

T 403.314.4461

Suite 200, 5218 - 50th Avenue Red Deer, AB T4N 4B5

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+associates

December 04, 2025

Attention: City of Kelowna

Development Planning,
Kelowna City Hall
1435 Water Street,
Kelowna, BC
V1Y 1J4

RE: 905 Badke Road, Kelowna, BC

Development Permit Application – DESIGN RATIONALE

To Whom It May Concern,

Please find herewith the Design Rationale document in support of the Development Permit application for the proposed K-12 School Building development located at **905 Badke Road, Kelowna, BC**.

The project proposes a **two-storey building** featuring **various functional spaces including classrooms, village square, learning commons, cafeteria and supporting administrative and operational spaces**. The proposed site is currently zoned as P– Institutional which meets the proposed uses.

We appreciate your consideration of this Development Permit application. Should you have any questions, please do not hesitate to contact us.

Sincerely,

Suman Chakraborty, Principal
Architect AIBC, AAA, MRAIC, AIIA

Berry Architecture + Associates Ltd.

PRINCIPALS

George Berry
ARCHITECT, AAA, AIBC, MRAIC
PRINCIPAL, CEO

Susanne Widdecke
CCCA, LEED® PROFESSIONAL
PARTNER, COO

Isaac Martinez
ARCHITECT, AAA, AIBC, MRAIC
PRINCIPAL, LEED® PROFESSIONAL



1. Introduction

Flex Academy – Learning Without Limits is the proposed K-12 School located at 905 Badke Road in Kelowna and will be constructed in addition to the existing Flex Academy building with a secured connection. This building will both facilitate that for the students attending daily but also serve as an incubator for educational change across BC, Canada and beyond. The intent of this facility is to create a flagship model of hybrid learning that serves as a hub for schools all over to come observe and learn from, paired with continuing consultation from our school leadership to support the implementation of the aspects of the model that these schools want to see in their own communities.

2. Site

The site is in the Rutland Community of Kelowna flanked by Badke Road to its East and Houghton Road along North property boundary. Bryden Road is on the West and will be accessed through a proposed 6.0m SRW. The total site area is 5.41 acres (21,875 Sq.m.) and is well within the maximum lot area as per land-use bylaw.

The site is currently accessed through Badke Road and has a gated entry from Houghton Road for emergency vehicles only.

The property is generally leveled, with a gentle natural slope toward west. Overall, this site has a great potential for construction of the proposed Flex Academy school.





Views from Houghton Road



3. Building Design

The design objective of Flex Academy and the design team have been to facilitate for students attending daily but also serve as an incubator for educational changes across BC, Canada and beyond. The intent of this facility is to create a flagship model of hybrid learning that serves as a hub for schools all over to come, observe and learn from, paired with continuing consultation from school leadership. Some broad goals of designing this building includes:

- Owner and Occupant Needs: Support new educational models and maintain flexibility
- Future expansion: Design to accommodate phased growth and changing needs
- Flexibility & Adaptability: Spaces and systems should accommodate diverse programming and user groups
- Material Quality & Lifecycle: Prioritize long-lasting, maintainable materials
- Aesthetic Considerations: Design to inspire and reflect the identity of the school community

Creating a sustainable and environmentally responsive learning environment is central to the long-term success of this project. Environmental strategies should not only reduce energy consumption and operational costs, but also actively support occupant wellbeing, comfort, and connection to nature. The design reflects a responsible use of materials, support long product life cycles, and balance innovation with budget realities.

The proposed building's exterior aesthetics has been proposed to predominantly have pre-cast concrete panels with aesthetically pleasing patterns enriched with a colour theme that directly connects with Flex Academy's corporate graphics. Other materials proposed to adorn the fascia includes metal panels chosen to be of distinct colours highlighting building entrances and leaving a sense of continuity from the existing school building.

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The wide green ground cover between the proposed building and Houghton Road will provide a supportive public realm that is perceived to embrace evolution of forms of educational institutions that is futuristic but also respect the essence of its presence to both its immediate and City context.



View from the Southwest



View from the Northwest

4. Landscape and Shared Amenities

The landscape design for Flex Academy focuses on creating an inclusive, safe, and pedagogical environment that supports learning and community interaction while reflecting Kelowna's unique climate and culture. Pathways and gathering areas ensure connectivity between indoor and outdoor spaces, and CPTED principles guide planting and layout for visibility and security. The plant palette features drought-tolerant, native species to reduce water use and maintenance, while outdoor classrooms, shaded seating, and accessible routes promote equity. Environmental stewardship is addressed through permeable surfaces and bioswales for stormwater management, and regional materials reinforce local identity and sustainability.

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FLEX ACADEMY - ADDITION

Part of Lot 1 Section 27 Township 26 Osoyoos Division Tale District Plan KAP55460; 905 Badke Road, Kelowna, BC




GENERAL NOTES	
1.	DO NOT SCALE DRAWINGS. CONFIRM ALL DIMENSIONS ON SITE AND REPORT DISCREPANCIES TO OWNER AND ARCHITECT.
2.	CONTRACTOR TO COMPARE DRAWINGS TO SITE CONDITIONS AND REPORT DISCREPANCIES TO ARCHITECT.
3.	ALL WORK COMPLIES WITH THE REQUIREMENTS OF THE LATEST EDITION OF THE BRITISH COLUMBIA BUILDING CODE AND LOCAL ORDINANCES.
4.	COORDINATE ALL INFORMATION FROM ALL ARCHITECTURAL, STRUCTURAL, MECHANICAL, ELECTRICAL AND CIVIL CONSULTANTS DOCUMENTS. COORDINATE DIMENSIONS REQUIRED FOR THE FITTING OF ALL COMPONENTS AS NECESSARY TO ENSURE THEIR SOUND OPERATION UPON COMPLETION.
5.	ALL WALL, FLOOR, AND ROOF ASSEMBLIES SHOWN ON THE CONSTRUCTION ASSEMBLY PAGE SHOW TRUE REPRESENTATION OF COMPLETED CONSTRUCTION ASSEMBLY. REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION.
6.	REFER TO STRUCTURAL FRAMING PLANS FOR LOCATIONS OF INTERIOR LOAD BEARING ASSEMBLIES AND SHEAR WALL LOCATIONS.
7.	ALL G.I. FLASHING EXPOSED TO VIEW SHALL BE PRE-FINISHED.
8.	MAINTAIN CONTINUOUS FIRE RATED SEPARATION AROUND JANITOR ROOMS, STORAGE ROOMS, AND MECHANICAL ROOMS. GARRY WALLS TO UNDERSIDE OF STRUCTURE.
9.	PROVIDE CONTINUOUS SEALANT AROUND BOTH SIDES OF ALL DOOR AND WINDOW FRAMES.
10.	ALL WOOD COMPONENTS DIRECTLY ATTACHED TO CEMENTITIOUS MATERIALS AND DIRECTLY UNDER EXTERIOR SILLS SHALL BE PRESSURE TREATED.
11.	FURR-IN ALL EXPOSED MECHANICAL AND/OR ELECTRICAL COMPONENTS IN FINISHED AREAS, AND AS INDICATED.
12.	SEE MECHANICAL AND ELECTRICAL FOR DIFFUSERS, GRILLES, FIXTURES, AND EQUIPMENT. CO-ORDINATE SIZES AND EXACT LOCATIONS TO SUIT ARCHITECTURAL REFLECTED CEILING PLANS AND/OR DETAILS.
13.	CAULK AND SEAL AROUND ALL DUCTS AND PIPES PASSING THROUGH FIRE RATED PARTITIONS AND FLOOR ASSEMBLIES WITH APPROVED (ULC) MASTIC CAULKING.
14.	PROVIDE ACOUSTICAL SEALANT AT SOUND RATED PARTITIONS.
15.	WHERE ELECTRICAL OR OTHER OUTLETS OCCUR IN SOUND RATED PARTITIONS, STAGGER OUTLETS. PROVIDE ACOUSTICAL SEALANT ALL AROUND.
16.	WHERE ELECTRICAL OR OTHER OUTLETS OCCUR IN FIRE RATED PARTITIONS, PROVIDE PUTTY PACKS TO ALL OUTLETS WITHIN THE STUD CAVITY TO MAINTAIN FIRE RATINGS.
17.	CONTRACTOR TO PATCH AND MAKE GOOD ANY LOCATION THAT REQUIRES DEMOLITION TO FINISH SURFACES AS REQUIRED.
18.	CONTRACTOR TO COORDINATE WITH OWNER FOR ALL ITEMS THAT ARE TO BE SALVAGED AND TURNED OVER TO OWNER DURING DEMOLITION WORK.

ARCHITECTURAL SHEET LIST	
Sheet Number	Sheet Name
DP1.0	TITLE PAGE
DP2.0	OVERALL SITE PLAN
DP2.1	ENLARGED SITE PLAN
DP2.2	ENLARGED PARKING + GARBAGE PLANS
DP2.3	EXISTING SITE PHOTOS
DP3.0	OVERALL MAIN FLOOR PLAN
DP3.1	OVERALL SECOND FLOOR PLAN
DP3.2	OVERALL ROOF PLAN
DP3.3	BLOCK A MAIN FLOOR PLAN
DP3.4	BLOCK B MAIN FLOOR PLAN
DP3.5	BLOCK A SECOND FLOOR PLAN
DP3.6	BLOCK B SECOND FLOOR PLAN
DP4.0	EXTERIOR ELEVATIONS
DP4.1	EXTERIOR ELEVATIONS


CIVIL SHEET LIST	
Sheet Number	Sheet Name
25-3038C-010	COVER
25-3038C-020	STANDARD NOTES
25-3038C-030	SERVICING PLAN
25-3038C-040	GRADING PLAN
25-3038C-050	STORMWATER MANAGEMENT PLAN
25-3038C-060	EROSION AND SEDIMENT CONTROL PLAN

LANDSCAPE SHEET LIST	
Sheet Number	Sheet Name
L-000	COVER
L-100	LANDSCAPE PLAN 1/2
L-101	LANDSCAPE PLAN 2/2
L-200	HYDROZONE PLAN 1/2
L-201	HYDROZONE PLAN 2/2

ELECTRICAL SHEET LIST	
Sheet Number	Sheet Name
E-1	SITE PLAN



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KEY PLAN

REVISIONS + ISSUES	
YYYY MM DD	ISSUED FOR
2025/11/26	DP REVIEW
2025/12/04	DEVELOPMENT PERMIT

PROJECT TITLE

FLEX ACADEMY - ADDITION

905 Badke Rd

Kelowna, BC V1X 3Y5

DRAWING TITLE

TITLE PAGE

SCALE:

DRAWN: TE

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DP1.0

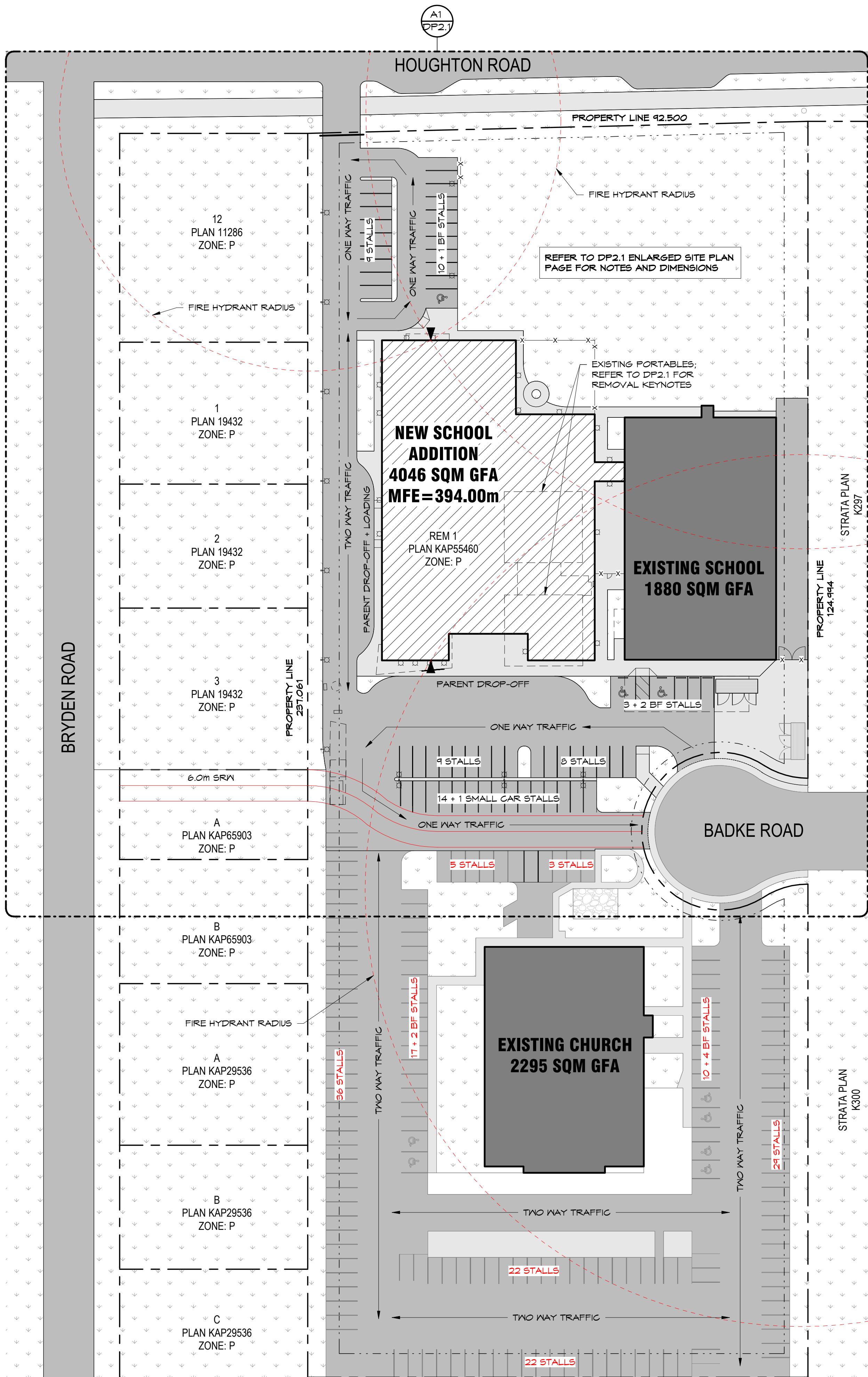
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A2
DP2.0
OVERALL SITE PLAN
SCALE = 1 : 500

CITY OF KELOWNA LAND-USE BYLAW REVIEW

LEGAL ADDRESS Part of Lot 1 Section 21 Township 26 Osoyoos Division Tale District Plan KAP55460
CIVIC ADDRESS 905 Badke Road, Kelowna, BC

