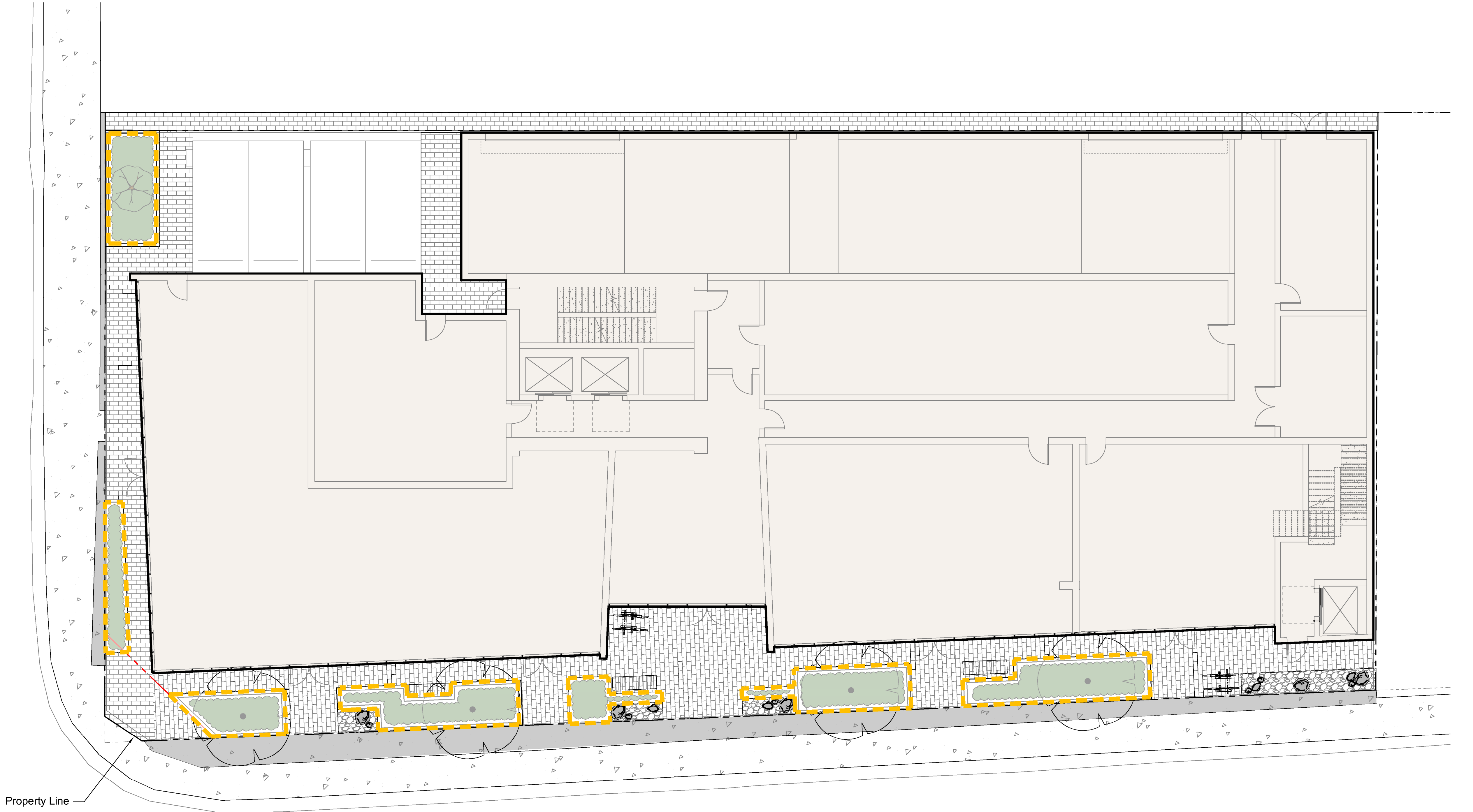
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LEVEL 33 SOIL VOLUME PLAN



VDZ Project #:
DP2023-23

Drawing #: **L-09**

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WATER CONSERVATION LEGEND

	ZONE #1 : HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS TOTAL AREA: 71M ² MICROCLIMATE: SOUTH EXPOSURE, FULL SUN ESTIMATED ANNUAL WATER USE: 32cu.m.
--	--

