
September 10th, 2024

Our File: 23011

City of Kelowna
1435 Water St,
Kelowna, BC V1Y 1J4

Attention: Alex Kondor, Planner Specialist, City of Kelowna

Dear Mr. Kondor,

Re: Development Permit for property located at 1521 Union Road (Wilden Market Square)

This development proposal will adhere to the requirements of the CA1 zone as described in the City of Kelowna Zoning Bylaw No. 12375.

Project Description

We are excited to present the project description for Wilden Market Square, a vibrant mixed-use multi-unit development nestled in the heart of Kelowna, BC. Comprising two distinct phases, this visionary project encompasses nine buildings elegantly positioned atop a convenient parkade podium.

Our proposal envisions a dynamic blend of commercial spaces, townhomes, and multi-family residential units, creating a diverse and engaging community hub. At its core, Wilden Market Square boasts a prominent street-level entrance, inviting residents and visitors alike to explore its offerings. Phase 1 of the development is poised to introduce three meticulously designed townhouse buildings, each comprising of ground level 1-bedroom suites with 3-bedroom units located on the 2nd and 3rd floors. Phase 1 also consists of two multi-family residential buildings sitting on-top of a parkade podium. Both residential buildings will feature vibrant commercial spaces on the ground floor, enhancing the area with shops, cafes, and services that cater to the community and visitors alike, fostering a lively and engaging streetscape from the outset. This initial phase sets the tone for the project's commitment to quality craftsmanship, thoughtful design, and seamless integration with the surrounding neighborhood.

With ground-oriented units fostering a strong connection to the community, Wilden Market Square promises to be more than just a development—it's a destination where residents can live, work, and thrive in harmony with their environment. We eagerly anticipate the opportunity to bring this vision to life and contribute to the continued growth and prosperity of Kelowna.

Design Rationale

We are pleased to present an evolved design rationale for the 1521 Union Road (Wilden Market Square) Project, aligning its purpose with the objectives of the City of Kelowna. This project's suitability within the CA1 zone remains evident due to its strategic residential context, accessibility, and its potential to serve as a keystone in the city's future growth strategy. Situated in a well-established neighborhood, this location is poised to become a hub of community interaction and commerce, making it an ideal

candidate for increased density and aligning seamlessly with Kelowna's sustainability goals and long-term vision.

In keeping with the Official Community Plan (OCP), our proposed unit mix includes 10% 3-bedroom units, thoughtfully catering to larger families and diverse household demographics, all while maintaining the project's density and economic viability. Our design philosophy extends beyond architecture; it is about creating a sense of place that enhances the neighborhood's identity. By incorporating a diverse palette of materials such as stone, Hardie, and cementitious siding, the project is designed to offer an inviting and pedestrian-friendly streetscape enriched with lush landscaping. Ground-oriented units at the entrance promote community interaction, fostering a welcoming and visually harmonious environment.

Phase 2 of Wilden Market Square will further elevate this vibrant community with the introduction of a state-of-the-art recreation facility featuring a community pool, gym, and spaces for outdoor activities such as skating. This phase will also bring additional commercial spaces, expanding upon the offerings established in Phase 1, and creating a seamless extension of vibrant retail and dining options that further enrich the community experience. These amenities, combined with outdoor markets, restaurants, and commercial spaces on the ground floor, will transform this development into a true destination. The square will not only serve as a commercial and social hub for the Wilden area but will also cater to over 200 residents, enhancing the lifestyle and convenience for the entire community.

To support the residents and visitors alike, the project includes visitor parking, accessible bike storage and wash stations, mailbox facilities, and innovative waste recycling strategies. The inclusion of these amenities reflects our commitment to sustainability and convenience, embodying our vision for an accessible, active, and connected residential community.

Our approach continues to prioritize a harmonious blend of community-centric design, innovative amenities, and sustainable functionality. This project encapsulates our commitment to enhancing community life and contributing to Kelowna's fabric with thoughtful design and purpose. We believe this proposal not only meets but exceeds the city's standards, contributing positively to Kelowna's vision for sustainable and vibrant urban development.

As per our Pre-Application meeting, we have determined that a Text-Amendment would be needed. Therefore, we are applying for a Text-Amendment to accommodate additional height up to 6 stories. Apart from this, we are seeking no variances, as we are confident that the development has been meticulously designed for the site and its context. We welcome further discussions and are prepared to provide any additional information required. We trust that our application will be found in good order and look forward to the opportunity to bring this transformative project to life.

Kind Regards,

NOvation Architecture Ltd.

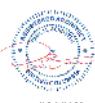


Paul M. Schuster, Architect
AIBC, CAB, MRAIC and NCARB Certified

(250) 718 - 1302
paul@novationarchitecture.com

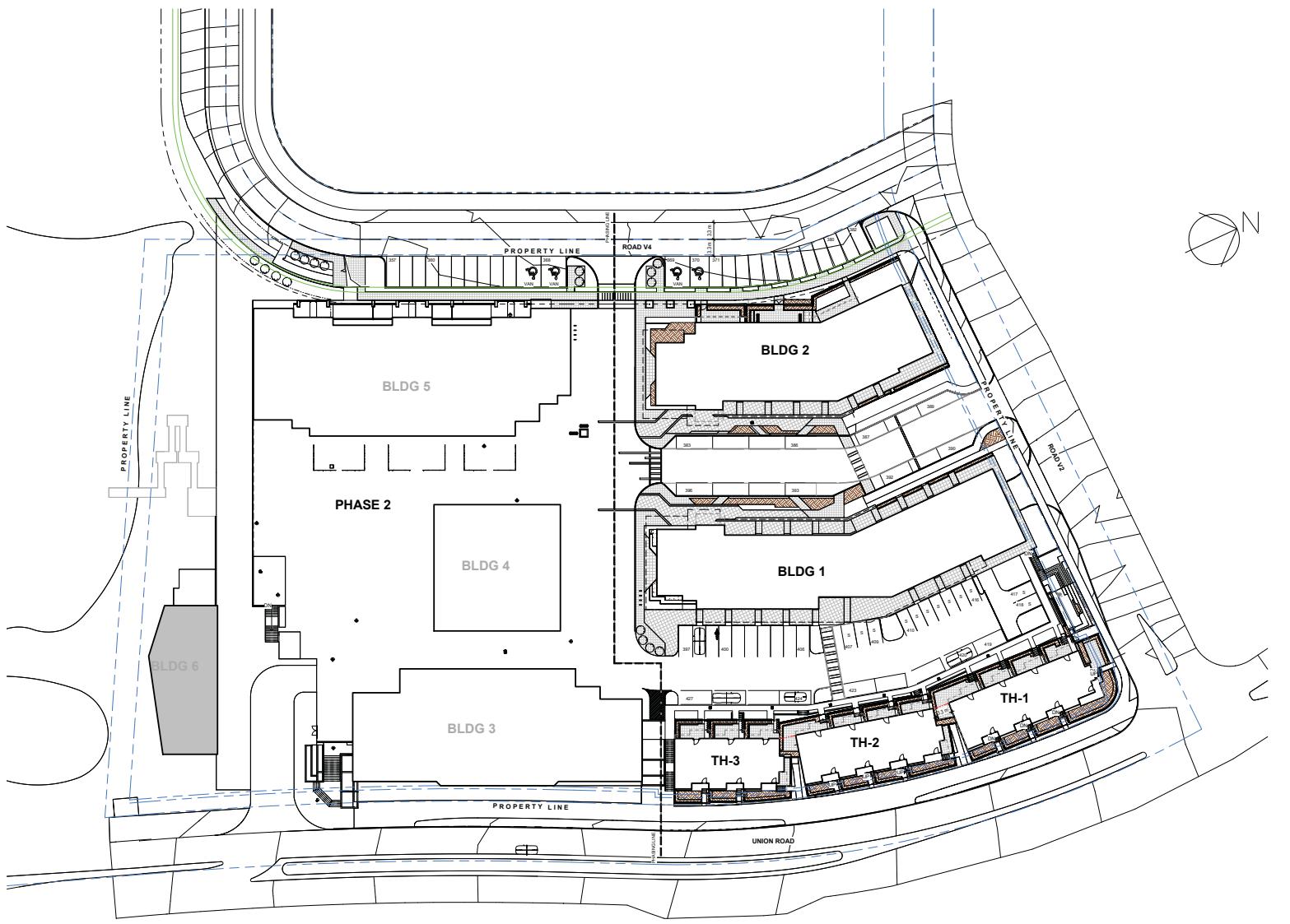
Paul M. Schuster – Architect AIBC, CAB, MRAIC, and NCARB Certified

• 302 – 2237 Leckie Rd. • Kelowna, BC • V1X 6Y5 | www.novationarchitecture.com | paul@novationarchitecture.com | (236) 420 – 4144 •



(FDI) DRAWING ID: **WILDEN MARKET SQUARE**

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SITE PLAN - OVERALL
SCALE: 1:100

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ARCHITECTURE LTD
302 - 2227 LICKIE ROAD
ELLOWHWA BC V1X 4Y5

project title: WILDEN MARKET SQUARE

Address: Kelowna, British Columbia

project no.: 23011

drawing title: SITE PLAN - OVERALL

designed: PS scale: 1:100

drawn: PS

checked: PS

drawing no.: A0.10.DP

dated: 9/10/2010 8:30:20 AM

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2024-08-09

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 ARCHITECTURE LTD.
 302 - 2227 LECIE ROAD
 ELLOWNA BC V1X 4Y5
 project title
WILDEN MARKET SQUARE