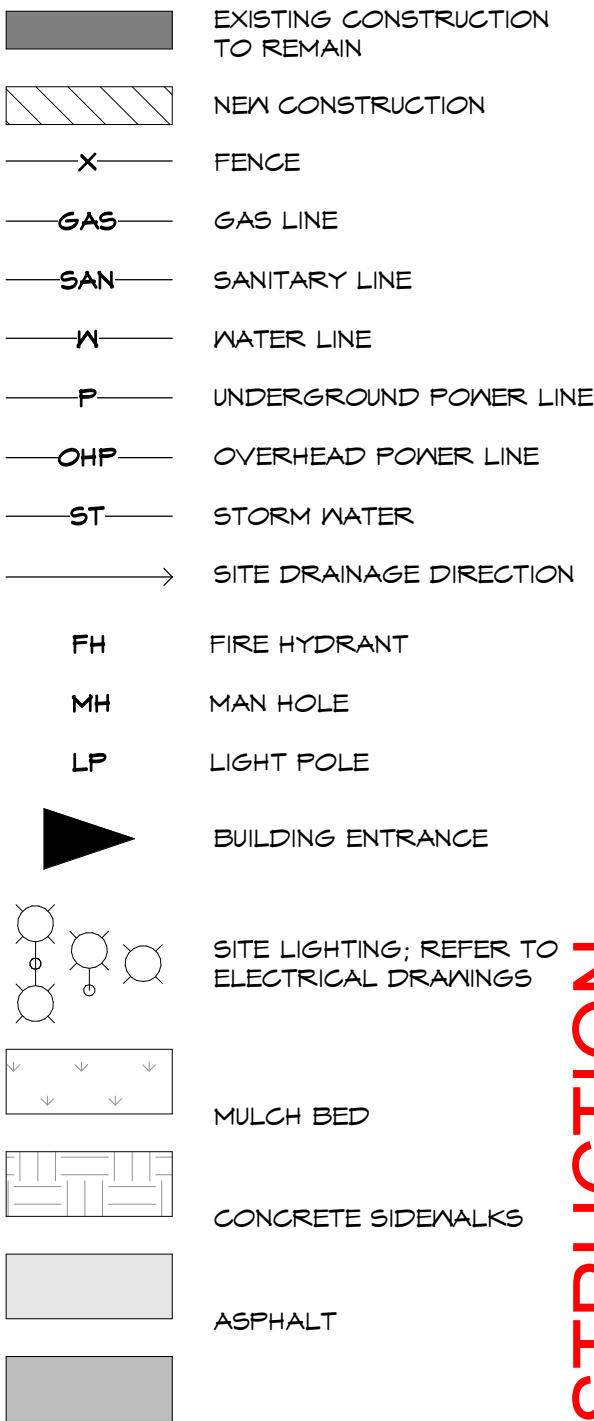
Regulation:	Requirement:	Proposed:	Comment:
Site Data:			
Zoning: P - Institutional	P2 - Educational and Minor Institutional	Private Christian School (Pre-K to Grade 12)	Permitted Use
Section 14.10 Regulations:			
Minimum Lot Area:	660 sq.m.		
Maximum Lot Area:	n/a		
Total Lot Area:		5.41 acres (21,875 sq.m.)	Conforms
Section 14.12 Regulations:			
Total Site Coverage (new building):	Max. 40%	10.1%	Conforms
Total Site Coverage (all buildings):	Max. 40%	22.1%	Conforms
Total Building Footprint:		2,200 sq.m.	
Setbacks:			
Front Yard:	2.0 m	2.0 m	Conforms
Side Yard:	4.5 m	4.5 m	Conforms
Flanking Side Yard:	2.0 m	2.0 m	Conforms
Rear Yard:	6.0 m	6.0 m	Conforms
Section 14.14 Regulations:			
Minimum Density (FAR) (new building):	1.0	0.18	Conforms
Minimum Density (FAR) (all buildings):	1.0	0.38	Conforms
Maximum Height:	3 Storeys and 13.5 m	2 Storeys and 11.0m	Conforms
Building Area:			
Main Floor Area		2,200 sq.m.	
Second Floor Area		1,846 sq.m.	
Total Floor Area:		4,046 sq.m.	
Section 8 Parking Regulations:			
New Building:			
1.3 Stalls / 100 sq.m.	53 Stalls	57 Stalls	Conforms
Existing Buildings:			
1.0 Stalls / seat or 6 spaces per 100 sq.m. (church)	138 Stalls	3 Stalls	
1.3 Stalls / 100 sq.m.	25 Stalls		
Full Site:	216 Stalls	210 Stalls	The school and church should never be at full capacity at the same time as the building uses run on different schedules and site parking can be shared between all buildings.
Parking Stall Dimensions:			
Regular Vehicle Parking:	6.0m x 2.5m		
Small Vehicle Parking:	4.0m x 2.3m		
Typical Barrier-Free Parking:	6.0m x 3.7m		
Van Barrier-Free Parking:	6.0m x 4.8m		
Drive Aisles:			
Two-Way Drive Aisles			
Serving 90 Degree Parking:	6.5m		
One-Way Drive Aisles (60 degree parking or greater):	5.5m		
Barrier-Free Parking Stalls:			
Total Parking = 201-300 Spaces	6 Typical Stalls 2 Van Stalls	6 Existing Typical Stalls 1 New Typical Stall 2 New Van Stalls	Conforms
Bicycle Parking Stalls:			
4.0 Bike Spaces per Entrance	2 New Entrances 1 Existing Entrances	12 Bike Spaces	Conforms

Limiting Distance 3.2.3.1.(1) ... The area of unprotected openings in an exposed building face for the applicable limiting distance shall be not more than the value determined in accordance with the tables. Refer to Life Safety Plan

Limiting Distance Calculations (In accordance with Table 3.2.3.1.-D) GROUP A

Building Face	Building Face Area	Ratio	Limiting Distance	Limiting Distance Notes	% unprotected openings permitted	% unprotected openings designed	Fire Rating (Per table 3.2.3.7.)	Type of Construction (Per table 3.2.3.7.)	Type of Cladding (Per table 3.2.3.7.)
North	419.2 sqm (150 or more sqm)	-	39.4m (9m)	Measured from new addition to northwest corner of north property line	100%	22.3%	45 min	Noncombustible	Noncombustible
East	552.2 sqm (150 or more sqm)	-	5.69m (5m)	Measured from new addition to existing school	40%	15.4%	45 min	Noncombustible	Noncombustible
South	467.4 sqm (150 or more sqm)	-	22.3m (9m)	Measured from new addition to midline of southern parking lot	100%	21.8%	45 min	Noncombustible	Noncombustible
West	541.6 sqm (150 or more sqm)	-	15.1m (9m)	Measured from new addition to west property line	100%	15.4%	45 min	Noncombustible	Noncombustible

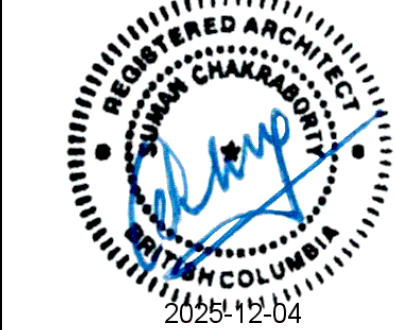
SITE LEGEND



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KEY PLAN

REVISIONS + ISSUES

YYYY MM DD	ISSUED FOR
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2025/12/04	DEVELOPMENT PERMIT

PROJECT TITLE
FLEX ACADEMY -
ADDITION

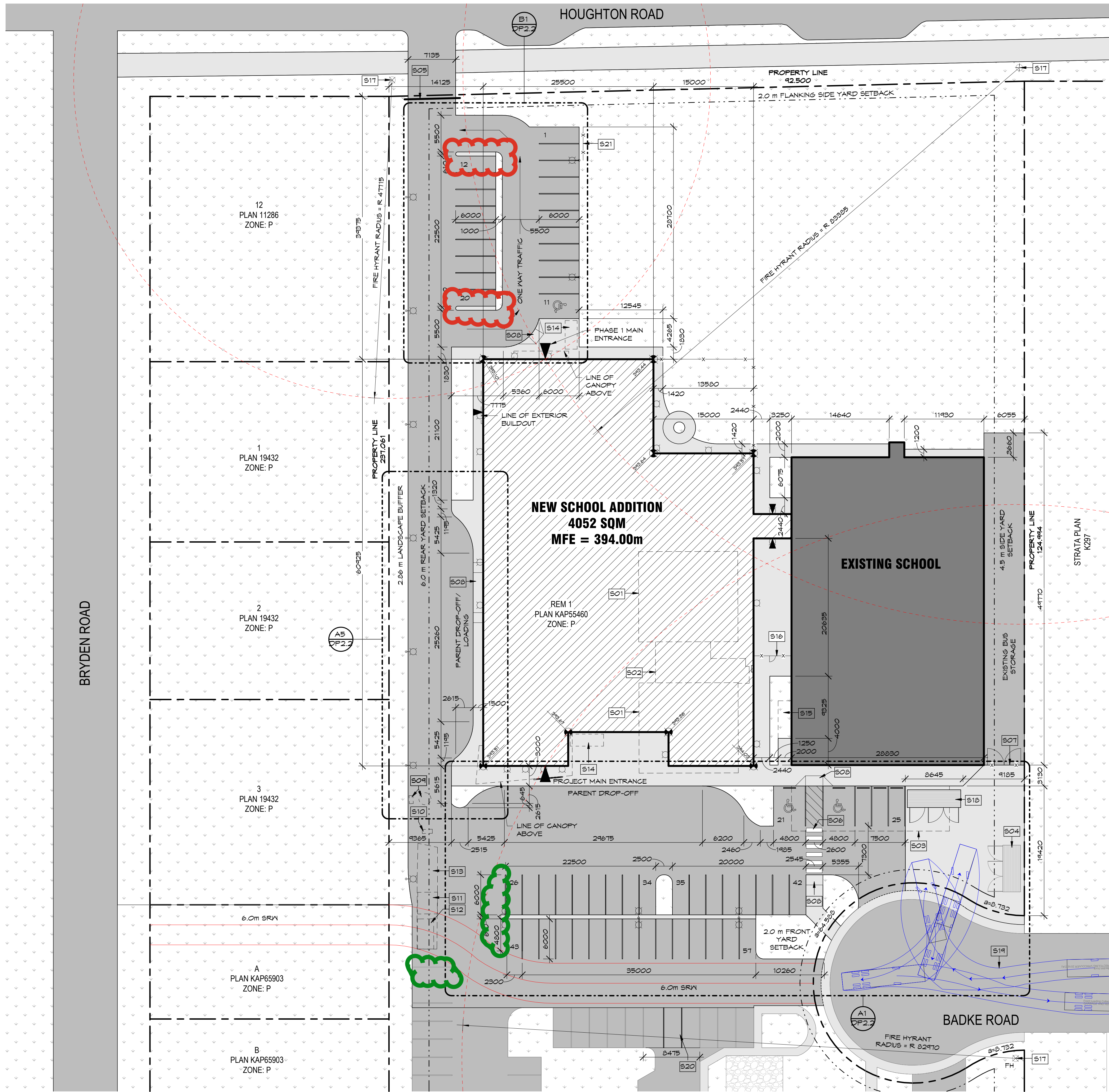
905 Badke Rd
Kelowna, BC V1X 3Y5

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SITE LEGEND

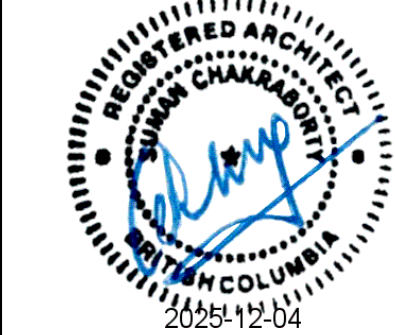
- EXISTING CONSTRUCTION TO REMAIN
- NEW CONSTRUCTION
- FENCE
- GAS LINE
- SANITARY LINE
- WATER LINE
- UNDERGROUND POWER LINE
- OVERHEAD POWER LINE
- STORM WATER
- SITE DRAINAGE DIRECTION
- FIRE HYDRANT
- MAN HOLE
- LIGHT POLE
- BUILDING ENTRANCE
- SITE LIGHTING; REFER TO ELECTRICAL DRAWINGS
- MULCH BED
- CONCRETE SIDEWALKS
- ASPHALT

KEYNOTE LEGEND

- EXISTING PORTABLE LOCATION. CONTRACTOR TO COORDINATE REMOVAL AND HANDOVER OF PORTABLE WITH SCHOOL DURING CONSTRUCTION.
- EXISTING PORTABLE DECK LOCATION. CONTRACTOR TO COORDINATE REMOVAL OF DECK WITH SCHOOL DURING CONSTRUCTION.
- EXISTING MODULE LOCATION. CONTRACTOR TO COORDINATE REMOVAL AND HANDOVER OF PORTABLE WITH SCHOOL DURING CONSTRUCTION.
- EXISTING GARBAGE BINS AND GARBAGE ENCLOSURE TO REMAIN.
- EXISTING GATE TO REMAIN.
- NEW PAINTED PEDESTRIAN CROSSWALK.
- EXISTING CHAINLINK FENCE AND GATE TO BE RELOCATED.
- CONCRETE CURB CUT.
- EXISTING LIFT STATION TO BE RELOCATED DURING CONSTRUCTION; REFER TO CIVIL DRAWINGS.
- EXISTING ELECTRICAL TO BE RELOCATED DURING CONSTRUCTION.
- EXISTING SHED TO BE RELOCATED DURING CONSTRUCTION.
- EXISTING SEAGAN STORAGE TO BE RELOCATED DURING CONSTRUCTION.
- EXISTING CONCRETE PAD TO BE DEMOLISHED.
- NEW BIKE PARKING; REFER TO LANDSCAPE DRAWINGS.
- EXISTING EXTERIOR METAL STAIRS TO REMAIN.
- NEW CHAINLINK FENCE AND GATE.
- APPROXIMATE LOCATION OF EXISTING FIRE HYDRANT.
- NEW GARBAGE BIN ENCLOSURE; REFER TO DP2.2 FOR ENLARGED PLAN AND ELEVATIONS.
- WASTE COLLECTION TRUCK TURNING MOVEMENTS.
- THREE (3) NEW PARKING STALLS TO BE ADDED BETWEEN EXISTING STALLS.
- PREFINISHED METAL TRIANGULAR SWING GATE TO BE INSTALLED TO PROVIDE ACCESS TO FIELD.