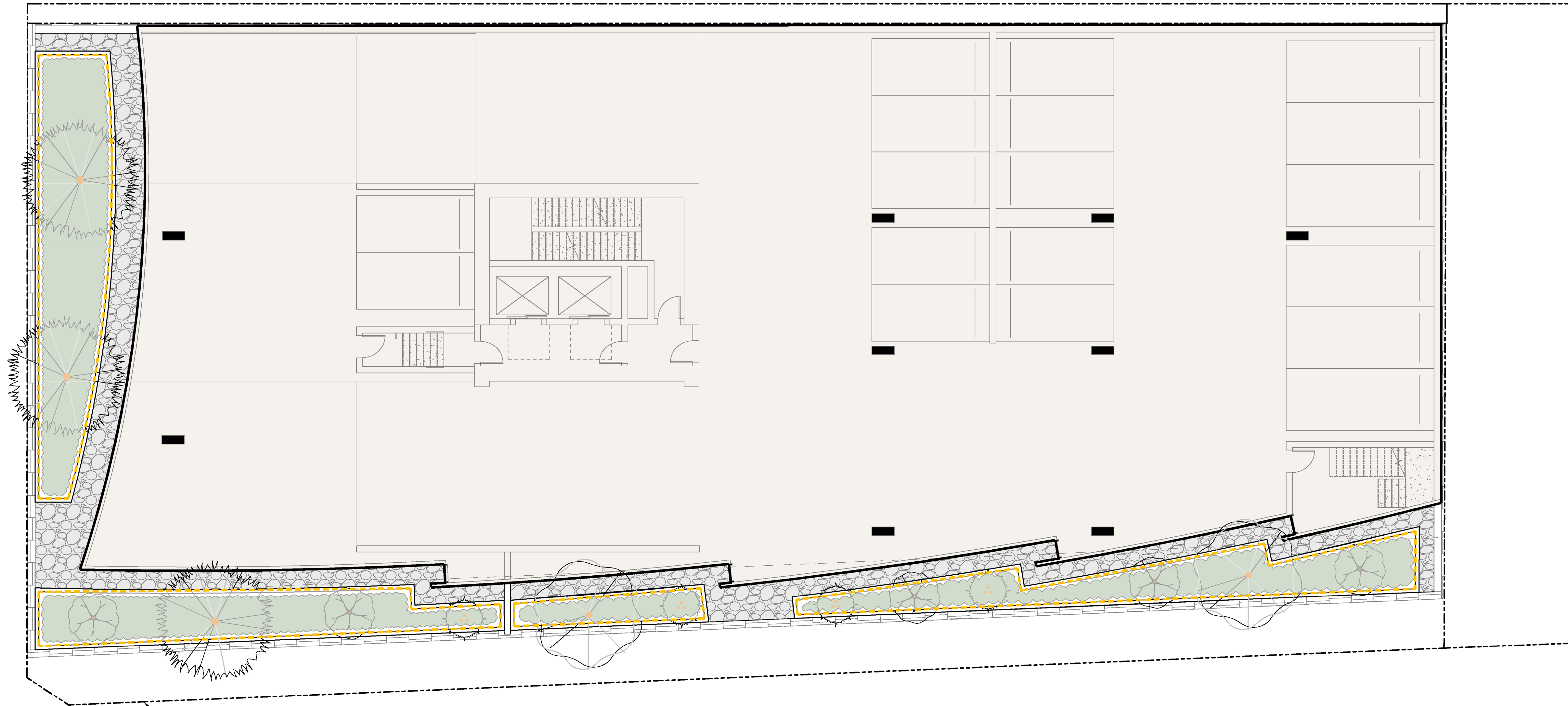
WATER CONSERVATION CALCULATIONS

TOTAL LANDSCAPE AREA: 66 sq.m LANDSCAPE MAXIMUM WATER BUDGET (WB)= 57 cu.m / year ESTIMATED LANDSCAPE WATER USE (WU) = 32 cu.m /year WATER BALANCE = 25 cu.m /year *REFER ATTACHED IRRIGATION APPLICATION FOR DETAILED CALCULATIONS
--