Address: Kelowna, British Columbia
 project no. 23011

drawing no.
ENLARGED PARKADE PLAN
 PHASE 1 - Q1

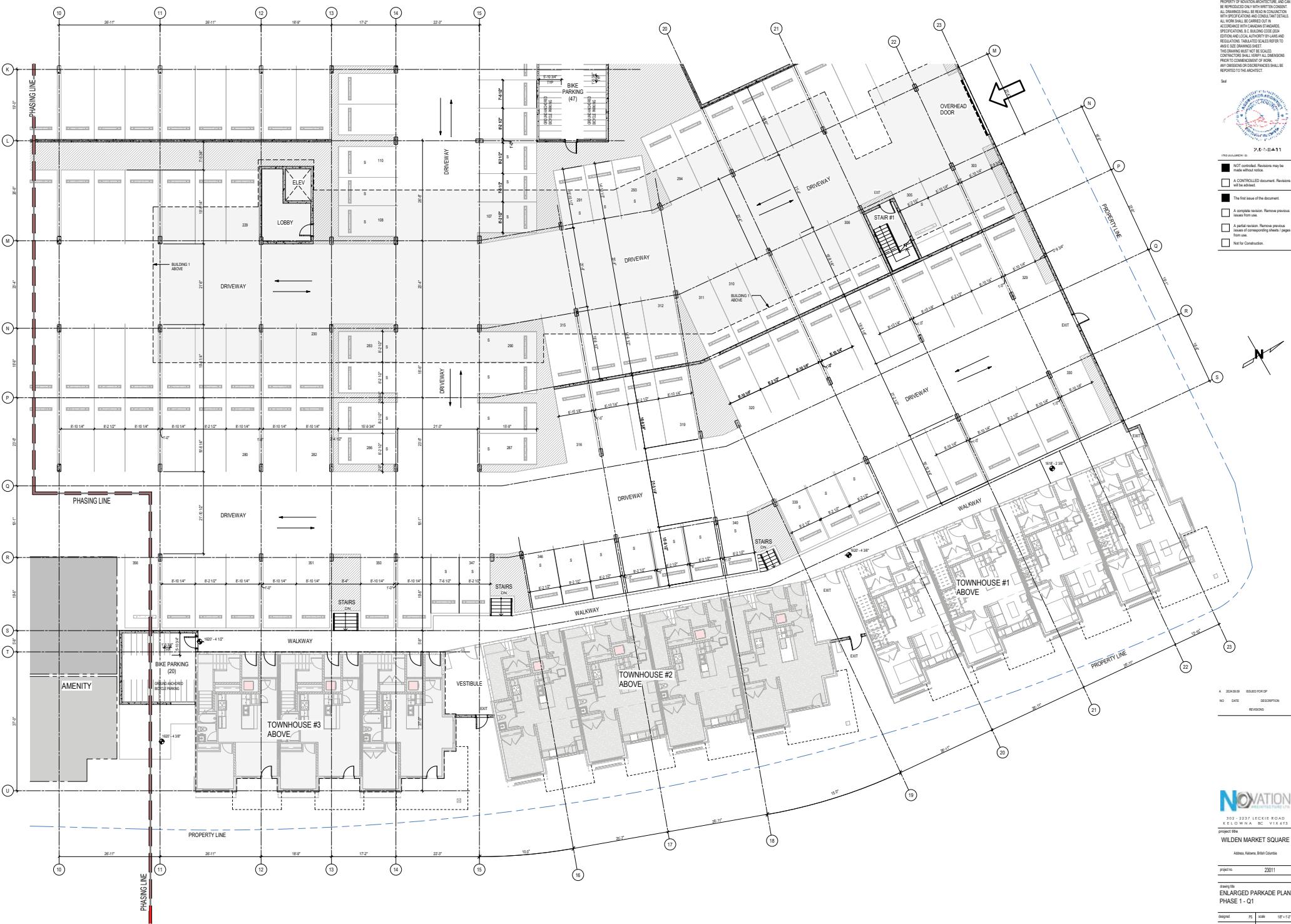
designed by P.E. scale 1'0" x 1'0"
 drawn by P.E.
 checked by P.E.
 drawing no.

A 0.12.DP

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ENLARGED PARKADE PLAN PHASE 1 - Q1

Scale: 1'0" x 1'0"



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PHASE 1

The figure is an architectural site plan for Phase 1. It shows a main building footprint with multiple levels and sections labeled A through L along the left vertical axis. The building contains several rooms and areas, including:

- LOBBY**: Located on level G, featuring an accessible entrance and an ELEVATOR.
- ELECTRICAL ROOM**: Located on level K.
- MECHANICAL ROOM**: Located on level K.
- BIKE PARKING (45)**: Located on level G.
- BIKE PARKING (47)**: Located on level K.
- STAIR #2**: Located on level K.
- OVERHEAD DOOR**: Located on level K.
- NO PARKING**: A shaded area on level K.

Exterior features include:

- DRIVEWAYS**: Multiple driveway areas are indicated with arrows pointing into the building's parking spaces.
- PROPERTY LINE**: Shown as dashed blue lines at the top and bottom of the site.
- PHASING LINE**: Indicated by red lines and labels (A, B, C, D, E, F, G, H, I, J, K, L) along the left side.
- FD**: Fire Department access points are marked with squares.
- OVERHEAD DOOR**: Located on the right side of the building.
- OVERHEAD DOOR**: Located on the right side of the building.

Dimensions and coordinates are provided for various points and sections of the building footprint.

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**INNOVATION
ARCHITECTURE LTD.**
2 - 2237 LECKIE ROAD
LOWNA BC V1X 6Y5

DEN MARKET SQUARE

23011

SEARCHED PARADE PLAN
SE 1 - Q2

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ENLARGED PARKADE FOOR PLAN - PHASE 1 - Q2

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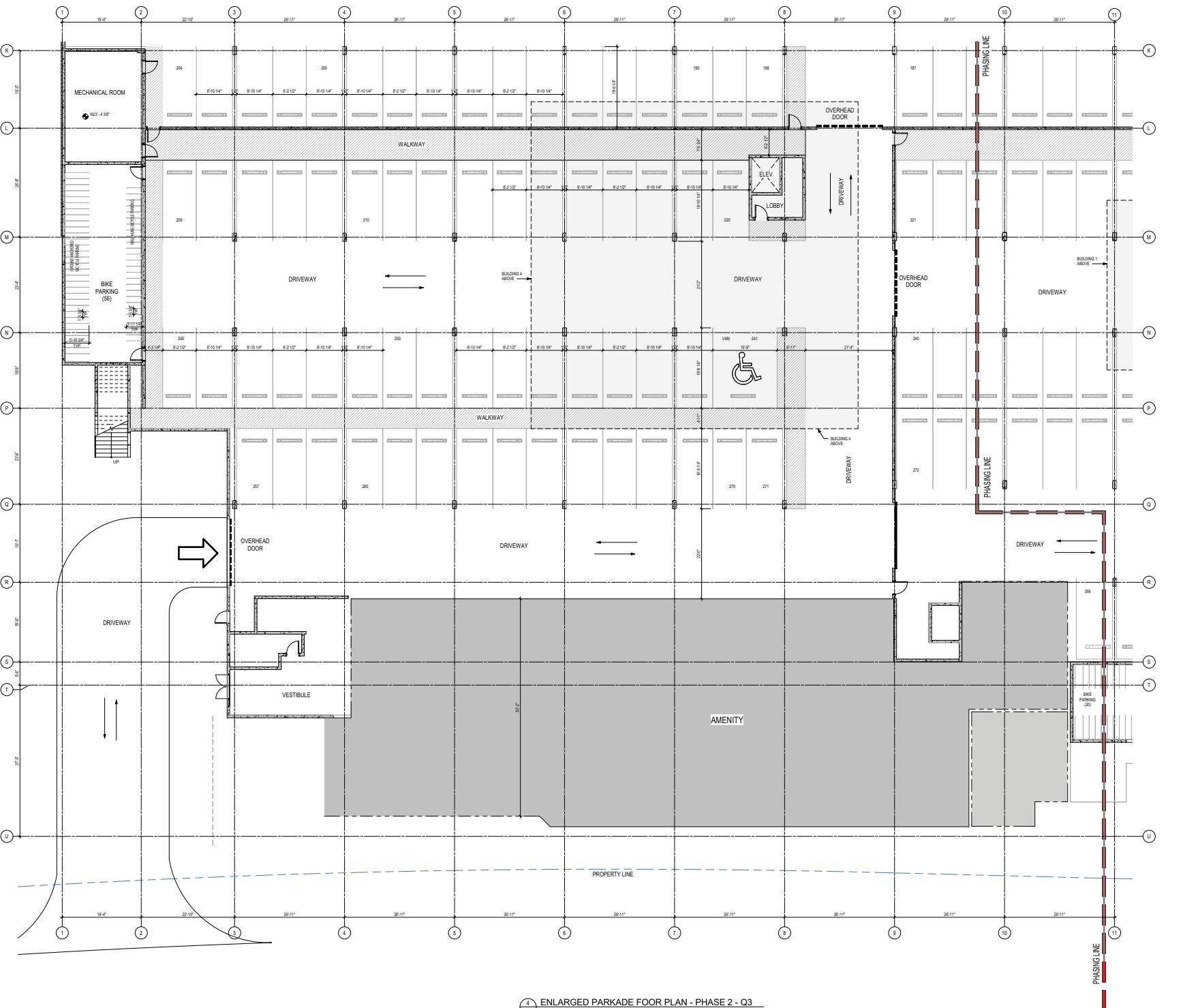
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PHASE 1

PHASE 2



ENLARGED PARKADE FLOOR PLAN - PHASE 2 - Q3

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NOVATION
 ARCHITECTURE LTD.

302-2227 LICKIE ROAD

KELowna BC V1X 4Y5

Project Site:

WILDEN MARKET SQUARE

Address: Kelowna, British Columbia

Project No.:

202011

Drawing No.:

ENLARGED PARKADE PLAN

PHASE 2 - Q3

Sheet No.:

P1

Scale:

18' 0" x 1'-0"

Drawn by:

P1

Checked by:

P1

Supervised by:

P1

Date:

9/2024 12:00 PM

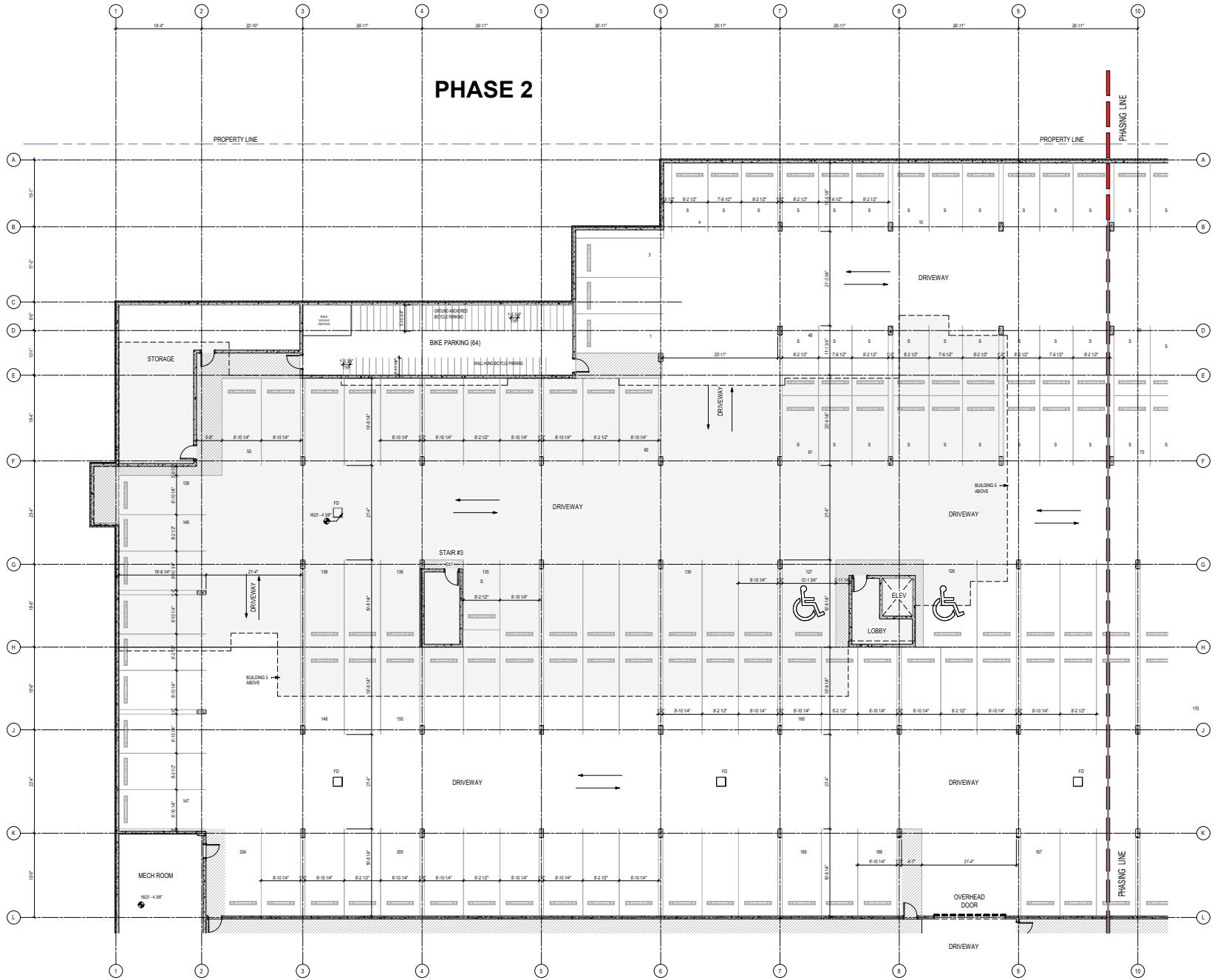
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PHASE 2