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2025/12/04	DEVELOPMENT PERMIT

PROJECT TITLE
FLEX ACADEMY - ADDITION
905 Badke Rd
Kelowna, BC V1X 3Y5

DRAWING TITLE
ENLARGED SITE PLAN

SCALE: As indicated
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DP2.1

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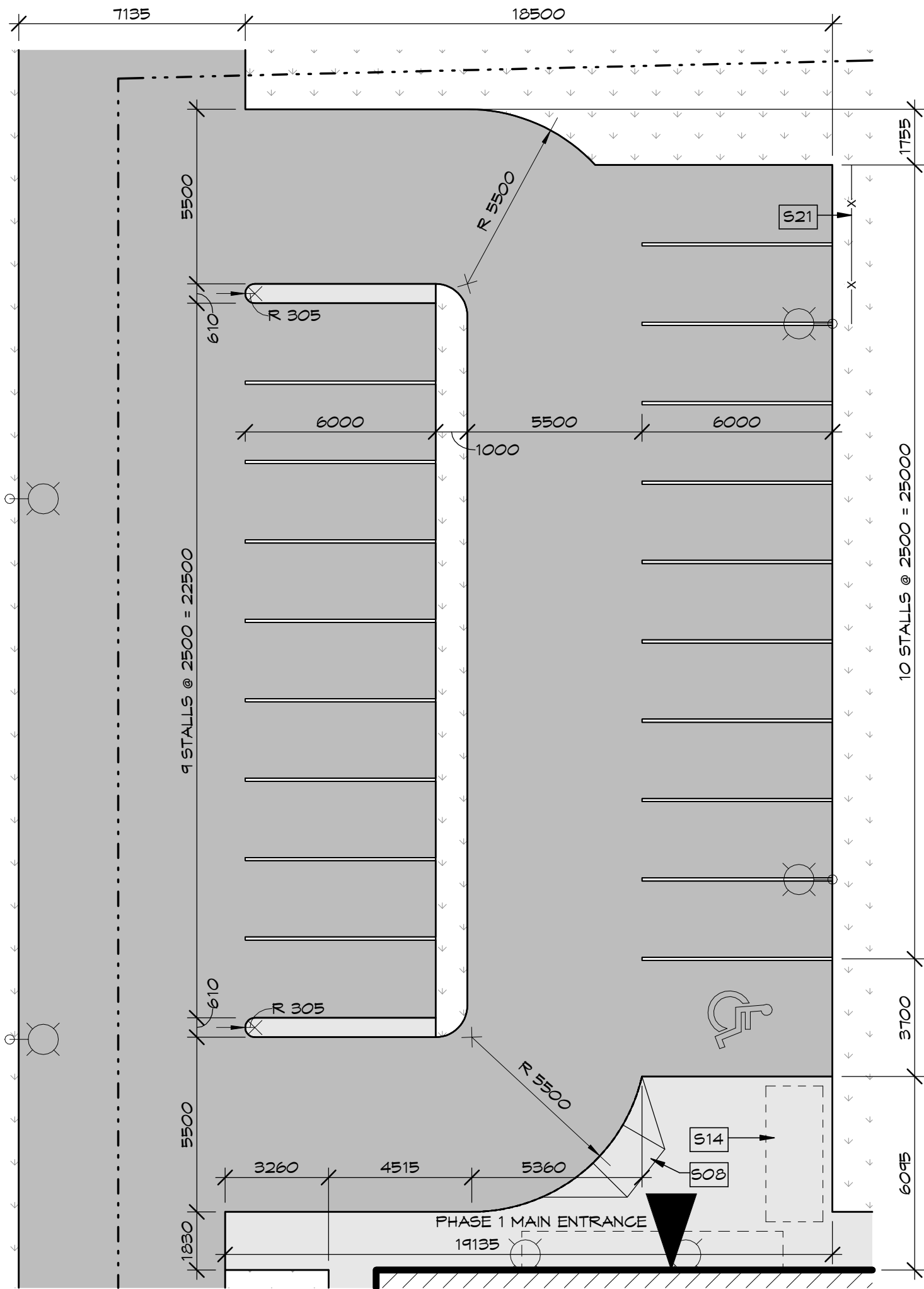
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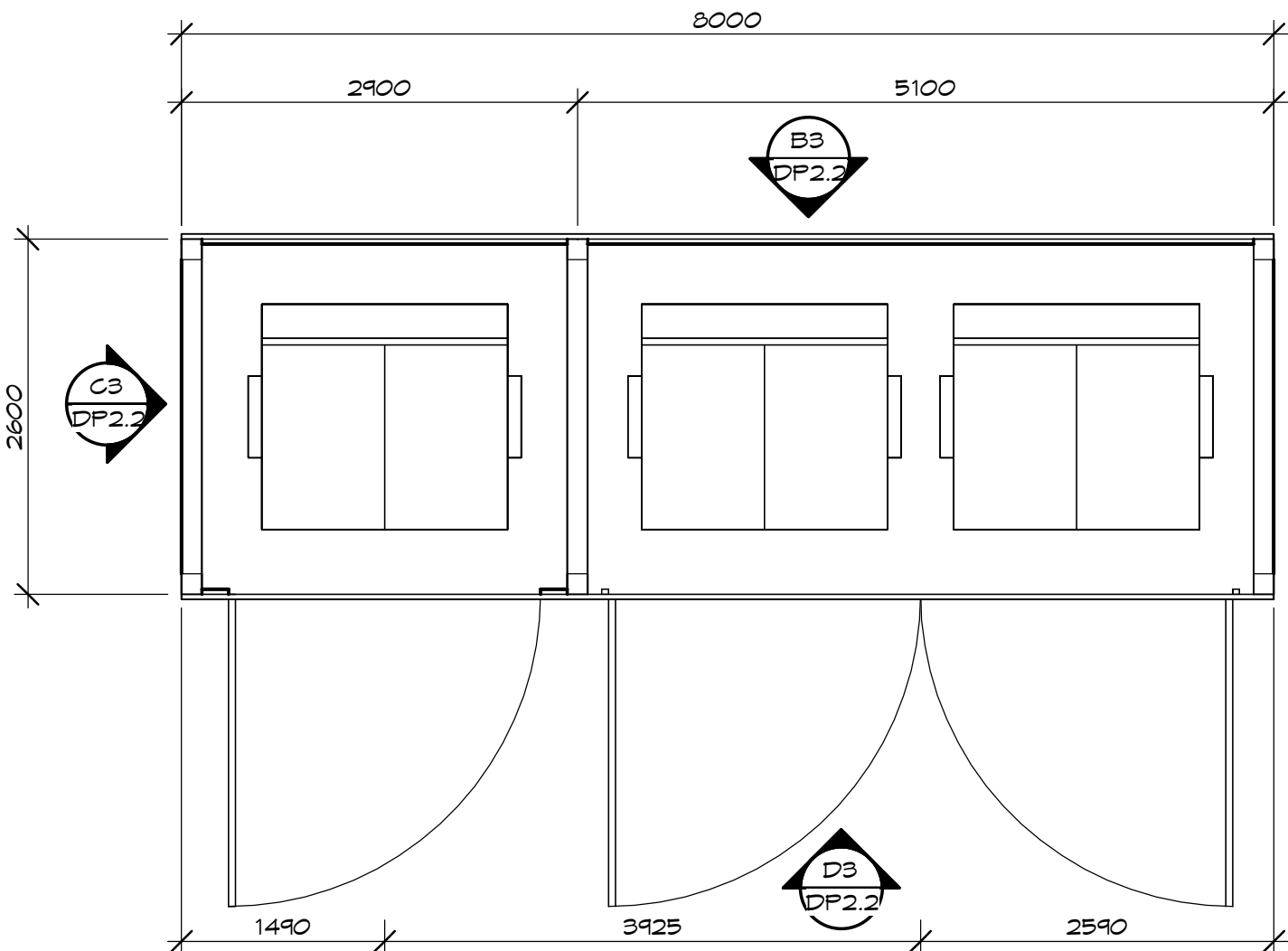
A



B1 NORTH WEST PARKING LOOP
DP2.2 SCALE = 1 : 150



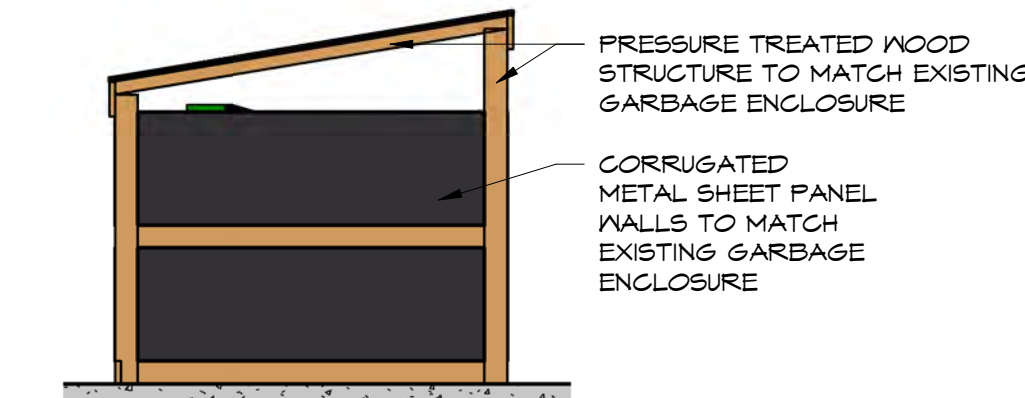
EXISTING GARBAGE ENCLOSURE



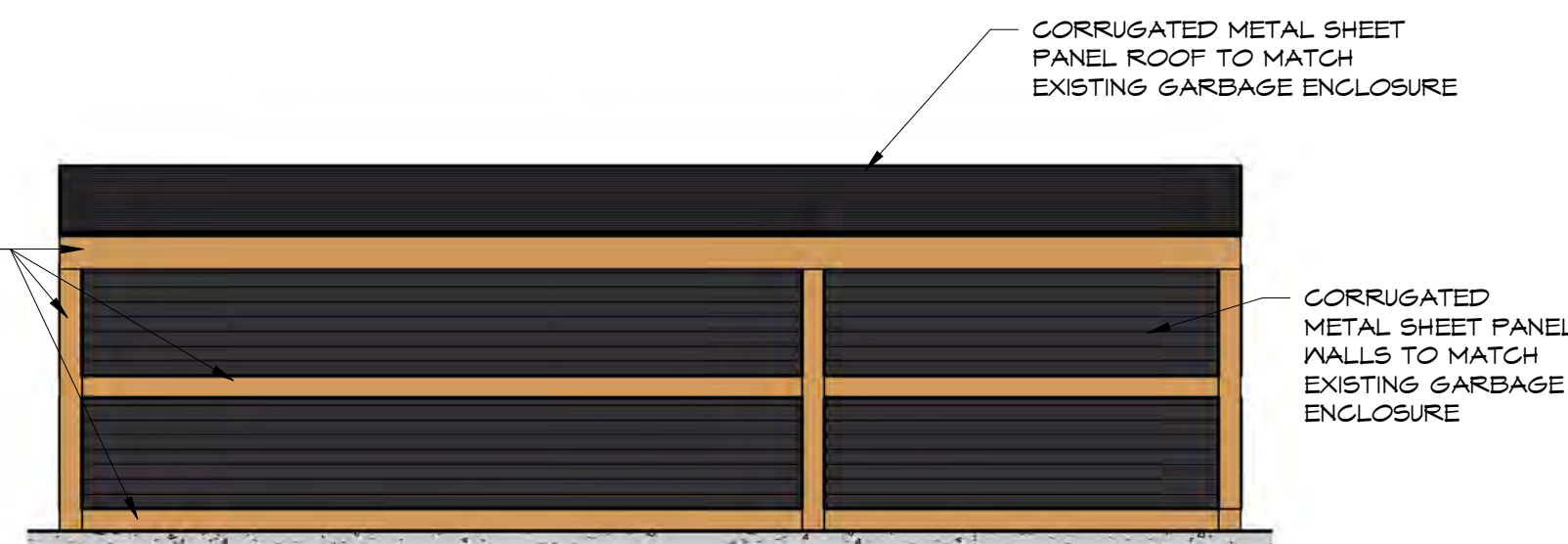
B2 NEW GARBAGE ENCLOSURE
DP2.2 SCALE = 1 : 50



D3 GARBAGE ENCLOSURE ELEV. A
DP2.2 SCALE = 1 : 50

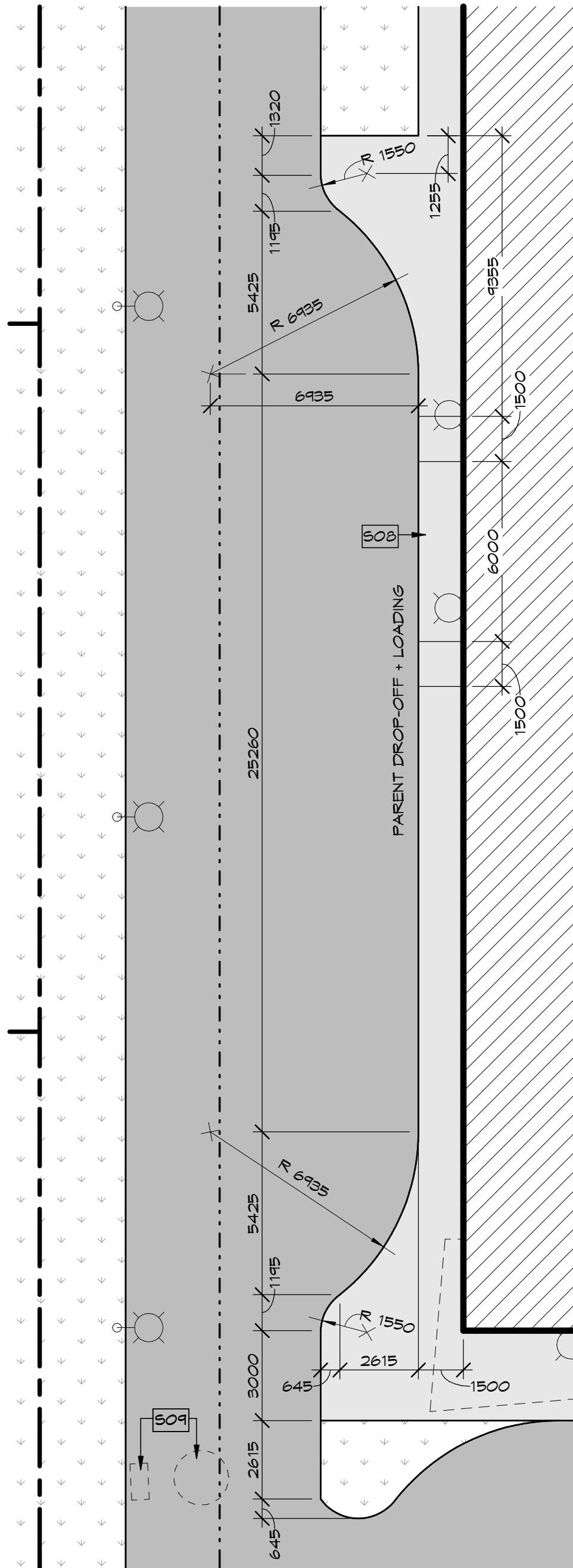


C3 GARBAGE ENCLOSURE ELEV. B
DP2.2 SCALE = 1 : 50



B3 GARBAGE ENCLOSURE ELEV. C
DP2.2 SCALE = 1 : 50

KEYNOTE LEGEND	
S03	EXISTING MODULE LOCATION. CONTRACTOR TO COORDINATE REMOVAL AND HANDOVER OF PORTABLE WITH SCHOOL DURING CONSTRUCTION.
S04	EXISTING GARBAGE BINS AND GARBAGE ENCLOSURE TO REMAIN.
S06	NEW PAINTED PEDESTRIAN CROSSWALK.
S08	CONCRETE CURB CUT.
S09	EXISTING LIFT STATION TO BE RELOCATED DURING CONSTRUCTION; REFER TO CIVIL DRAWINGS.
S14	NEW BIKE PARKING; REFER TO LANDSCAPE DRAWINGS.
S21	PREFINISHED METAL TRIANGULAR SWING GATE TO BE INSTALLED TO PROVIDE ACCESS TO FIELD.