2	KM	Re-Issued for DP	2025-02-28
1	KM	Issued for Development Permit	2023-05-25
No.	By:	Description	Date
REVISIONS TABLE FOR DRAWINGS			
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No.	By:	Description	Date
REVISIONS TABLE FOR SHEET			
Project: 430 HARVEY AVENUE TOWER			
Location: 430 HARVEY AVENUE KELOWNA, B.C.			
Drawn:			
BA PH		<div>Stamp:</div> 	
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KM			
Approved:		Original Sheet 2023-07-31	
KM		24"x36"	
Scale:		CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. ALL DRAWINGS AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND MUST BE RETURNED AT THE COMPLETION OF THE WORK. ALL REVISIONS MUST NOT BE PRICED FOR CONSTRUCTION UNLESS LABELED ISSUED FOR TENDER/CONSTRUCTION.	
1:100			

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Property line


WATER CONSERVATION LEGEND

	ZONE #2 : HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS TOTAL AREA: 121 M² MICROCLIMATE: SOUTH EXPOSURE, FULL SUN ESTIMATED ANNUAL WATER USE: 54 cu.m.
---	---

WATER CONSERVATION CALCULATIONS

TOTAL LANDSCAPE AREA: 121 sq.m LANDSCAPE MAXIMUM WATER BUDGET (WB)= 94 cu.m / year ESTIMATED LANDSCAPE WATER USE (WU) = 54 cu.m /year WATER BALANCE = 42 cu.m /year *REFER ATTACHED IRRIGATION APPLICATION FOR DETAILED CALCULATIONS



2	KM	Re-Issued for DP	2025-02-28
1	KM	Issued for Development Permit	2023-05-25
No.	By:	Description	Date
REVISIONS TABLE FOR DRAWINGS			
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No.	By:	Description	Date
REVISIONS TABLE FOR SHEET			
Project: 430 HARVEY AVENUE TOWER			
Location: 430 HARVEY AVENUE KELOWNA, B.C.			
<div><div>Drawn:</div><div>BA PH</div><div>Checked:</div><div>KM</div><div>Approved:</div><div>KM</div><div>Scale:</div><div>1:100</div></div> <div><div>Stamp:</div><div></div><div>Original Sheet 2023-07-31</div><div>24"x36"</div></div>			
CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. ALL DRAWINGS AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND MUST BE RETURNED AT THE COMPLETION OF THE WORK. ALL REZONING/DPP/PAP/HAPP DRAWINGS MUST NOT BE PRICED FOR CONSTRUCTION UNLESS LABELED ISSUED FOR TENDER/CONSTRUCTION.			





WATER CONSERVATION CALCULATIONS

1:100

1:100 ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. ALL DRAWINGS AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND MUST BE RETURNED AT THE COMPLETION OF THE WORK. ALL REZONING/DPP/PA/HABP DRAWINGS MUST NOT BE REPRODUCED.

Drawing Title:

VDZ Project #:

Drawing #:

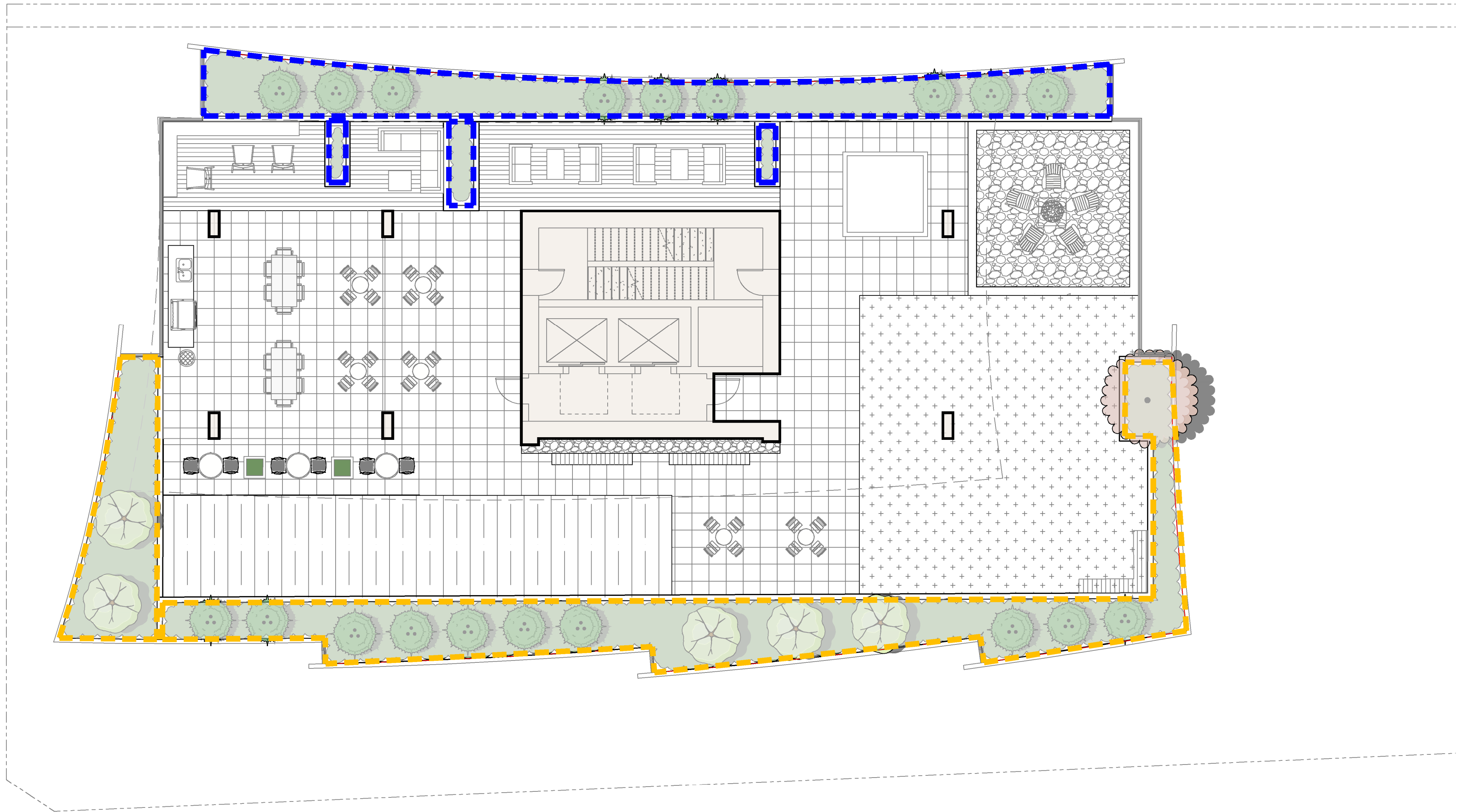
Drawing title:
LEVEL 7 WATER CONSERVATION PLAN



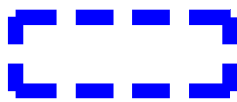

VDZ Project #:
DP2023-23

Drawing #: **L-13**

Z:\PROJECTS\DEVELOPMENT PERMIT\ACTIVE\2023\DP2023-23-430 HARVEY TOWERS\DWG\SHEETS\SU-14 LEVEL 33 WATER CONSERVATION PLAN.DWG




WATER CONSERVATION LEGEND

	ZONE #5 : HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS TOTAL AREA: 53M ² MICROCLIMATE: NORTHEAST EXPOSURE, PARTIALLY SHADED BY TREES ESTIMATED ANNUAL WATER USE: 24cu.m.
	ZONE #6 : HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS TOTAL AREA: 96M ² MICROCLIMATE: SOUTHEAST EXPOSURE, FULL SUN ESTIMATED ANNUAL WATER USE: 43cu.m.

WATER CONSERVATION CALCULATIONS

TOTAL LANDSCAPE AREA: 149 sq.m LANDSCAPE MAXIMUM WATER BUDGET (WB)= 119 cu.m / year ESTIMATED LANDSCAPE WATER USE (WU) = 66 cu.m /year WATER BALANCE = 53 cu.m /year *REFER ATTACHED IRRIGATION APPLICATION FOR DETAILED CALCULATIONS
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No.	By:	Description	Date
REVISIONS TABLE FOR SHEET			
Project: 430 HARVEY AVENUE TOWER			
Location: 430 HARVEY AVENUE KELOWNA, B.C.			
Drawn:			
BA PH			
Checked:			
KM			
Approved:	Original Sheet 2023-07-31		
KM	24"x36"		
Scale:	CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. ALL DRAWINGS AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND MUST BE RETURNED AT THE COMPLETION OF THE WORK. ALL REVISIONS MUST BE DRAWINGS MUST NOT BE PRICED FOR CONSTRUCTION UNLESS LABELED ISSUED FOR TENDER/CONSTRUCTION.		
1:100			