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302 - 2227 LICKIE ROAD
 EELOWNAU, BC V1X 4X5

project title

WILDEN MARKET SQUARE

Address: Kelowna, British Columbia

project no.

23011

drawing no.

ENLARGED PARKADE PLAN

PHASE 2 - Q4

sheet no.

P1

scale

10' = 1'

drawn by

A 0.15.DP

checked by

P1

designed by

P1

dated

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Q4

Q2

PHASE 2

PHASE 1

Q3

Q1

PARKADE LEVEL FLOOR PLAN - OVERALL
 Scale: 1/8" = 1'-0"

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 302-2227 LICKIE ROAD
 ELLOWNA BC V1X 4Y5

project title:

WILDEN MARKET SQUARE

Address: Kelowna, British Columbia

project no.: 23011

drawing title:

PARKADE FLOOR PLAN -

OVERALL

designed: PS

drawn: PS

checked: PS

designed:

checked:

dated:

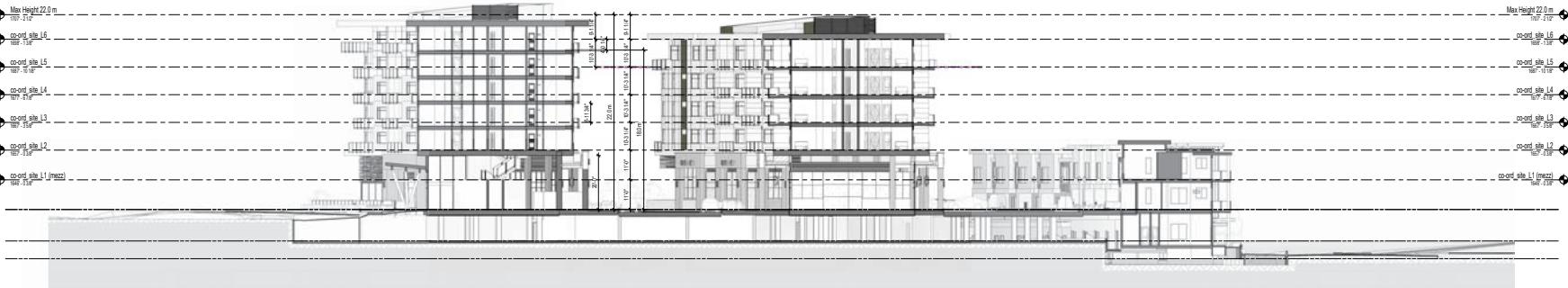
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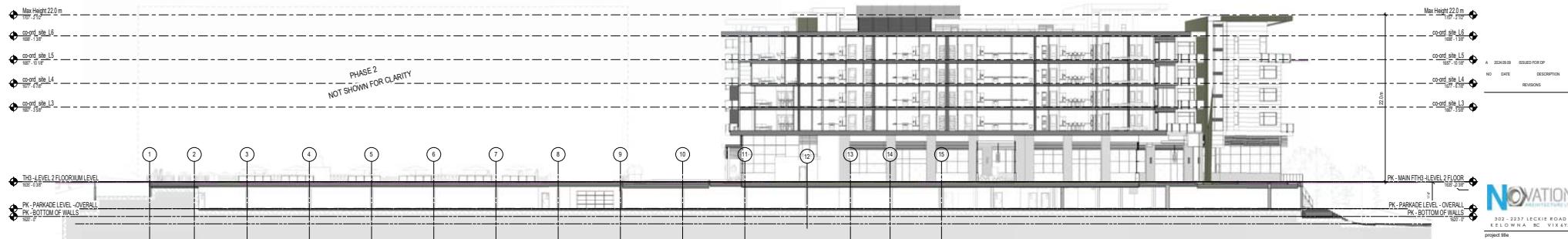


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SITE SECTION A
SCALE: 118'-0" x 17'



SITE SECTION B
SCALE: 118'-0" x 17'

NOVATION
ARCHITECTURE LTD.
302 - 2227 LICKIE ROAD
ELKOWA BC V1X 4Y5

project title: WILDEN MARKET SQUARE

Address: Kelowna British Columbia

project no.: 23011

drawing title: SITE SECTIONS

designed:	PS	scale:	118'-0" x 17'
drawn:	WC		
checked:	PS		
drawing no.:	A030.DP		
dated:	9/20/2011		

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ARCHITECTURE LTD.
302 - 2237 LICKIE ROAD
ELLOWWA BC V1X 4Y5
project title: WILDEN MARKET SQUARE
Address: Kelowna British Columbia

project no.: 23011

drawing title: OVERALL ISOMETRIC

designed: Designer: Scale:
drawn: Author:
checked: Checker:
drawing no.: A0.40.DP

Project File Name and Location: Autodesk Docs\Wilden Market Square-SITE_Wilden.rvt

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302 - 2237 LICKIE ROAD
ELLOWHWA BC V1X 4Y5
project title
WILDEN MARKET SQUARE

Address: Kelowna British Columbia

project no. 23011

drawing title
OVERALL ISOMETRIC

designed Designer Scale

drawn Author

checked Checker

drawings

dated 2014-01-11

filed 950244310794

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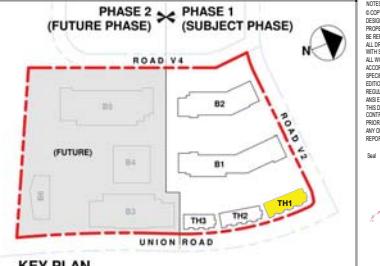
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PHASE 2 X PHASE 1
(FUTURE PHASE) (SUBJECT PHASE)



ROAD V2

ROAD V2

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302 - 2227 LICKIE ROAD

KELownA BC V1X 4Y5

project title

WILDEN MARKET SQUARE

Address: Kelowna British Columbia

project no.

23011

drawing title

TH 1 - LEVEL 1 & 2 FLOOR PLAN

designed

PJ

scale

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drawn

PJ

checked

PJ

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Project File Name and Location: Autocad Docs\Wilden Market Square\TH1_Wilden.rvt