A5 WEST PARENT DROP-OFF
DP2.2 SCALE = 1 : 150

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2025/11/26	DP REVIEW
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PROJECT TITLE

FLEX ACADEMY - ADDITION

905 Badke Rd Kelowna, BC V1X 3Y5

DRAWING TITLE

ENLARGED PARKING + GARBAGE PLANS

SCALE: As indicated

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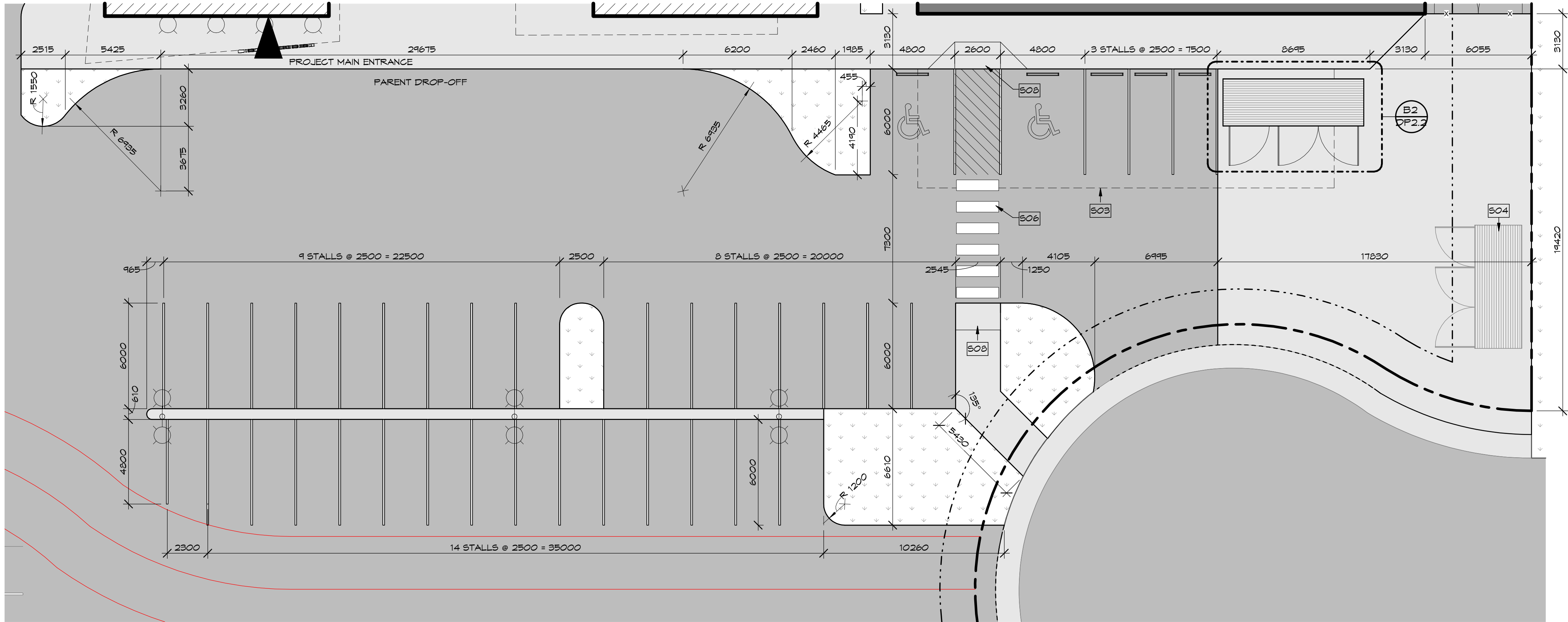
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DP2.2

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A1 SOUTH PARKING AND PARENT DROP-OFF
DP2.2 SCALE = 1 : 150

1

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4

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D



EXISTING GARBAGE AND BUS STORAGE LANE OFF
BADKE ROAD TRAFFIC CIRCLE



EXISTING PORTABLES, FIELD, AND SITE CONDITIONS
LOOKING TOWARDS HOUGHTON ROAD ACCESS



EXISTING PORTABLES, FIELD, AND SITE CONDITIONS
FROM HOUGHTON ROAD

C

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EXISTING SHED AND LIFT STATION ALONG WEST
PROPERTY LINE



EXISTING SCHOOL AND PORTABLES FROM
WITHIN SOUTH PARKING AREA



EXISTING SCHOOL AND PORTABLES LOOKING
TOWARDS EXISTING CHURCH



EXISTING PORTABLES, FIELD, SITE CONDITIONS, AND
GATED SITE CONNECTION AT HOUGHTON ROAD

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PROJECT TITLE
**FLEX ACADEMY -
ADDITION**
**905 Badke Rd
Kelowna, BC V1X 3Y5**

DRAWING TITLE
**EXISTING SITE
PHOTOS**

SCALE:	
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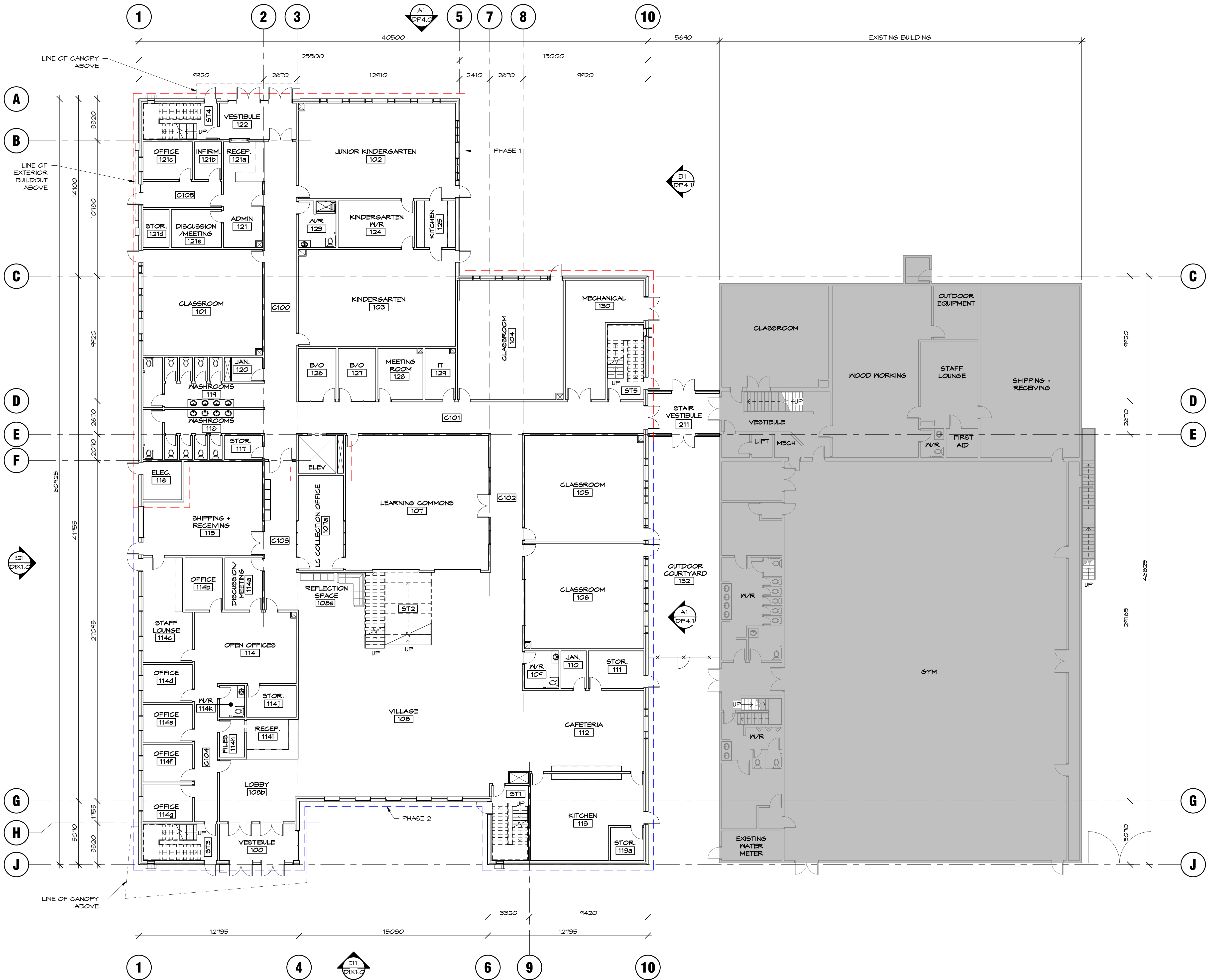
PROJECT TITLE
**FLEX ACADEMY -
ADDITION**
**905 Badke Rd
Kelowna, BC V1X 3Y5**

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**OVERALL MAIN
FLOOR PLAN**

SCALE: 1 : 150
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DP3.0

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A1
DP3.0
OVERALL PLAN - MAIN FLOOR
SCALE = 1 : 150



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PROJECT TITLE
**FLEX ACADEMY -
ADDITION**
**905 Badke Rd
Kelowna, BC V1X 3Y5**

DRAWING TITLE
**OVERALL SECOND
FLOOR PLAN**

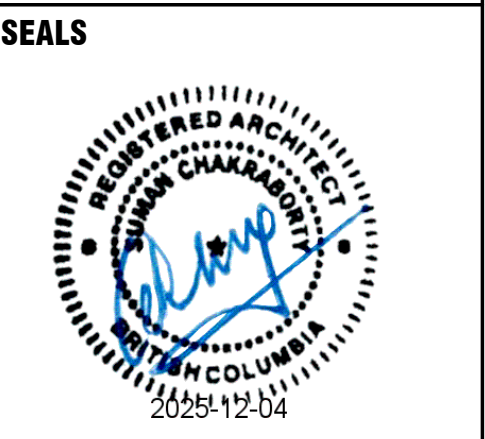
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DP3.1

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A1
DP3.1
OVERALL PLAN - SECOND FLOOR
SCALE = 1 : 150



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PROJECT TITLE
**FLEX ACADEMY -
ADDITION**
**905 Badke Rd
Kelowna, BC V1X 3Y5**

DRAWING TITLE
**OVERALL ROOF
PLAN**

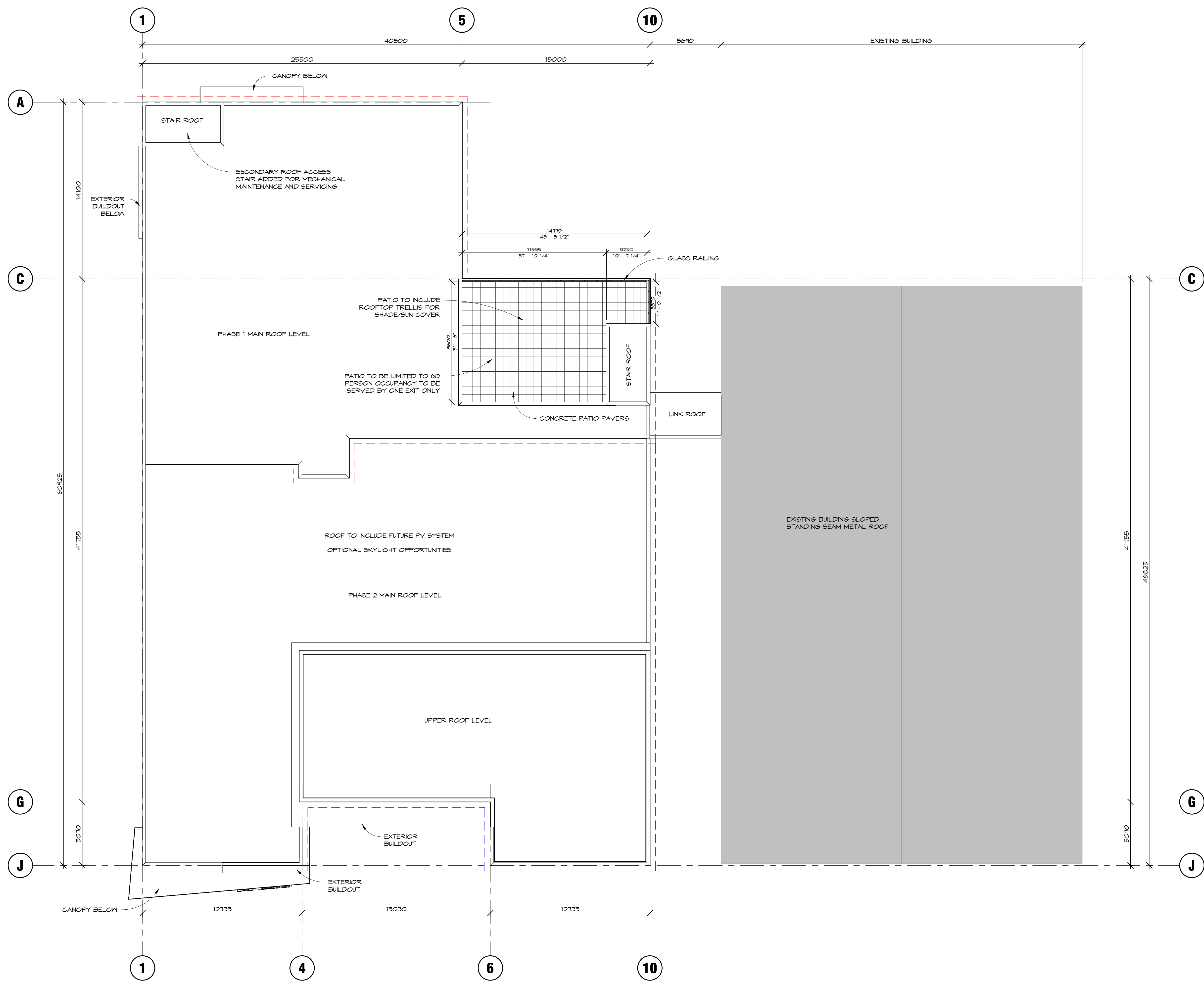
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CHECKED: SC/DL
AUG '25
25-044

DP3.2

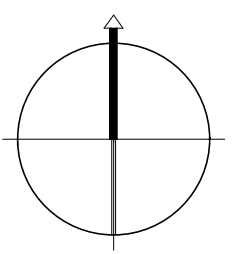
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2025-12-04 3:46:35 PM

NOT FOR CONSTRUCTION



A1
DP3.2
OVERALL PLAN - ROOF
SCALE ±1 : 150





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2025/11/26	DP REVIEW
2025/12/04	DEVELOPMENT PERMIT

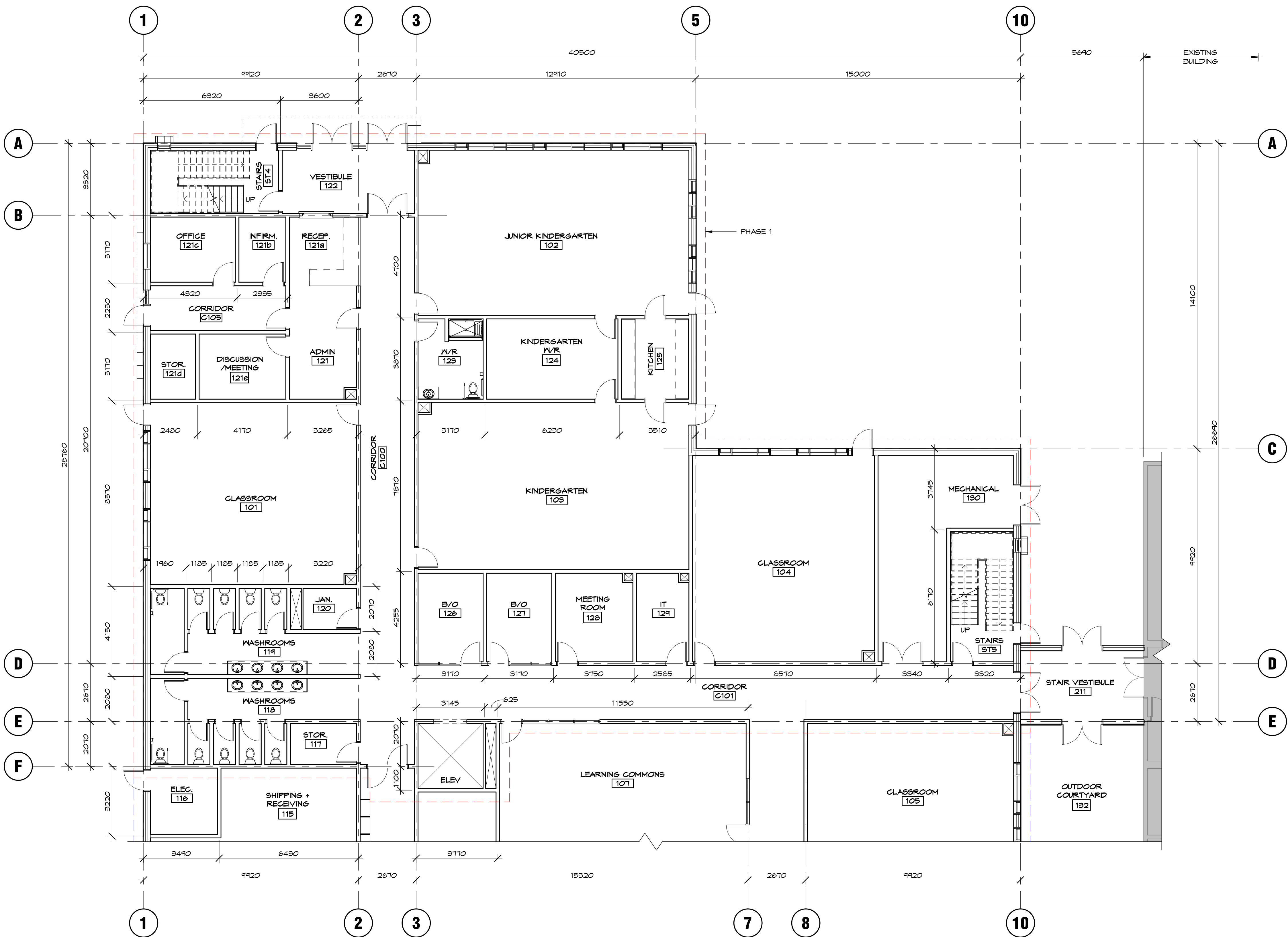
PROJECT TITLE
**FLEX ACADEMY -
ADDITION**
**905 Badke Rd
Kelowna, BC V1X 3Y5**

**BLOCK A MAIN
FLOOR PLAN**

SCALE:	1 : 100
DRAWN:	TE
CHECKED:	SC/DL
AUG '25	
25-044	

DP3.3

NOT FOR CONSTRUCTION



A1
DP3.3
ENLARGED PLAN - MAIN FLOOR BLOCK A
SCALE = 1 : 100

SEALS



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KEY PLAN

REVISIONS + ISSUES

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2025/11/26	DP REVIEW
2025/12/04	DEVELOPMENT PERMIT

PROJECT TITLE
**FLEX ACADEMY -
ADDITION**
**905 Badke Rd
Kelowna, BC V1X 3Y5**

DRAWING TITLE
**BLOCK B MAIN
FLOOR PLAN**

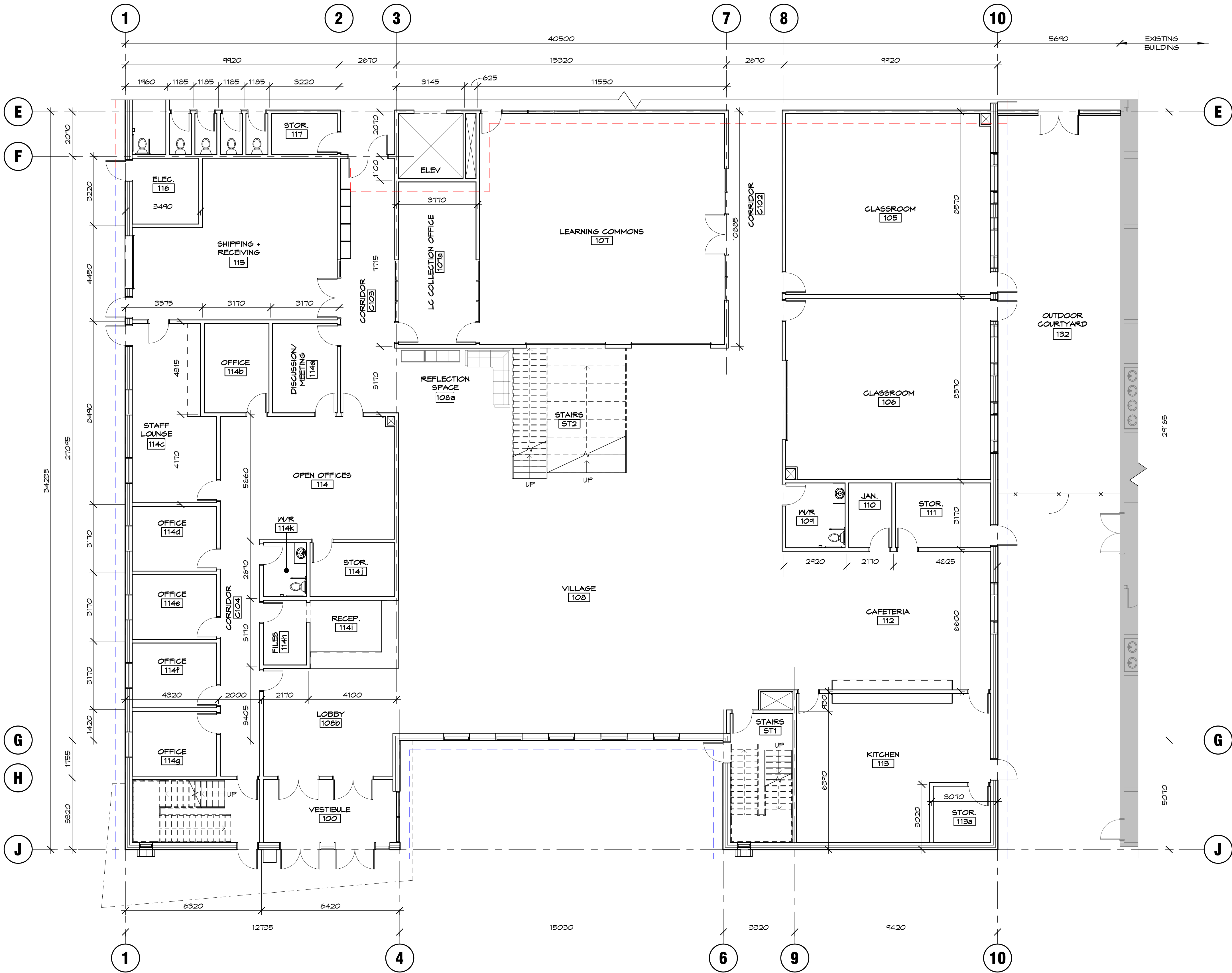
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CHECKED: SC/DL
AUG '25
25-044

DP3.4

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ENLARGED PLAN - MAIN FLOOR BLOCK B
SCALE = 1 : 100



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2025/12/04	DEVELOPMENT PERMIT

PROJECT TITLE
**FLEX ACADEMY -
ADDITION**

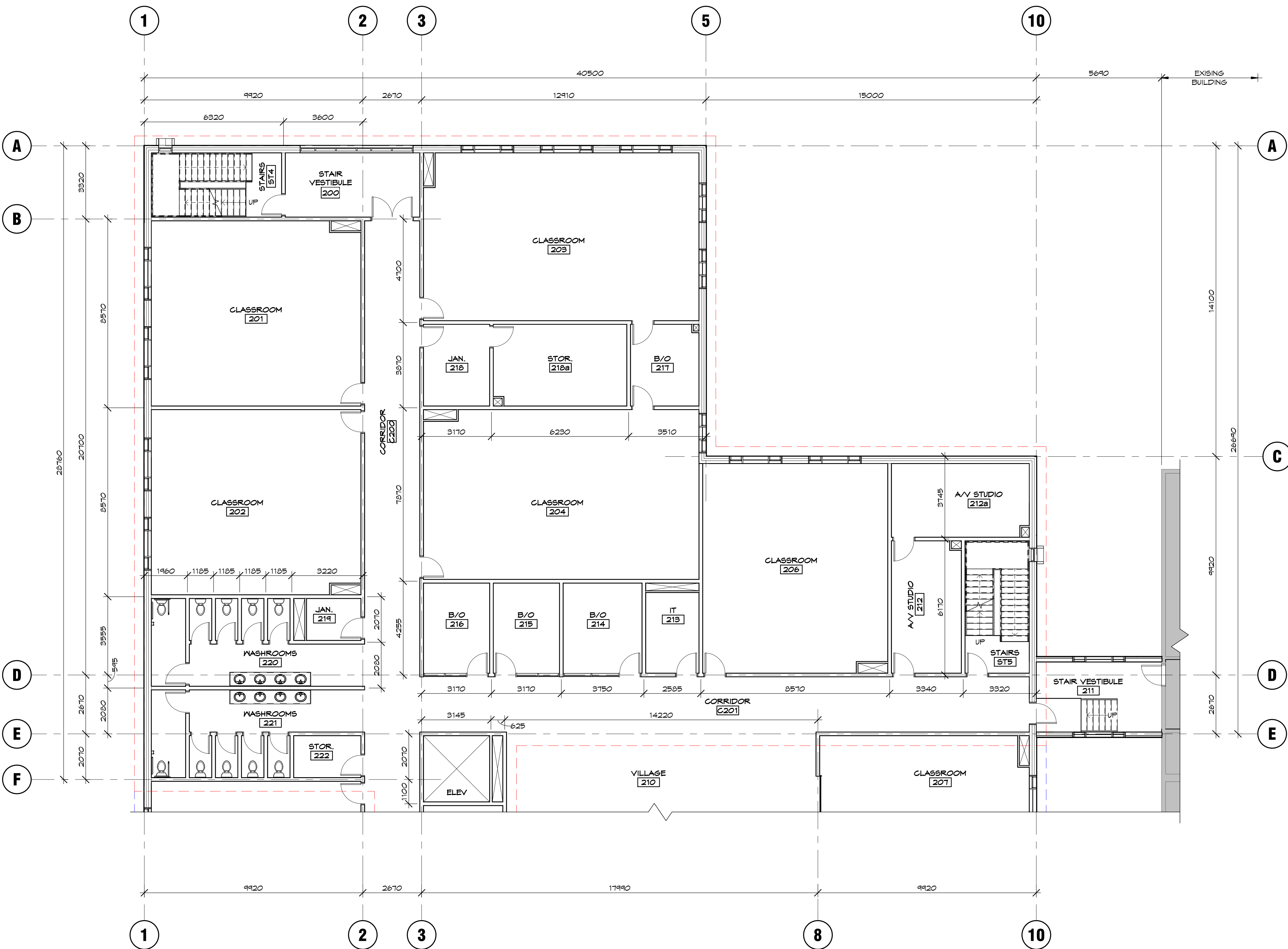
**905 Badke Rd
Kelowna, BC V1X 3Y5**

**BLOCK A SECOND
FLOOR PLAN**

SCALE:	1 : 100
DRAWN:	TE
CHECKED:	SC/DL
AUG '25	
25-044	

DP3.5

NOT FOR CONSTRUCTION



ENLARGED PLAN - SECOND FLOOR BLOCK A
SCALE = 1 : 100

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2025/12/04	DEVELOPMENT PERMIT

PROJECT TITLE
**FLEX ACADEMY -
ADDITION**
**905 Badke Rd
Kelowna, BC V1X 3Y5**

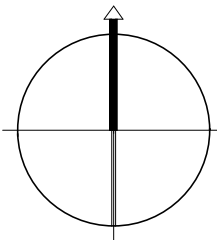
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**BLOCK B SECOND
FLOOR PLAN**