950204 120317

TH 1 - LEVEL 1 FLOOR PLAN

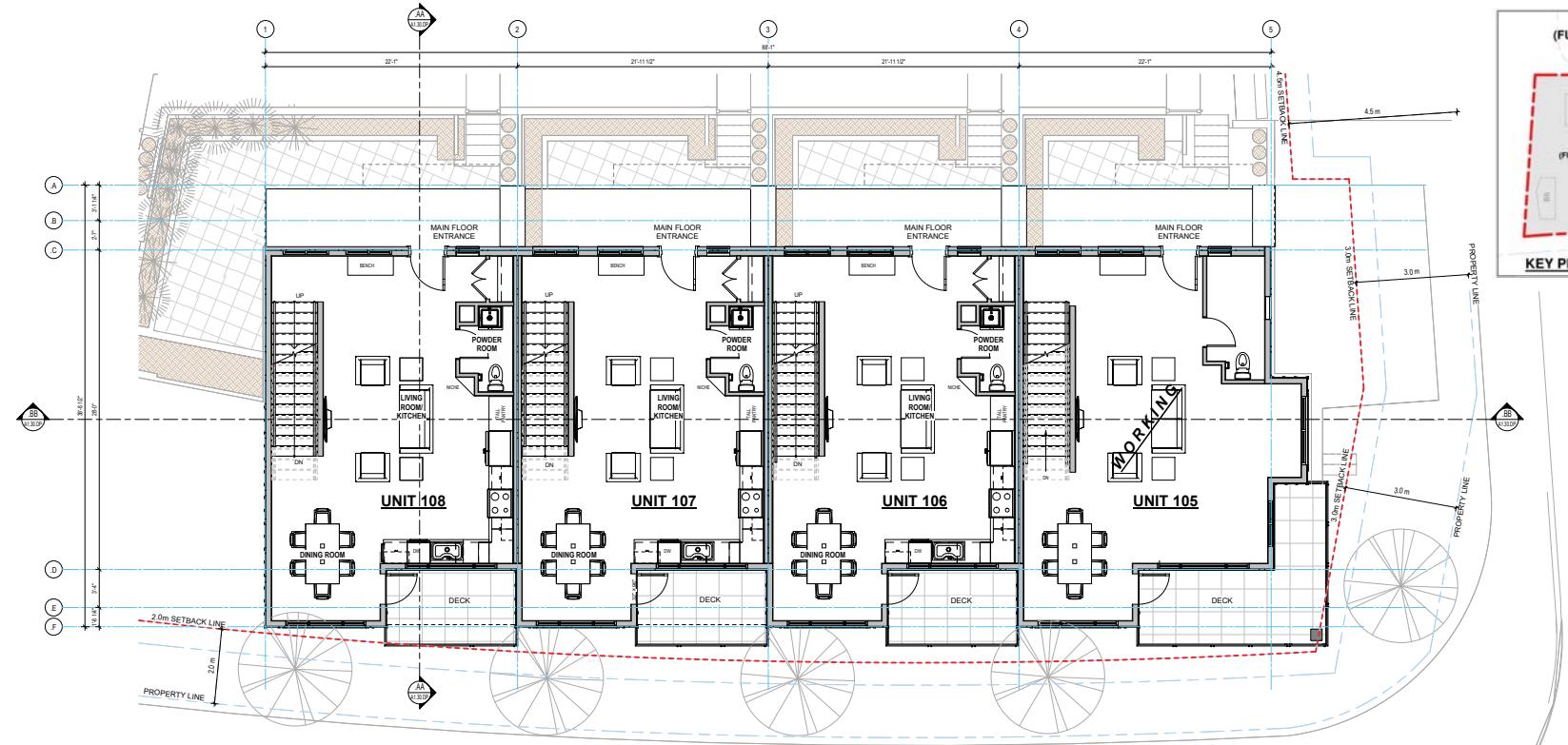
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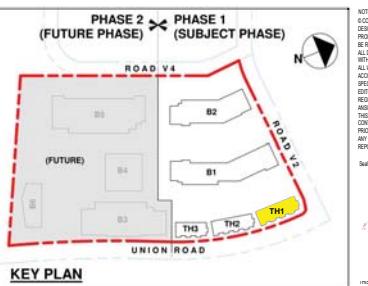
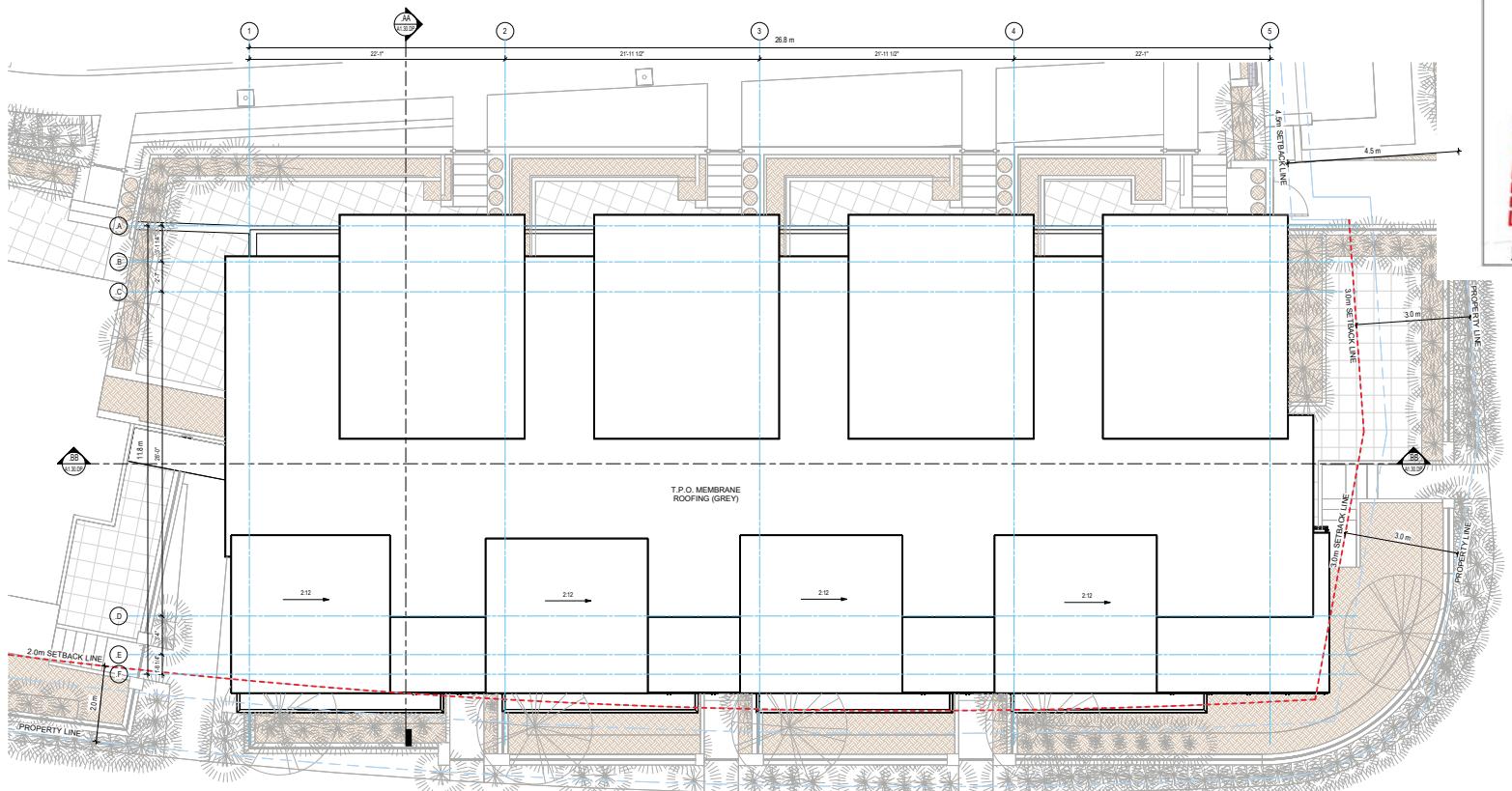
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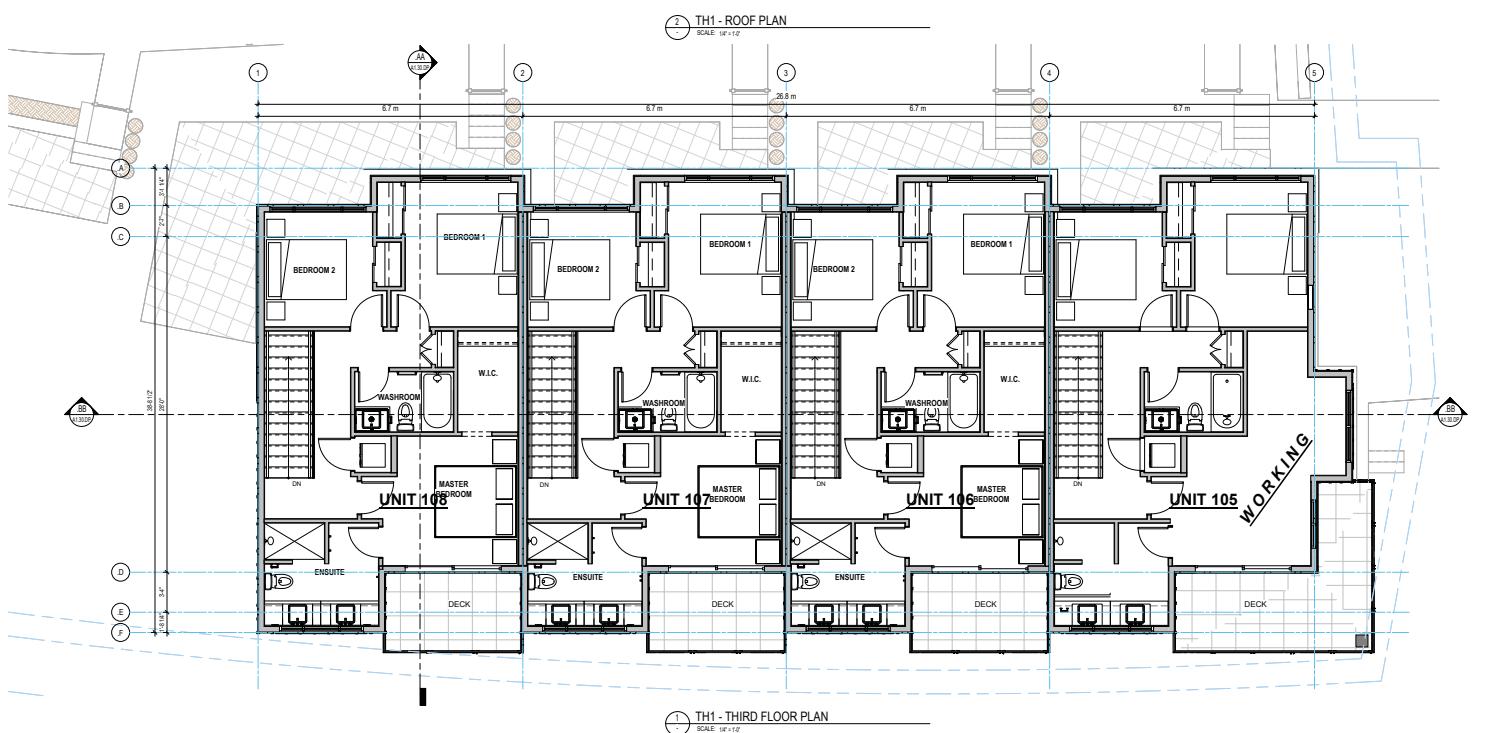
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ARCHITECTURE LTD.

302 - 2237 LICKIE ROAD
ELKOWNA BC V1X 4Y5

project title:

WILDEN MARKET SQUARE

Address: Kelowna, British Columbia

project no.:

23011

drawing no.:

TH 1 - LEVEL 3 FLOOR PLAN & ROOF PLAN

designed:

PJ

scale:

1/4"=1'-0"

checked:

PJ

drawn:

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checked:

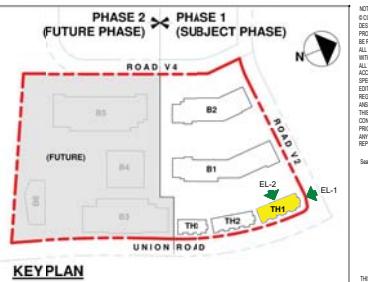
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drawing no.:

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dated:

9/2024 10:45 PM



TH1 - SIDE ELEVATION (ROAD V2)

MATERIAL LEGEND

TAG	DESCRIPTION
2	STONE - SPALTER OAK
3	LUX HORIZONTAL PANELS - HEMLOCK
4	HEMLOCK GREEN
5	STRUCTURAL STEEL - PAINTED BLACK
6	BLACK ALUMINUM FRAME
7	CLEAR GLASS
8	BIG BANG ALUMINUM SOFFIT
9	LUX SOFFIT - HEMLOCK
10	BLACK FASCIA
11	TPO MEMBRANE
12	GLASS GUARD RAIL
13	WHITE BOARD AND BATTEN

A120.DP

9/10/2024 9:12:31 AM

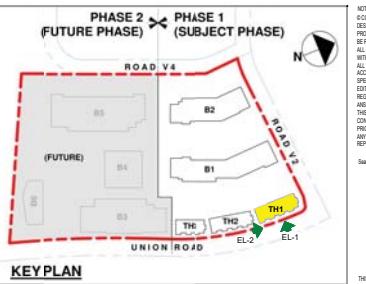
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NOVATION
PREMIER DEVELOPMENT
302 - 2237 LICKIE ROAD
WILDERN MARKET SQUARE
Address: Kelowna, British Columbia