SCALE: 1 : 100
DRAWN: TE
CHECKED: SC/DL
AUG '25
25-044

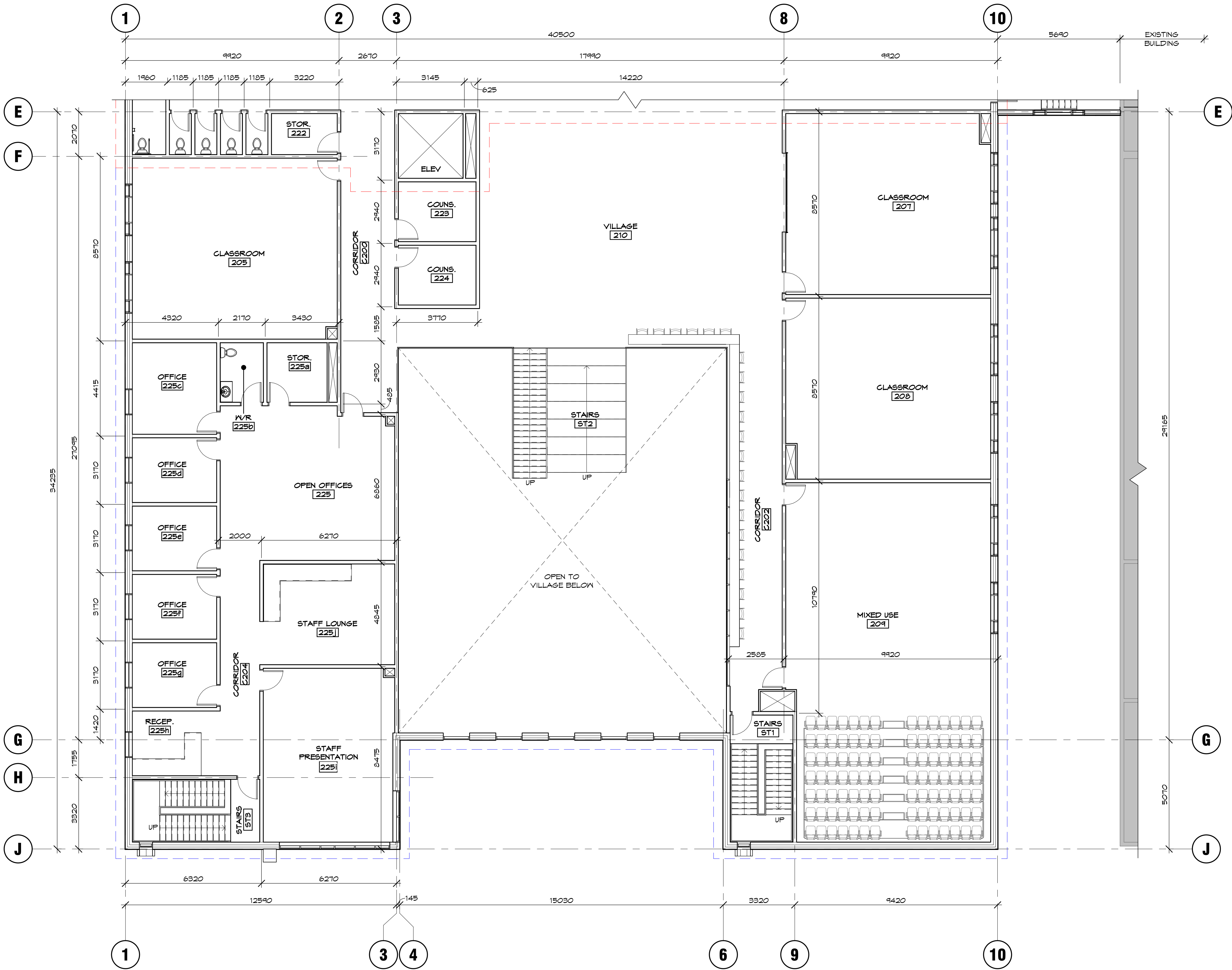
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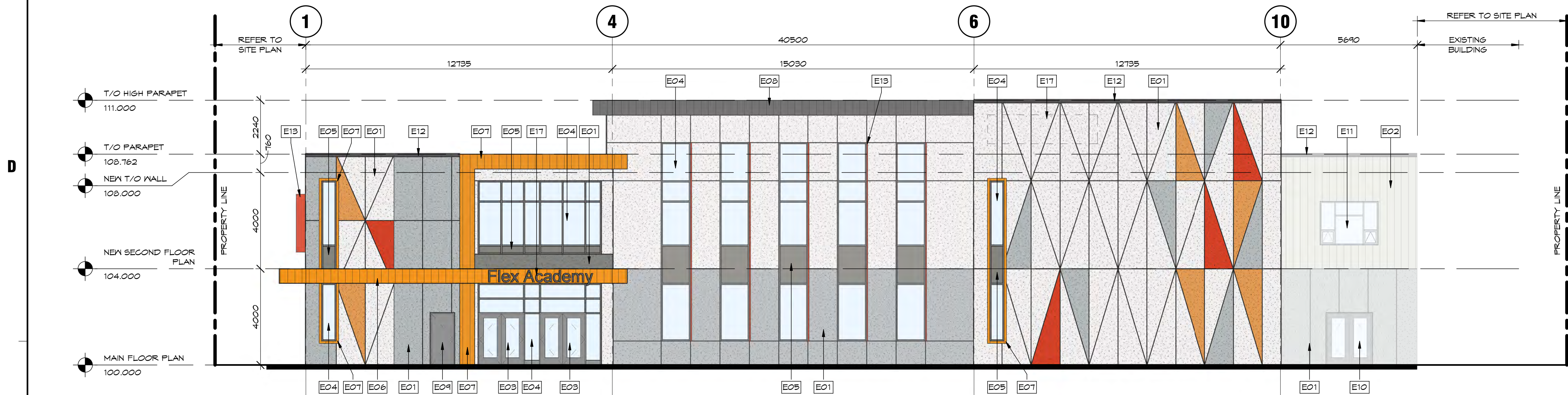
ENLARGED PLAN - SECOND FLOOR BLOCK B
SCALE = 1 : 100

D

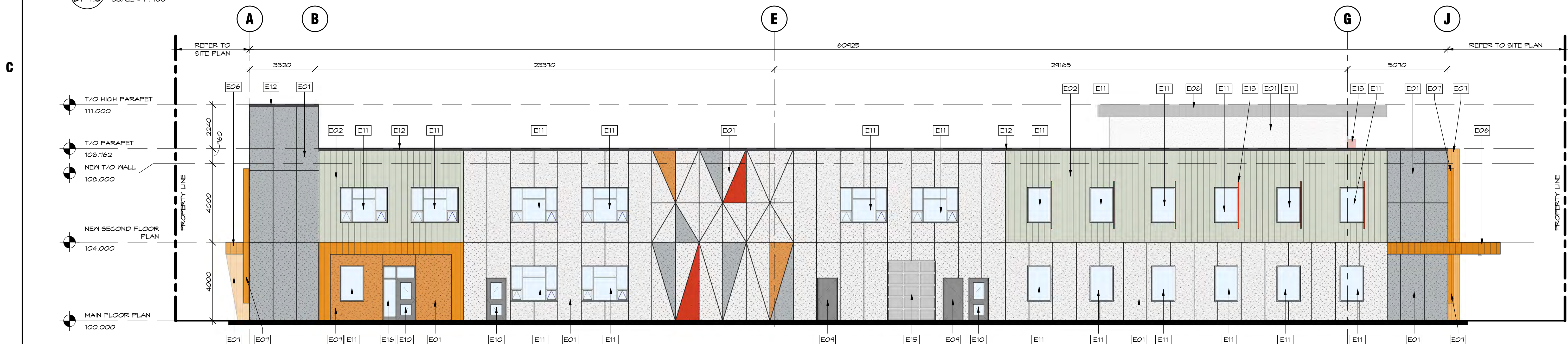
C

B

A



D1 ELEVATION A
DP4.0 SCALE = 1 : 100

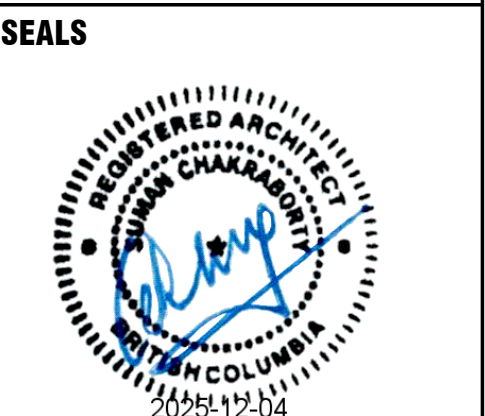


B1 ELEVATION B
DP4.0 SCALE = 1 : 100



A1 ELEVATION C
DP4.0 SCALE = 1 : 100

KEYNOTE LEGEND	
E01	EXPOSED PRECAST CONCRETE PANEL TO BE PAINTED C/W REVEAL LINES; COLOUR: CLOUD NINE, NETWORK GRAY, STORM WARNING, RED DOOR, OR MARIGOLD
E02	PRE-FINISHED METAL CLADDING; COLOUR: BONE WHITE
E03	STOREFRONT DOOR
E04	GLAZED ALUMINUM CURTAIN WALL
E05	CURTAIN WALL SPANDREL PANEL; COLOUR: GREY
E06	PRE-FINISHED METAL CLAD CANOPY
E07	PRE-FINISHED METAL CLAD EXTERIOR BUILDOUT; COLOUR: MARIGOLD
E08	PRE-FINISHED METAL CLAD EXTERIOR BUILDOUT; COLOUR: DEEP GRAY
E09	INSULATED PAINTED METAL EXTERIOR MAN DOOR; COLOUR: STORM WARNING
E10	INSULATED PAINTED METAL EXTERIOR MAN DOOR, WITH GLAZING; COLOUR: STORM WARNING
E11	ALUMINUM WINDOW
E12	PRE-FINISHED METAL CAP FLASHING; COLOUR: DEEP GRAY
E13	PRE-FINISHED METAL SUN SHADE PANELS; COLOUR: RED
E14	PRE-FINISHED POWDERCOATED ALUMINUM RAILING, WITH GLAZING; COLOUR: BLACK
E15	OVERHEAD DOOR
E16	STOREFRONT GLAZING
E17	EXTERIOR SIGNAGE



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KEY PLAN

REVISIONS + ISSUES	
YYYY MM DD	ISSUED FOR
2025/11/26	DP REVIEW
2025/12/04	DEVELOPMENT PERMIT

PROJECT TITLE
FLEX ACADEMY - ADDITION
905 Badke Rd
Kelowna, BC V1X 3Y5

DRAWING TITLE
EXTERIOR ELEVATIONS

SCALE: 1 : 100	DP4.0
DRAWN: TE	
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AUG '25 25-044	

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D

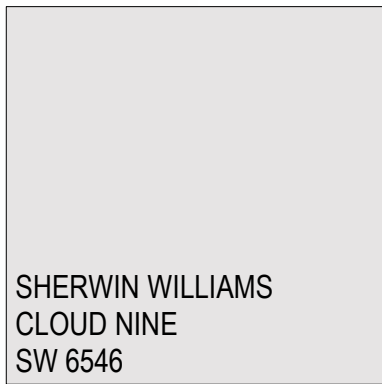
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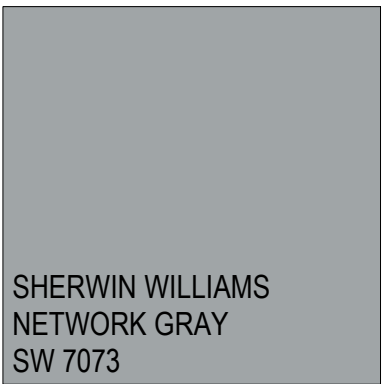


EXPOSED PRECAST CONCRETE WALLS



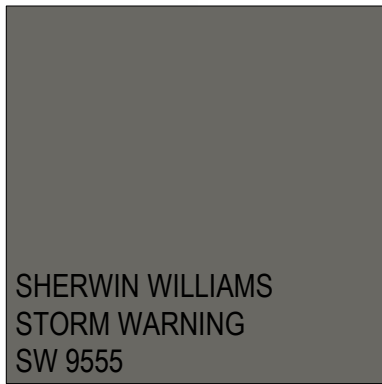
SHERWIN WILLIAMS
CLOUD NINE
SW 6546

EXTERIOR FIELD PAINT
*PRIMED PRECAST PANELS,
SITE-PAINTED SPECIFIED COLOUR



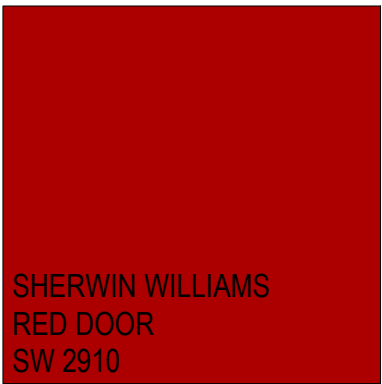
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NETWORK GRAY
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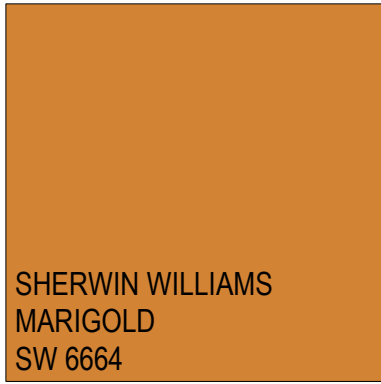
SHERWIN WILLIAMS
STORM WARNING
SW 9555

EXTERIOR ACCENT PAINT
*PRIMED PRECAST PANELS,
SITE-PAINTED SPECIFIED COLOUR



SHERWIN WILLIAMS
RED DOOR
SW 2910

EXTERIOR ACCENT PAINT
*PRIMED PRECAST PANELS,
SITE-PAINTED SPECIFIED COLOUR

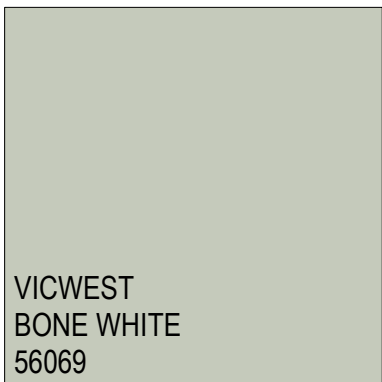


SHERWIN WILLIAMS
MARIGOLD
SW 6664

EXTERIOR ACCENT PAINT
*PRIMED PRECAST PANELS,
SITE-PAINTED SPECIFIED COLOUR

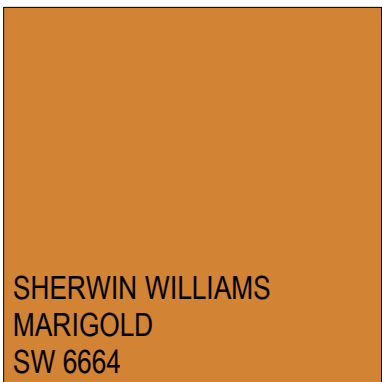


VICWEST AD300 METAL PANEL



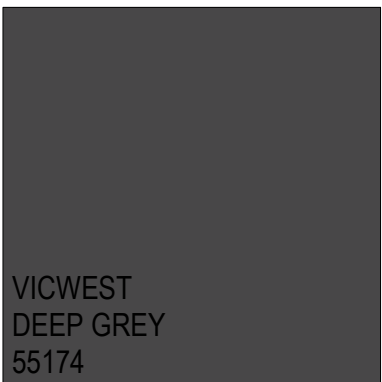
VICWEST
BONE WHITE
56069

UPPER EXTERIOR WALLS



SHERWIN WILLIAMS
MARIGOLD
SW 6664

EXTERIOR ENTRANCE BUILDOUTS
*PRIMED METAL PANELS,
SITE-PAINTED SPECIFIED COLOUR



VICWEST
DEEP GREY
55174

CAP FLASHING
HIGH PARAPET EXTERIOR BUILDOUT

KEYNOTE LEGEND

E01	EXPOSED PRECAST CONCRETE PANEL TO BE PAINTED C/W REVEAL LINES; COLOUR: CLOUD NINE, NETWORK GRAY, STORM WARNING, RED DOOR, OR MARIGOLD
E02	PRE-FINISHED METAL CLADDING; COLOUR: BONE WHITE
E04	GLAZED ALUMINUM CURTAIN WALL
E05	CURTAIN WALL SPANDREL PANEL; COLOUR: GREY
E07	PRE-FINISHED METAL GLAD EXTERIOR BUILDOUT; COLOUR: MARIGOLD
E08	PRE-FINISHED METAL GLAD EXTERIOR BUILDOUT; COLOUR: DEEP GRAY
E09	INSULATED PAINTED METAL EXTERIOR MAN DOOR; COLOUR: STORM WARNING
E10	INSULATED PAINTED METAL EXTERIOR MAN DOOR, WITH GLAZING; COLOUR: STORM WARNING
E11	ALUMINUM WINDOW
E12	PRE-FINISHED METAL CAP FLASHING; COLOUR: DEEP GRAY
E14	PRE-FINISHED POWDERCOATED ALUMINUM RAILING, WITH GLAZING; COLOUR: BLACK



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+associates

SEALS



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KEY PLAN

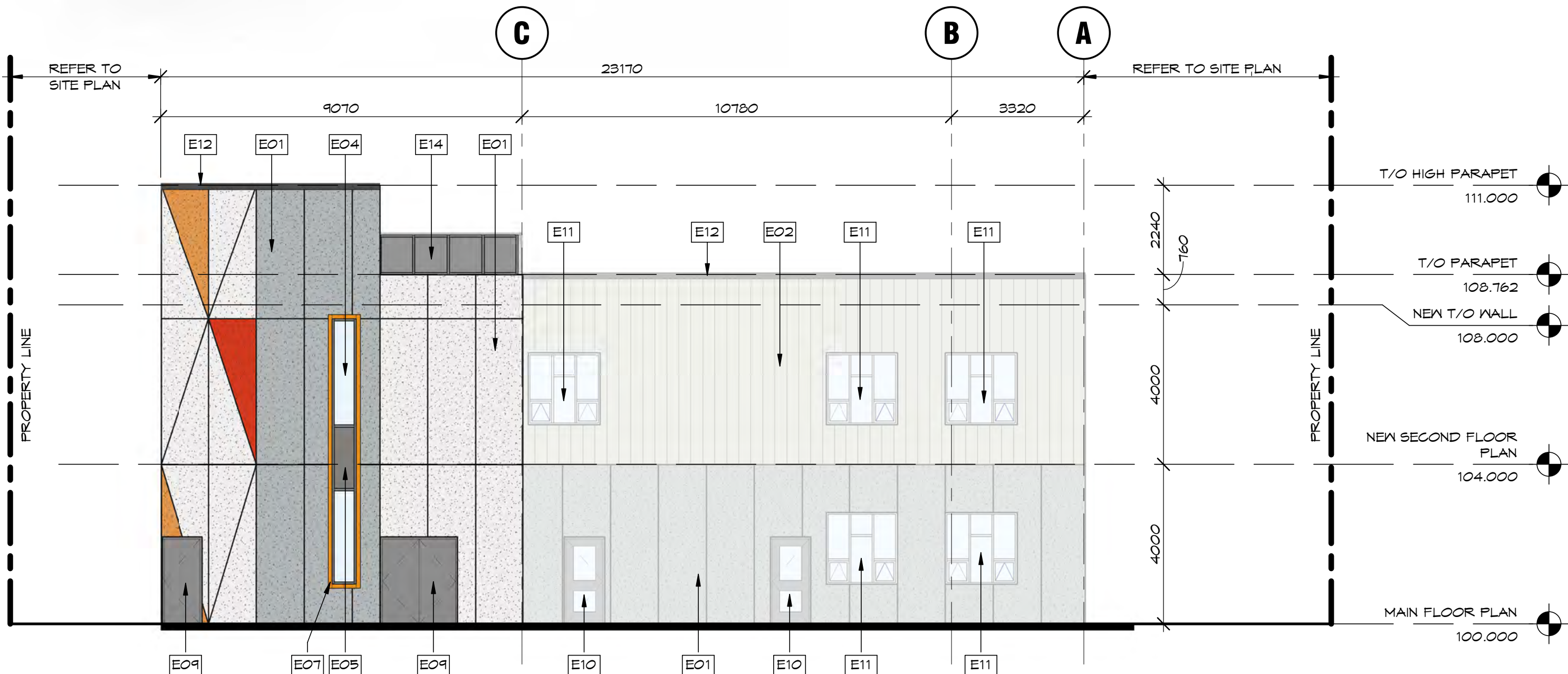
REVISIONS + ISSUES

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2025/11/26	DP REVIEW
2025/12/04	DEVELOPMENT PERMIT

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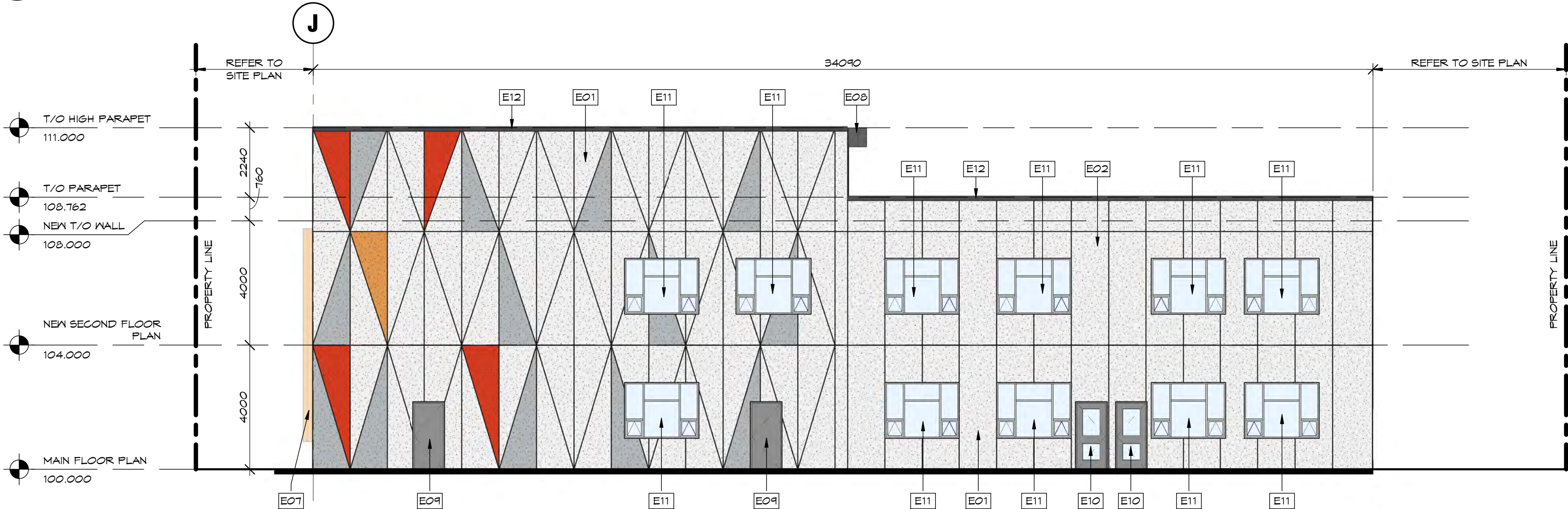
ELEVATION D

B1
DP4.1
SCALE = 1 : 100



ELEVATION E

A1
DP4.1
SCALE = 1 : 100



PROJECT TITLE
**FLEX ACADEMY -
ADDITION**
**905 Badke Rd
Kelowna, BC V1X 3Y5**

DRAWING TITLE
**EXTERIOR
ELEVATIONS**

SCALE: 1 : 100
DRAWN: TE
CHECKED: SC/DL
AUG '25
25-044

DP4.1

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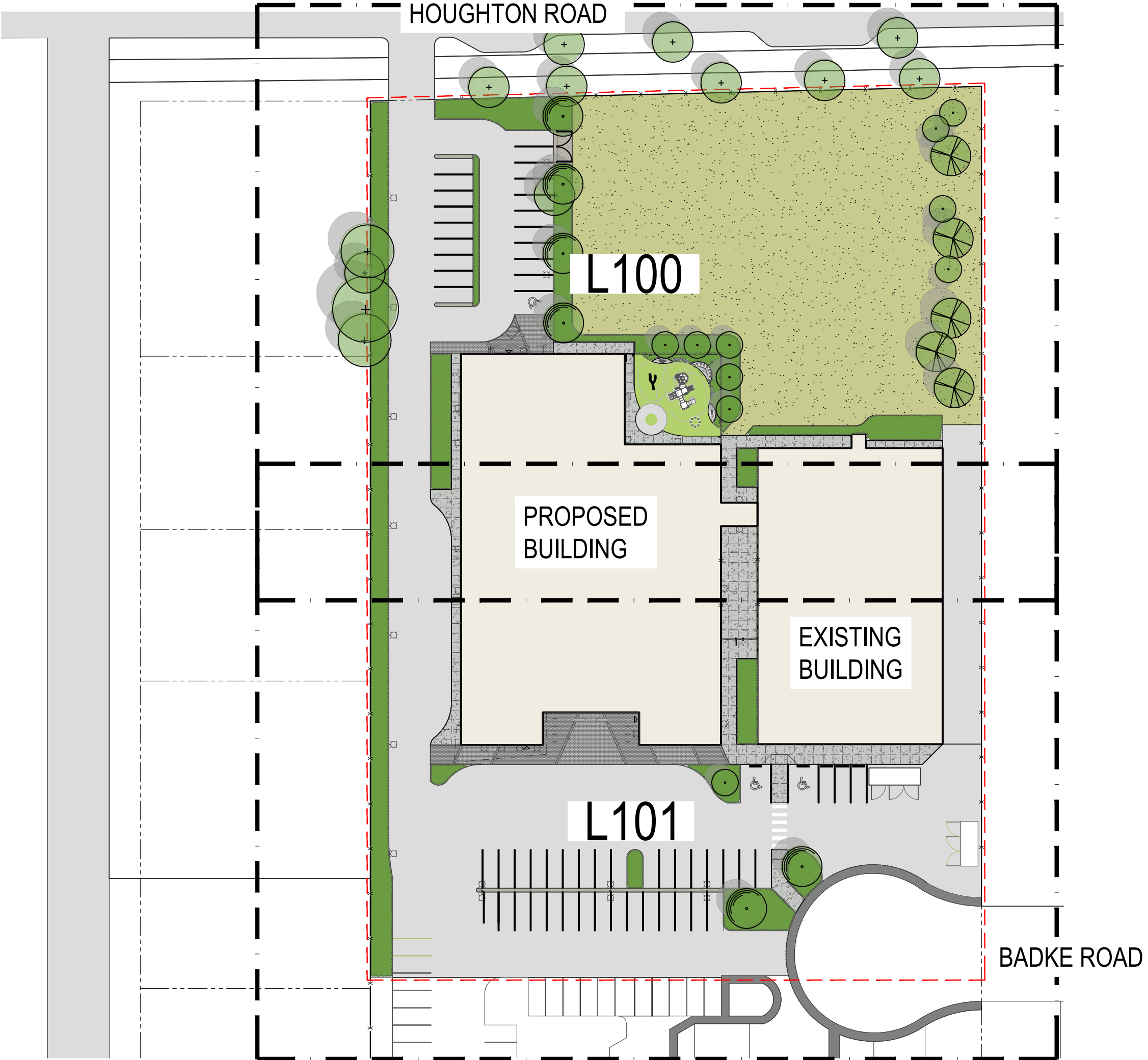
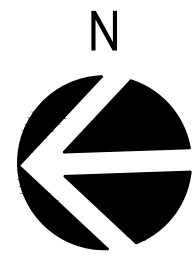


FLEX ACADEMY

905 BADKE ROAD, KELOWNA, BRITISH COLUMBIA

ISSUED FOR DEVELOPMENT PERMIT

WSP Project No: CA0055906.6371
Date: December 4, 2025



DRAWING SHEET NO.

- L-100
- L-101
- L-200
- L-201

DRAWING SHEET TITLE

- LANDSCAPE PLAN 1/2
- LANDSCAPE PLAN 2/2
- HYDROZONE PLAN 1/2
- HYDROZONE PLAN 2/2

We see the future more clearly and design for it today.



DATE: 2025-12-03 11:58 AM
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DEVELOPMENT PERMIT NOTES:

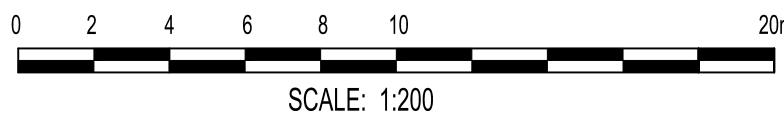
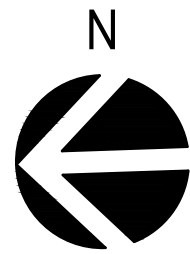
1. PLANT MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO MINIMUM STANDARDS ESTABLISHED IN THE CANADIAN LANDSCAPE STANDARD (CURRENT EDITION).
2. THE LANDSCAPE DESIGN DESIGNATED HEREIN IS CONCEPTUAL BUT REFLECTS THE MINIMUM ACCEPTABLE QUALITY AND SIZE.
3. PLANT MATERIAL SELECTIONS ARE CONCEPTUAL ONLY. FINAL PLANTING SELECTIONS MAY VARY DEPENDING UPON AVAILABILITY.
4. ALL PLANTING BEDS SHALL HAVE APPROVED MULCH.
5. ALL LANDSCAPE AREAS TO BE IRRIGATED WITH AN EFFICIENT AUTOMATIC IRRIGATION SYSTEM.
6. THIS DRAWING DEPICTS FORM AND CHARACTER AND IS TO BE USED FOR DEVELOPMENT PERMIT SUBMISSION ONLY. IT IS NOT INTENDED FOR USE AS A CONSTRUCTION DOCUMENT.
7. EXTENTS OF SOD TO BE REPLACED ON THE FIELD TO BE CONFIRMED.