Project: 23011
Drawing No.: TH1 - REAR & SIDE ELEVATION
Sheet No.: P1 / 1
Scale: 1:50
Drawing No.: 75
Sheet No.: 1
Page No.: 1

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NOVATION
PREMIER DEVELOPMENT
302 - 2237 LECKIE ROAD
ELKOWAH, BC V1X 4Y5
project Site

Address: Kelowna, British Columbia

Project: 23011
Drawing No:

TH1 - FRONT & SIDE ELEVATION

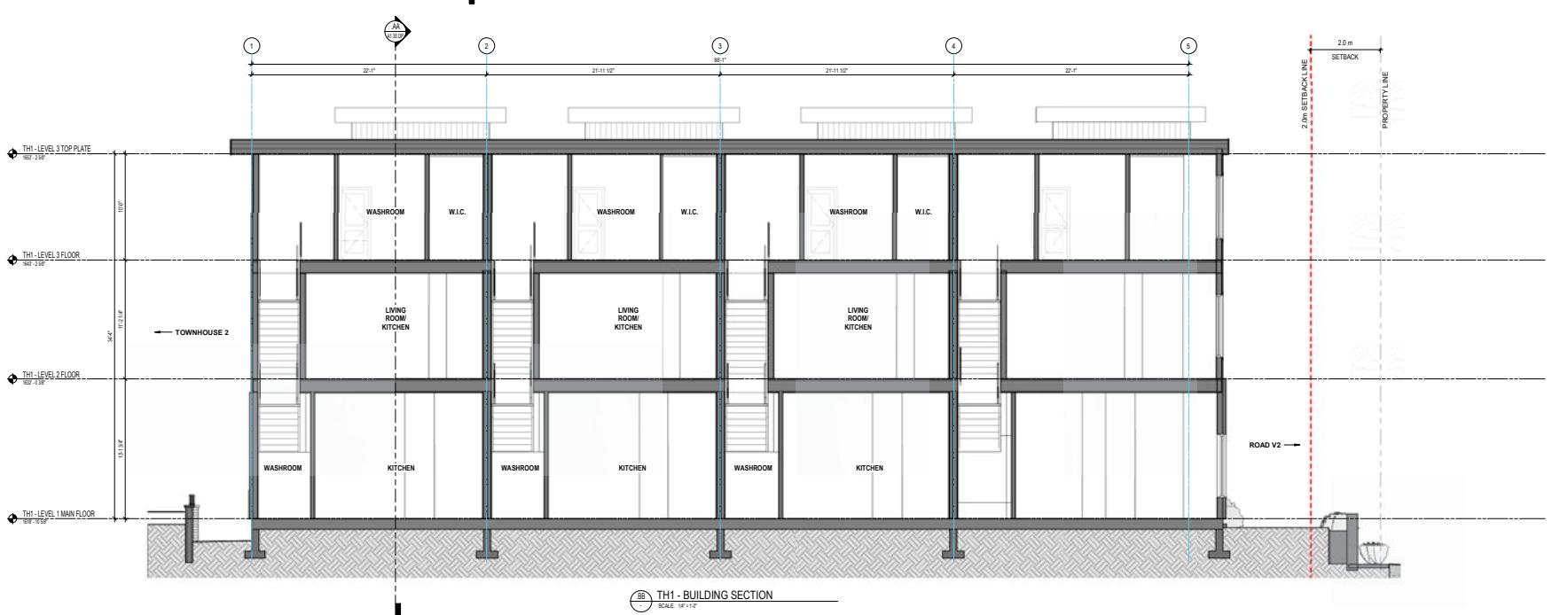
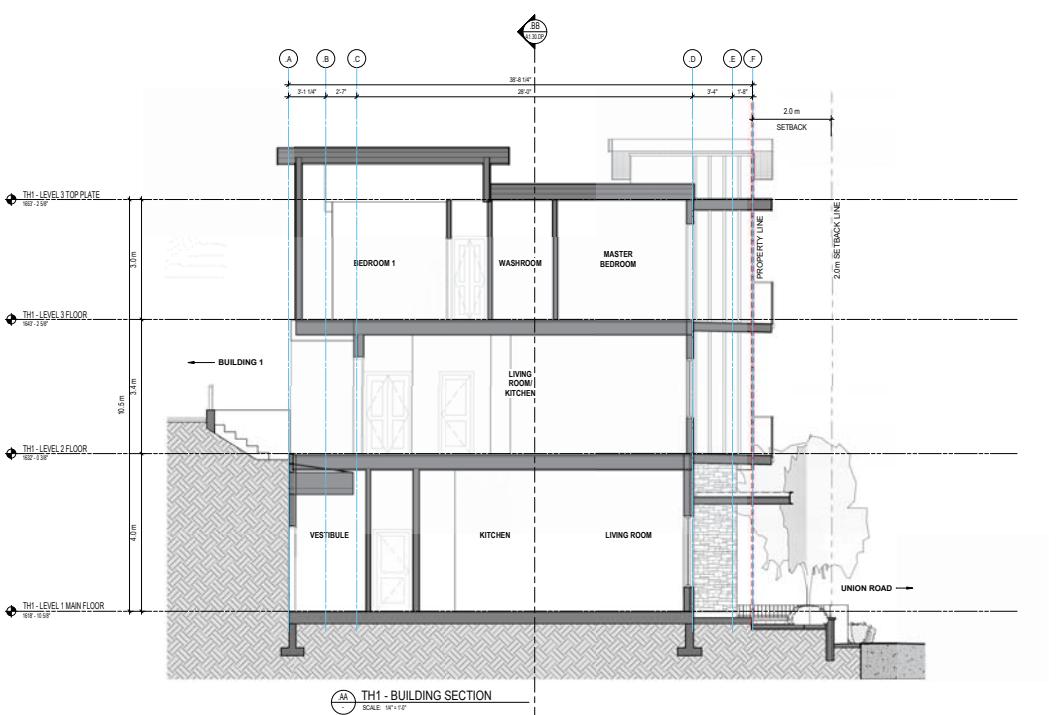
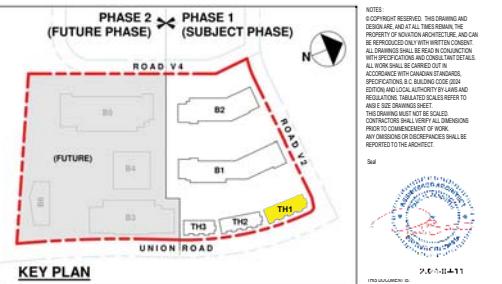
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Sheet: 75

Sheet No: A1.21.DP

Page No: 91/1024 8/20 03:46 AM

MATERIAL LEGEND

TAG	DESCRIPTION
2	STONE - SPLINTER OAK
3	LUX HORIZONTAL PANELS - HEMLOCK
4	HEMLOCK GREEN
5	STRUCTURAL STEEL - PAINTED BLACK
6	BLACK ALUMINUM FRAME
7	CLEAR GLASS
8	BROWN ALUMINUM SOFFIT
9	LUX SOFFIT - HEMLOCK
10	BLACK FASCIA
11	TPO MEMBRANE
12	Glass GUARD RAIL
13	WHITE BOARD AND BATTEN



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NOVATION
 ARCHITECTURE LTD
 302 - 2237 LICKIE ROAD
 ELLOWNA BC V1X 4Y5

project title:
WILDEN MARKET SQUARE

Address: Kelowna, British Columbia

project no.: 23011

drawing no.:

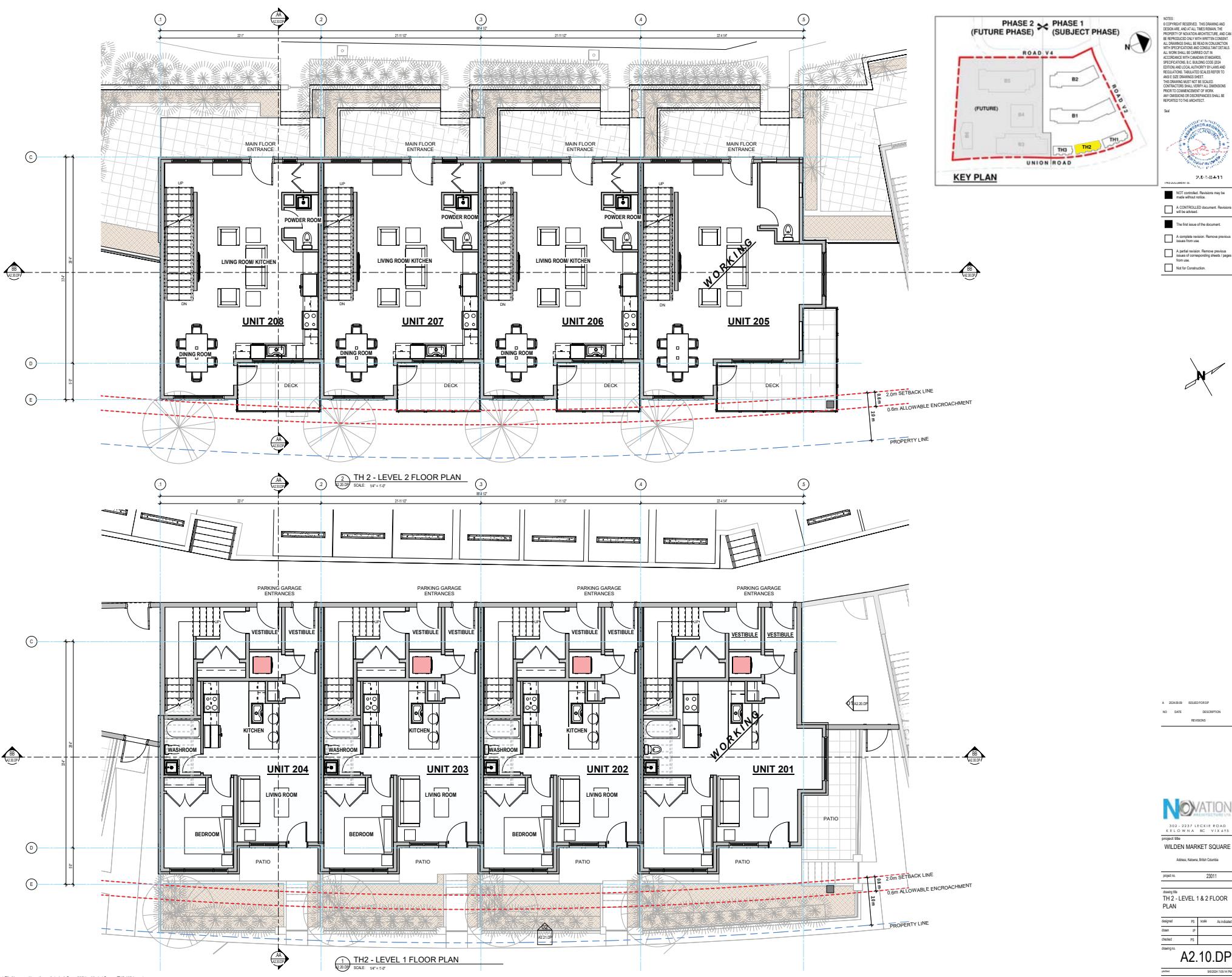
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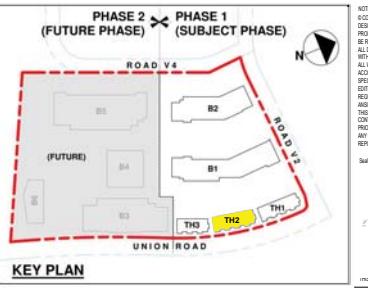
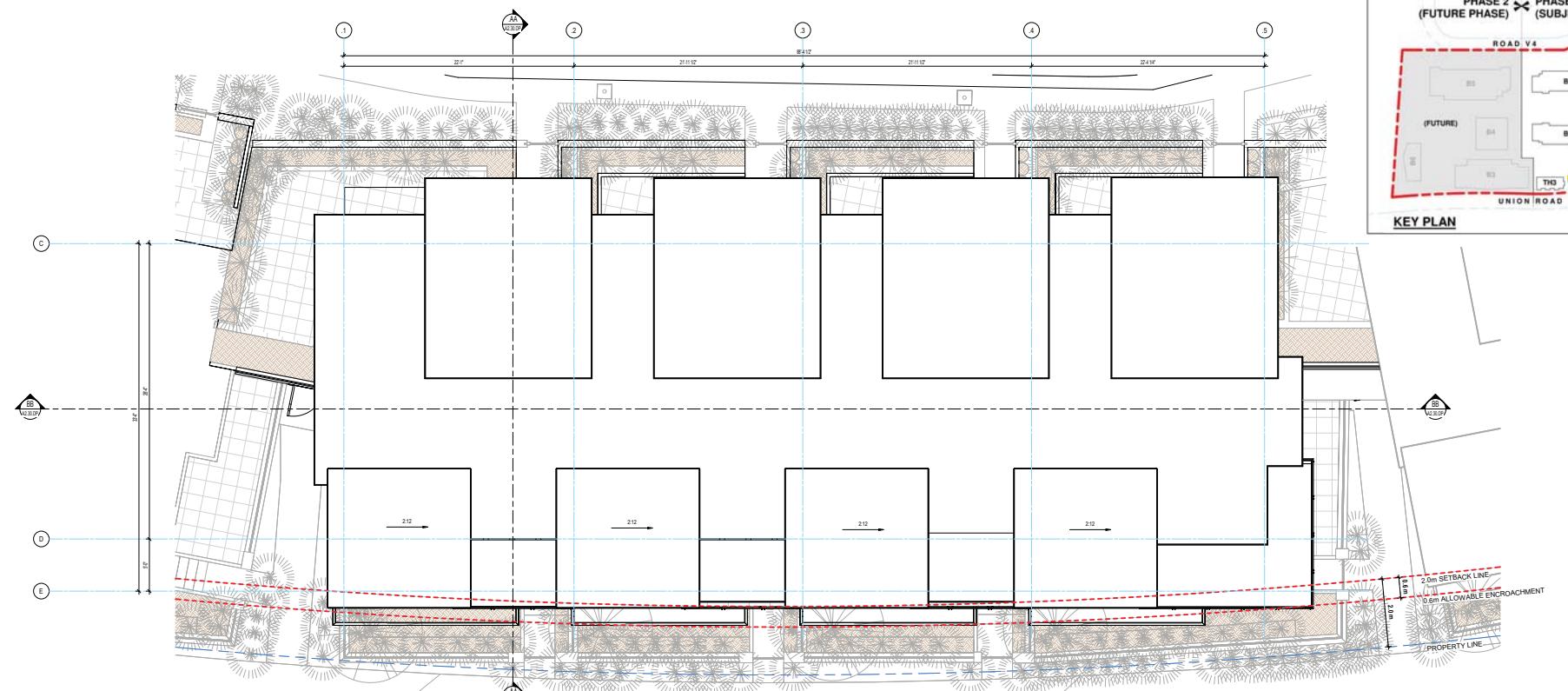
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 drawn: PS
 checked: PS
 drawing no: PS

dated: 2024-09-09

filed: 90204-230-01

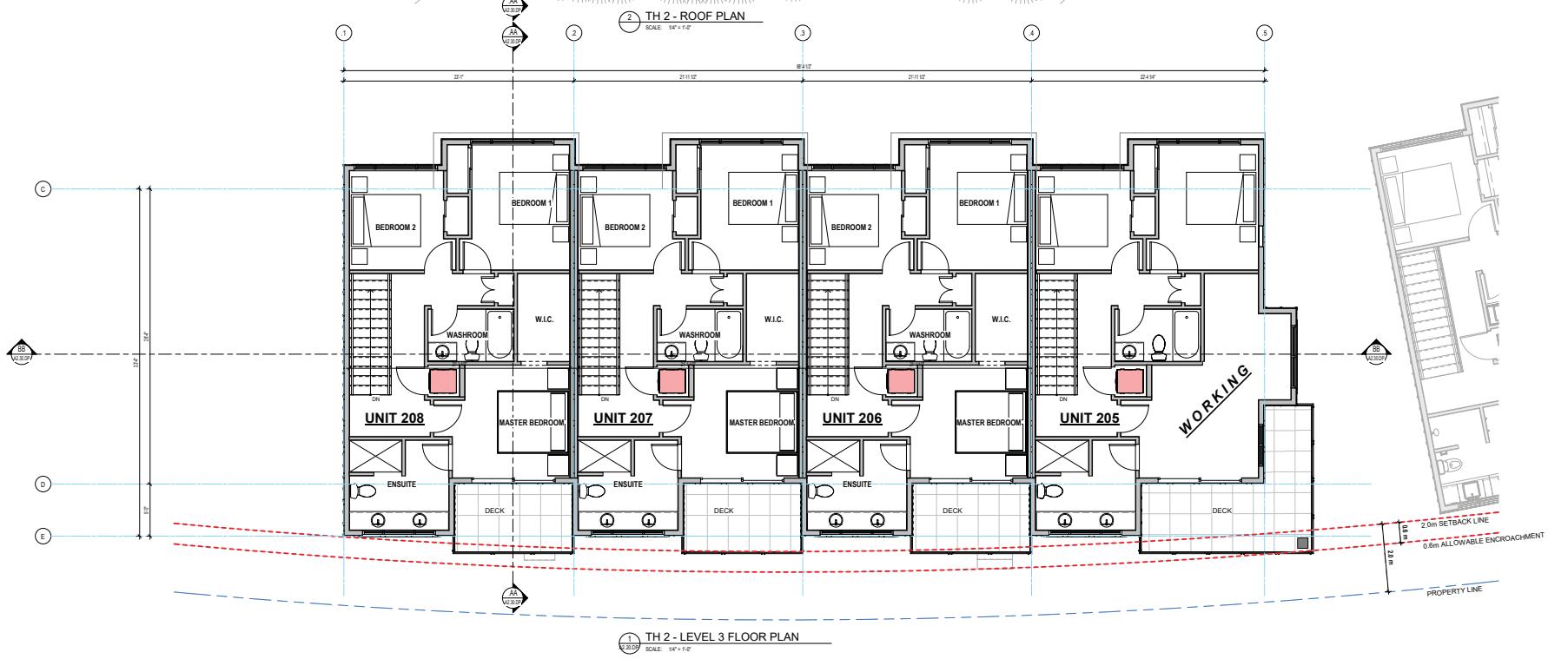
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NOVATION
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302-2237 LECKIE ROAD
KELowna BC V1X 6Y5

WILDEN MARKET SQUARE

project no. 23011

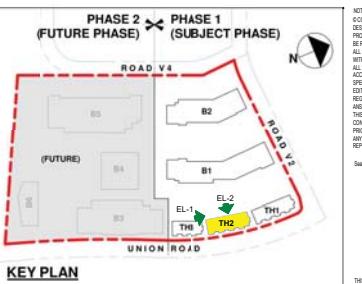
TH 2 - LEVEL 3 FLOOR PLAN
& ROOF PLAN

designed	Designer	scale	As indicated
drawn	Author		

checked	Checkar
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A2.11.DP

A2.11.DP



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**NOVATION
ARCHITECTURE LTD.**
302 - 2237 LECKIE ROAD
POLOWSKI BC V1X 6Y5
act title

Material Legend

TAG	DESCRIPTION	WILDEN MARKET / SQUARE
2	STONE - SPLINTER OAK	Address, Keweenaw Brit Columbia
3	ULX HORIZONTAL PANELS - HELMICK	23011
4	HEMLOCK GROVE	
6	STRUCTURAL STEEL - PAINTED BLACK	
6	BLACK ALUMINUM FRAME	swing life
7	CLEAR GLASS	
8	BLACK ALUMINUM SOFFIT	TH 2 - REAR & SIDE ELEVATION
9	LUX SOFTBELL HELMICK	
10	WALL MASHA	
11	TPO MEMBRANE	designed PS scale As indicated
12	GLASS GUARD RAIL	drawn PS/MSA
13	WHITE BOARD AND BATTEN	checked PS

Mines, Kilometers, British Columbia

• [View Details](#)

23011

Page 10

12 - REAR & SIDE

EVALUATION

ned PS scale Ad

IPMCKAJB

PS

A2.20.DP



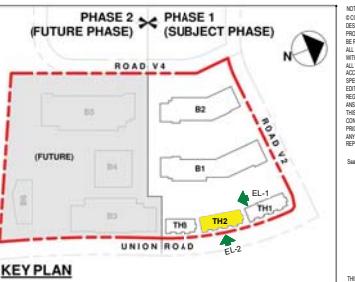
TH2 - FRONT ELEVATION (UNION ROAD)

SCALE: 1/4" = 1'-0"



TH2 - SIDE ELEVATION

SCALE: 1/4" = 1'-0"



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STANDARDS FOR PLANNING AND ZONING
REGULATIONS, TABLED SCALES REFER TO MM AND NOT INCHES.
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302 - 2237 LICKIE ROAD
ELKOWAH, BC V1X 4T5

Address: Kelowna, British Columbia

TAG	DESCRIPTION
2	STONE - SPALTER OAK
3	LUX HORIZONTAL PANELS - HEMLOCK
4	HEMLOCK GREEN
5	STRUCTURAL STEEL - PAINTED BLACK
6	BLACK ALUMINUM FRAME
7	CLEAR GLASS
8	BLACK ALUMINUM SOFFIT
9	LUX SOFFIT - HEMLOCK
10	BLACK FASCIA
11	TPO MEMBRANE
12	Glass Guard Rail
13	WHITE BOARD AND BATTEN