LEGEND

- LIMIT OF WORK
- PROPERTY LINE
- BUILDING OUTLINE
- C.I.P. CONCRETE
- CRUSHED AGGREGATE
- ARTIFICIAL TURF
- LAWN
- ORNAMENTAL PLANTING
- BARK MULCH
- EXISTING TREE
- PROPOSED TREE
- ASPHALT - BY OTHERS
- 1.2M HIGH RAILING w/ GATE
- BENCH
- CONCRETE PAVER TYPE 1
- CONCRETE PAVER TYPE 2
- BIKE RACKS

PANT PALETTE

BOTANICAL NAME	COMMON NAME	SIZE	ROOT	MATURE PLANT SIZE (H X W)
TREES				
<i>Acer freemanii</i> 'Autumn Blaze'	AUTUMN BLAZE MAPLE	65mm Cal.	B&B	15.2m x 12.2m
<i>Gleditsia triacanthos</i>	THORNLESS HONEY LOCUST	65mm Cal.	B&B	15.0m x 15.0m
<i>Syringa reticulata</i>	JAPANESE TREE LILAC	40mm Cal.	B&B	9.20m x 6.10m
GRASSES / PERRENIALS / SHRUBS				
<i>Berberis thunbergii</i> 'Monomb'	CHERRY BOMB BARBERRY	#02	POTTED	0.90m x 0.90m
<i>Berberis thunbergii</i> 'Sunsation'	SUNSATON BARBERRY	#02	POTTED	1.20m x 0.90m
<i>Ceanothus velutinus</i>	SNOWBRUSH	#05	POTTED	1.80m x 1.80m
<i>Cornus sericea</i> 'Kelsey'	REDTWIG DOGWOOD	#02	POTTED	0.90m x 0.90m
<i>Echinacea purpurea</i>	PURPLE CONEFLOWER	#02	POTTED	1.50m x 0.60m
<i>Euonymus alatus</i> 'Compacta'	FIRE BALL BURNING BUSH	#02	POTTED	1.80m x 1.80m
<i>Helictotrichon sempervirens</i>	BLUE OAT GRASS	#02	POTTED	1.50m x 0.60m
<i>Lavandula angustifolia</i>	ENGLISH LAVENDAR	#05	POTTED	0.90m x 0.90m
<i>Pennisetum orientale</i> 'Karley Rose'	KARLEY ROSE FOUNTAIN GRASS	#02	POTTED	0.90m x 0.90m
<i>Rosa rugosa</i> 'Hansa'	HANSA RUGOSA ROSE	#02	POTTED	0.90m x 1.20m
<i>Rudbeckia hirta</i>	BLACK-EYED SUSAN	#05	POTTED	0.90m x 0.60m
<i>Sedum 'Herbstfreude'</i>	SEDUM AUTUMN JOY	#02	POTTED	0.60m x 0.60m
<i>Spirea betulifolia</i> 'Tor'	BIRCHLEAF SPIREA	#02	POTTED	0.90m x 0.90m



SCALE: 1:200

ISSUE:				REVISION:			
REV	DATE	DESCRIPTION	BY	REV	DATE	DESCRIPTION	BY
OB	2025-12-04	ISSUED FOR DEVELOPMENT PERMIT	JP				
OA	2025-11-19	ISSUED FOR DEVELOPMENT PERMIT	JP				

SEAL:

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ORIGINAL SCALE: 1:200

APPROVED BY: RF

CHECKED BY: GS

DRAWN BY (OPTIONAL): JP

DATE: 2025-06-20

IF THIS BAR IS NOT 25mm LONG, ADJUST YOUR PLOTTING SCALE.

25mm

DISCIPLINE: LANDSCAPE

WSP Canada Inc.

Suite 700, 1631 Dickson Avenue, Kelowna, B.C. V1Y 0B5

T 250-980-5500 | www.wsp.com

PROJECT NUMBER: XXX-XXXX-XX

CLIENT: STRETCH CONSTRUCTION

CLIENT REF. #: --

TITLE: LANDSCAPE PLAN

PROJECT: FLEX ACADEMY

DRAWING NUMBER: L100

REV: 0B

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DEVELOPMENT PERMIT NOTES:

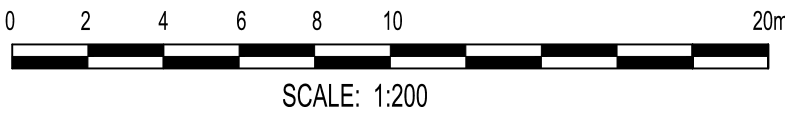
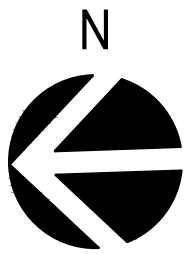
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LEGEND

- LIMIT OF WORK
- PROPERTY LINE
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- C.I.P. CONCRETE
- CRUSHED AGGREGATE
- ARTIFICIAL TURF
- LAWN
- ORNAMENTAL PLANTING
- BARK MULCH
- EXISTING TREE
- PROPOSED TREE
- ASPHALT - BY OTHERS
- 1.2M HIGH RAILING w/ GATE
- BENCH
- CONCRETE PAVER TYPE 1
- CONCRETE PAVER TYPE 2
- BIKE RACKS

PANT PALETTE

BOTANICAL NAME	COMMON NAME	SIZE	ROOT	MATURE PLANT SIZE (H X W)
TREES				
<i>Acer freemanii</i> 'Autumn Blaze'	AUTUMN BLAZE MAPLE	65mm Cal.	B&B	15.2m x 12.2m
<i>Gleditsia triacanthos</i>	THORNLESS HONEY LOCUST	65mm Cal.	B&B	15.0m x 15.0m
<i>Syringa reticulata</i>	JAPANESE TREE LILAC	40mm Cal.	B&B	9.20m x 6.10m
GRASSES / PERRENIALS / SHRUBS				
<i>Berberis thunbergii</i> 'Monomb'	CHERRY BOMB BARBERRY	#02	POTTED	0.90m x 0.90m
<i>Berberis thunbergii</i> 'Sunsation'	SUNSATON BARBERRY	#02	POTTED	1.20m x 0.90m
<i>Ceanothus velutinus</i>	SNOWBRUSH	#05	POTTED	1.80m x 1.80m
<i>Cornus sericea</i> 'Kelsey'	REDTWIG DOGWOOD	#02	POTTED	0.90m x 0.90m
<i>Echinacea purpurea</i>	PURPLE CONEFLOWER	#02	POTTED	1.50m x 0.60m
<i>Euonymus alatus</i> 'Compacta'	FIRE BALL BURNING BUSH	#02	POTTED	1.80m x 1.80m
<i>Helictotrichon sempervirens</i>	BLUE OAT GRASS	#02	POTTED	1.50m x 0.60m
<i>Lavandula angustifolia</i>	ENGLISH LAVENDAR	#05	POTTED	0.90m x 0.90m
<i>Pennisetum orientale</i> 'Karley Rose'	KARLEY ROSE FOUNTAIN GRASS	#02	POTTED	0.90m x 0.90m
<i>Rosa rugosa</i> 'Hansa'	HANSA RUGOSA ROSE	#02	POTTED	0.90m x 1.20m
<i>Rudbeckia hirta</i>	BLACK-EYED SUSAN	#05	POTTED	0.90m x 0.60m
<i>Sedum 'Herbstfreude'</i>	SEDUM AUTUMN JOY	#02	POTTED	0.60m x 0.60m
<i>Spirea betulifolia</i> 'Tor'	BIRCHLEAF SPIREA	#02	POTTED	0.90m x 0.90m



ISSUE:				REVISION:			
REV	DATE	DESCRIPTION	BY	REV	DATE	DESCRIPTION	BY
0B	2025-12-04	ISSUED FOR DEVELOPMENT PERMIT	JP				
0A	2025-11-19	ISSUED FOR DEVELOPMENT PERMIT	JP				

SEAL:

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ORIGINAL SCALE:
1:200

APPROVED BY:
RF

CHECKED BY:
GS

DRAWN BY (OPTIONAL):
JP

DATE:
2025-06-20

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WSP Canada Inc.
Suite 700, 1631 Dickson Avenue, Kelowna, B.C. V1Y 0B5
T 250-980-5500 | www.wsp.com

PROJECT NUMBER: XXX-XXXXX-XX

CLIENT: STRETCH CONSTRUCTION

CLIENT REF. #: --

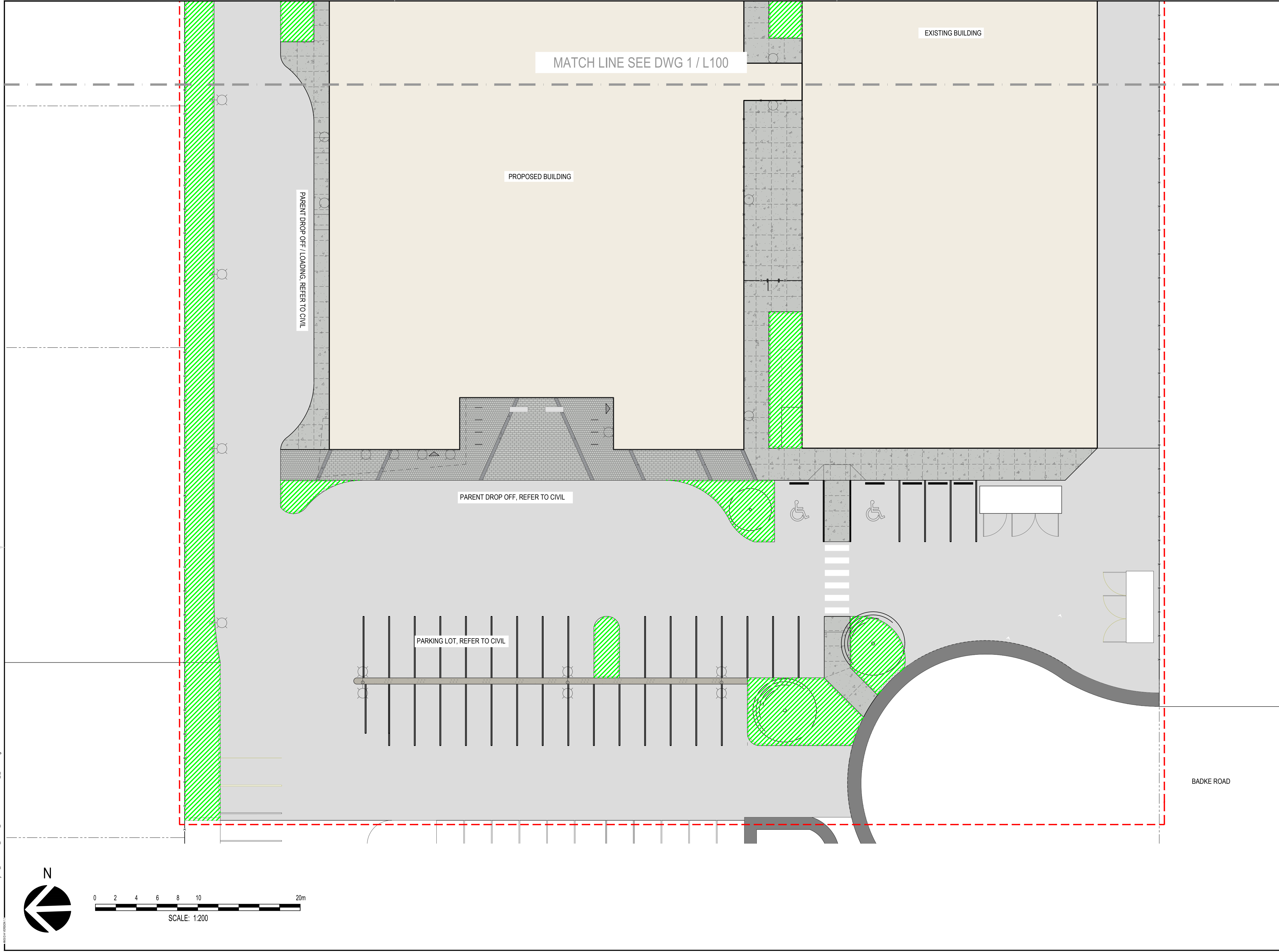
TITLE: LANDSCAPE PLAN

PROJECT: FLEX ACADEMY

DRAWING NUMBER: L101

REV: 0B

DATE: 2025-12-03 11:59 AM
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C:\Users\user\OneDrive\Documents\2025\05906.6371 - flex academy\05_technical\3_cadd\1_base\202506.6371_L_dwg.dwg



DEVELOPMENT PERMIT NOTES:

1. PLANT MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO MINIMUM STANDARDS ESTABLISHED IN THE CANADIAN LANDSCAPE STANDARD (CURRENT EDITION).
2. THE LANDSCAPE DESIGN DESIGNATED HEREIN IS CONCEPTUAL BUT REFLECTS THE MINIMUM ACCEPTABLE QUALITY AND SIZE.
3. PLANT MATERIAL SELECTIONS ARE CONCEPTUAL ONLY. FINAL PLANTING SELECTIONS MAY VARY DEPENDING UPON AVAILABILITY.
4. ALL PLANTING BEDS SHALL HAVE APPROVED MULCH.
5. ALL LANDSCAPE AREAS TO BE IRRIGATED WITH AN EFFICIENT AUTOMATIC IRRIGATION SYSTEM.
6. THIS DRAWING DEPICTS FORM AND CHARACTER AND IS TO BE USED FOR DEVELOPMENT PERMIT SUBMISSION ONLY. IT IS NOT INTENDED FOR USE AS A CONSTRUCTION DOCUMENT.
7. EXTENTS OF SOD TO BE REPLACED ON THE FIELD TO BE CONFIRMED.

LEGEND

- LIMIT OF WORK
- PROPERTY LINE
- BUILDING OUTLINE
- LOW
- MEDIUM
- HIGH

ISSUE:			REVISION:		
REV	DATE	DESCRIPTION	BY	REV	DATE
OB	2025-12-04	ISSUED FOR DEVELOPMENT PERMIT	JP		
OA	2025-11-19	ISSUED FOR DEVELOPMENT PERMIT	JP		

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ORIGINAL SCALE:

1:200

APPROVED BY:

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GS

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PROJECT NUMBER: XXX-XXXX-XX

CLIENT:

STRETCH CONSTRUCTION

CLIENT REF. #: --

TITLE:

HYDROZONE PLAN

PROJECT:

FLEX ACADEMY

DRAWING NUMBER:

L201

REV:

0B