Material Legend

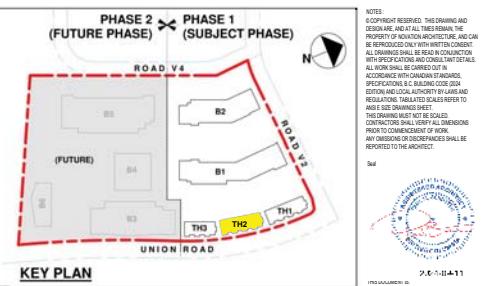
Project: 23011

Drawing No: TH 2 - FRONT & SIDE ELEVATION

Sheet: 1 of 1

Sheet No: 13

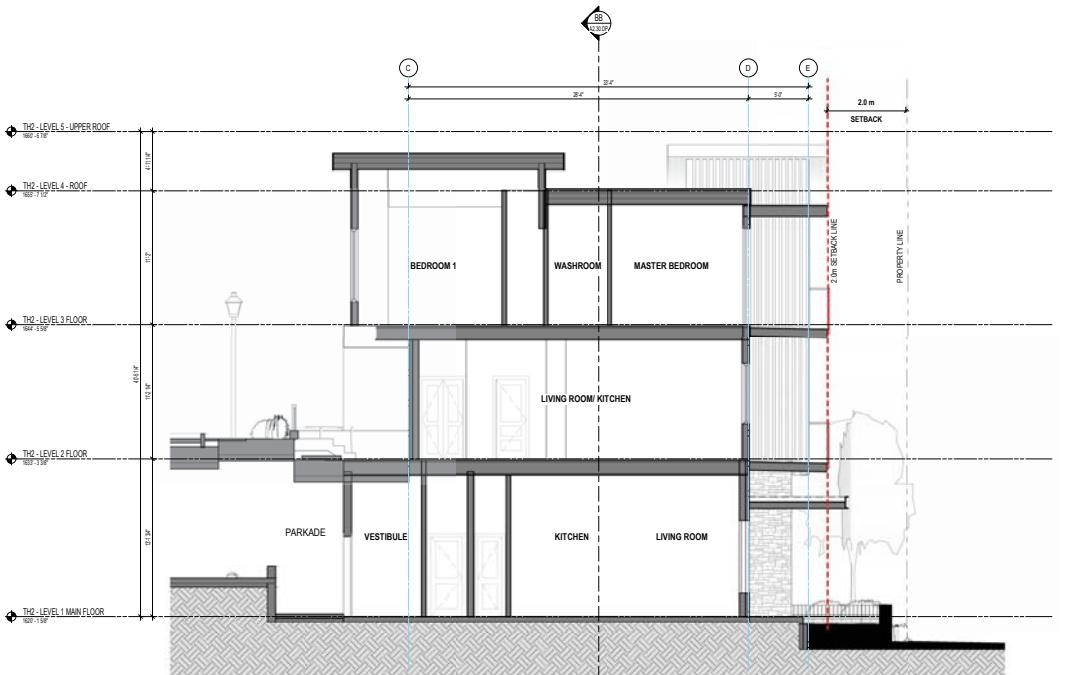
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NOVATION
ARCHITECTURE LTD.
302 - 2227 LICKIE ROAD
KELOWNA BC V1X 4Y5
project title
WILDEN MARKET SQUARE

Address: Kelowna, British Columbia
Project No.: 23011

Drawing No.: 23011

Drawing Title: TH 2 - BUILDING SECTIONS

Designed:	P:	Scale:	As indicated
Drawn:	P:		
Checked:	P:		
Drawing No.:	P:		

A2.30.DP

Project File Name and Location: Autodesk Docs\WILDEN Market Square\TH2_WILDEN.rvt

950234 711205 PM

RENDERING:



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DRAWING INDEX:

ARCHITECTURE
 NOVATION ARCHITECTURE LTD.
 302-2227 LICKIE ROAD
 KELowna, BC V1X 4Y5
 TEL (250) 452-4144
 FAX (250) 452-4200

CIVIL
 Novus Civil Services Ltd
 #205-1480 Pandosy Street
 Kelowna, BC V1Y 1P3
 TEL (250) 868-0224

LANDSCAPE
 VDZTA (van der Zanden + Associates)
 100 - 1480 Pandosy Street
 VICTORIA, BC V8T 3J7
 TEL (250) 412-0224

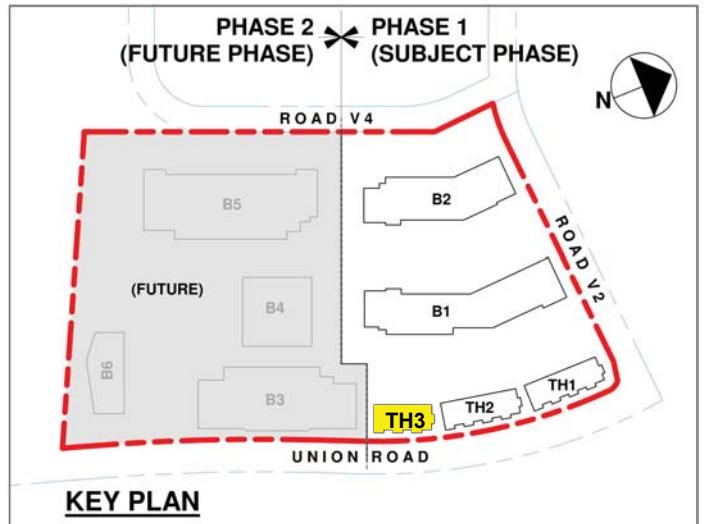
SURVEY
 FERGUSON LAND SURVEYING &
 GIMBLE SURVEYORS LTD.
 #404-1630 PANDOSY STREET
 KELowna, BC V1Y 1P7
 TEL (250) 763-3115, EXT. 107
 FAX (250) 763-4221

A3.00.DP
TH3 - COVER SHEET
A3.10.DP TH3 - LEVEL 1 & 2 FLOOR PLANS
A3.11.DP TH3 - LEVEL 3 FLOOR PLAN & ROOF PLAN
A3.20.DP TH3 - FRONT & SIDE ELEVATION
A3.21.DP TH3 - FRONT & SIDE ELEVATION
A3.30.DP TH3 - BUILDING SECTIONS
TOTAL SHEETS: 6

SYMBOL LEGEND:



CONTEXT SITE PLAN:



BUILDING STATISTICS:

Plot Areas & Blocksize			
Land Total Breakdown		UNIT	SF AREA & P.A.R. Projected
Lower Townhouse Units		801	800.75
Upper Townhouse Units		802	800.75
Total		1603	1601.50
Unit Count Breakdown			
Lower Townhouse Units		801	801
Upper Townhouse Units		802	801
Total		1603	1602
Building Coverage			
Max. 75% (Buildings, Parking and Driveways)		16,071	84.7%
Min. 10% (Buildings, Parking and Driveways)		1,607	8.4%
Floor Area Ratio			
Max. 0.9 (Buildings, Parking and Driveways)		17,947	94.2%
Min. 0.1 (Buildings, Parking and Driveways)		1,795	9.7%
Plot Coverage			
Max. 80% (Buildings, Parking and Driveways)		17,947	94.2%
Min. 0% (Buildings, Parking and Driveways)		1,795	9.7%
Floor Area Ratio			
Max. 0.9 (Plot Coverage)		19,198	94.7%
Min. 0.1 (Plot Coverage)		1,919	9.7%
Height			
Lower of 22 ft or 6 ft above		20.2	94.7%
Upper of 22 ft or 6 ft above		12	9.7%
Land Use			
Upper Level Townhouse (1 Basement)		11	11
Lower Level Townhouse (1 Basement Suite)		12	12
1-Bedroom Apartment (1 Basement)		13	13
2-Bedroom Apartment (1 Basement)		14	14
3-Bedroom Apartment		15	15
Total Units			
1603		1603	1602

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 KELowna, BC V1X 4Y5
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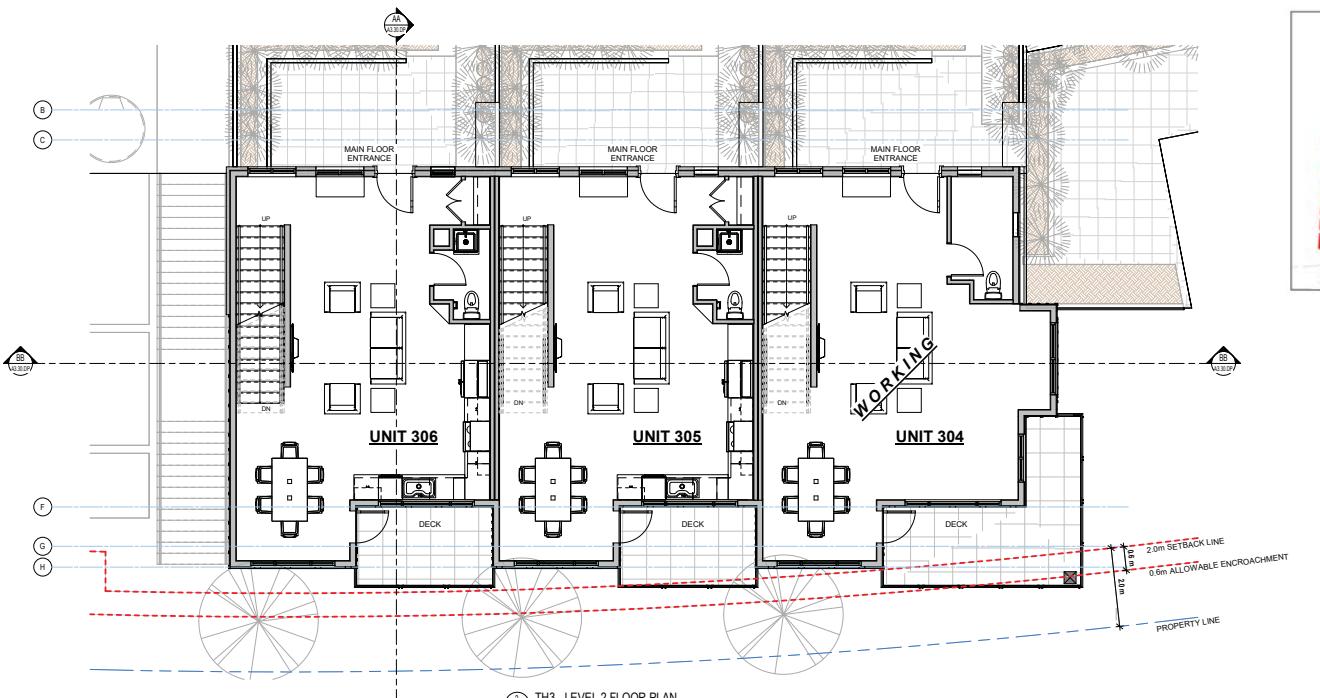
project no.: 23011

drawing title:

TH 3 - COVER SHEET

Prepared By: Designer: Date: Is it indexed:
 Reviewer: Author: Reviewer: Checked:
 Drawing No: 950247113579

A3.00.DP



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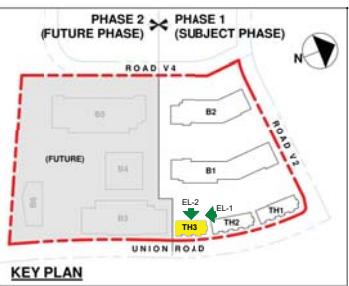
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ELLOWHWA BC VIX K1S
project title: WILDEN MARKET SQUARE
Address: Kelowna British Columbia
project no.: 23011
drawing title: TH 3 - LEVEL 3 FLOOR PLAN & ROOF PLAN
designed by: [REDACTED]
checked by: [REDACTED]
scale: [REDACTED]
Hydrated: [REDACTED]

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WILDEMARKET, BC V1X 4T5

Address: Kelowna, British Columbia

TAG	DESCRIPTION
2	STONE - SPALTER OAK
3	LUX HORIZONTAL PANELS - HEMLOCK
6	BLACK ALUMINUM FRAME
7	CLEAR GLASS
10	BLACK FASCIA
12	GLASS GUARD RAIL
13	WHITE BOARD AND BATTEN

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Owner: IP Status:

Staged: TS Drawing No.:

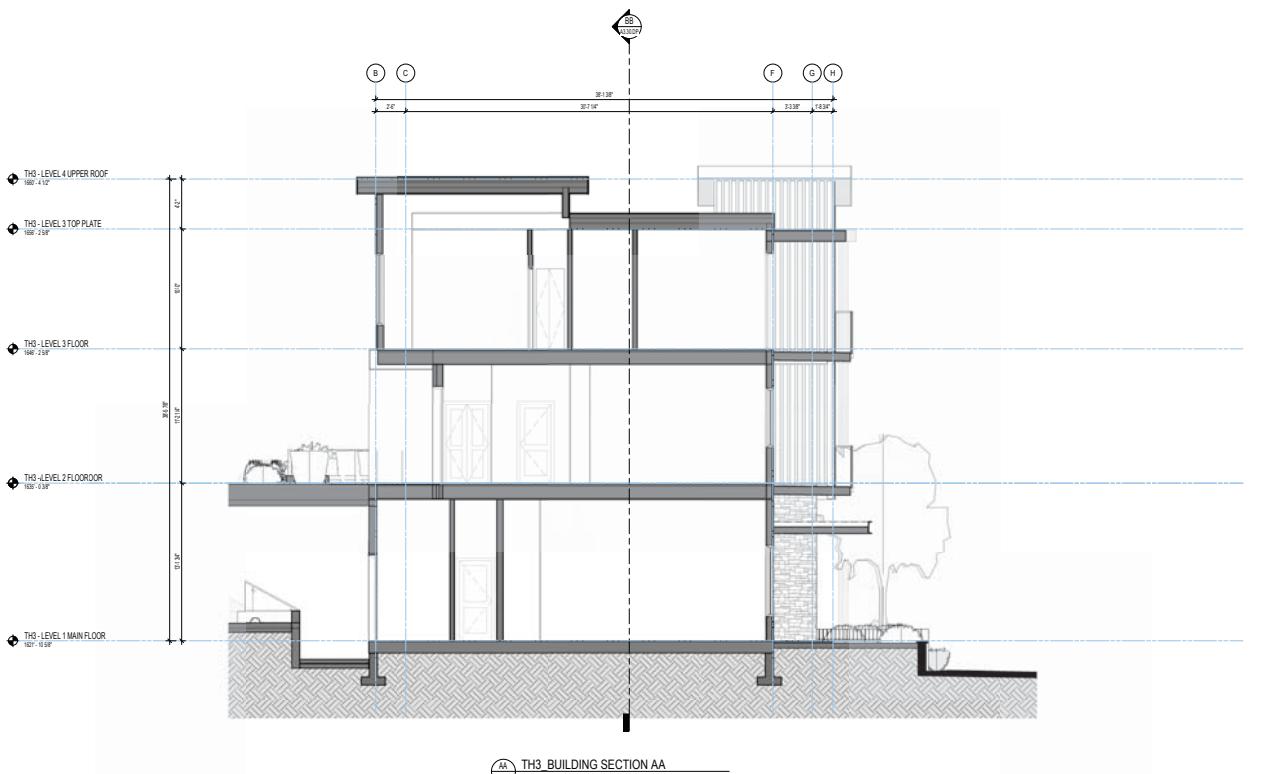
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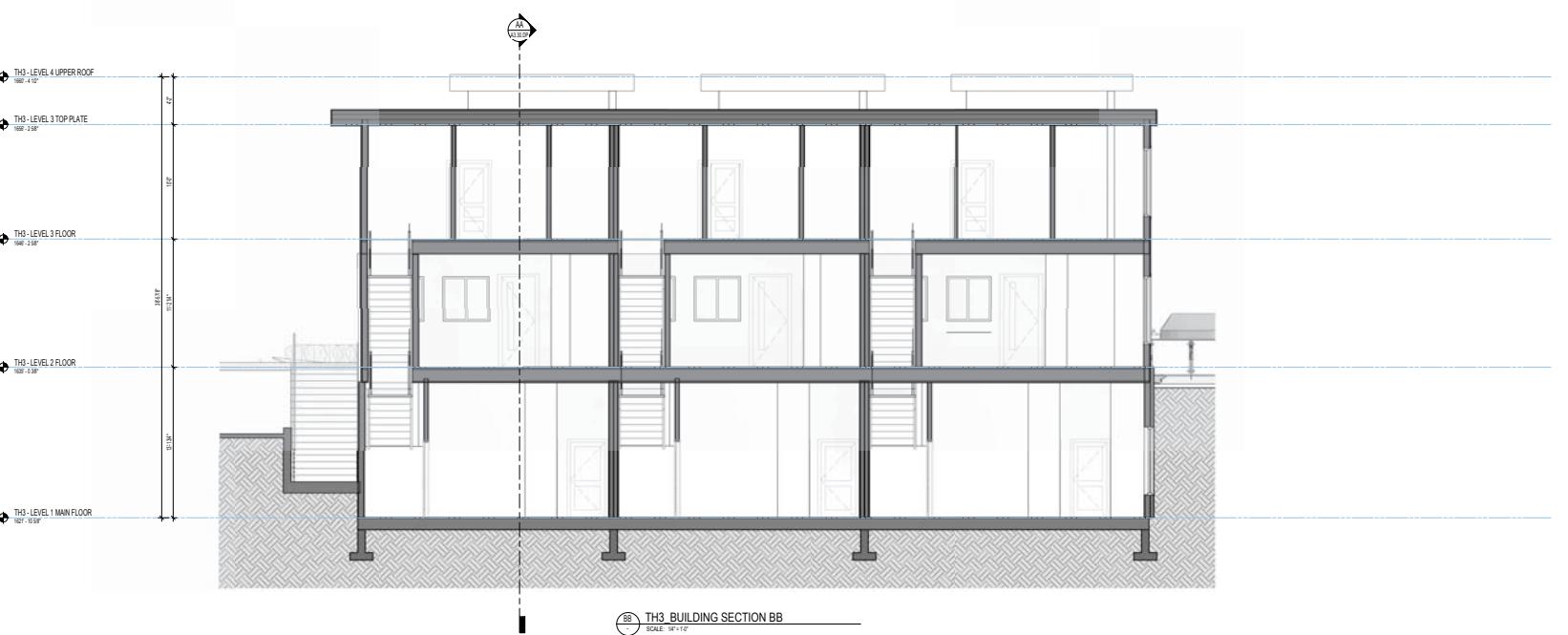
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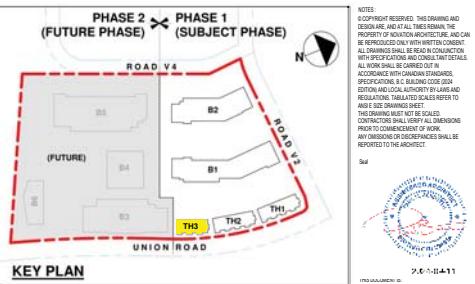
Page: 91/102 Date: 8/12/2024



AA TH3 BUILDING SECTION AA
SCALE: 1/4"=1'-0"



BB TH3 BUILDING SECTION BB
SCALE: 1/4"=1'-0"



KEY PLAN

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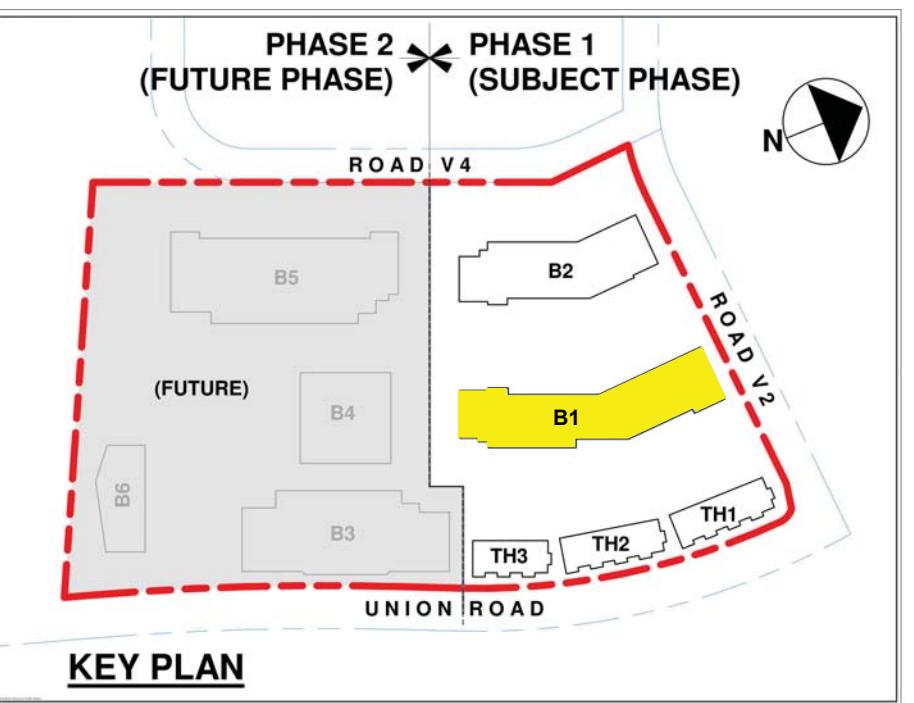
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CONSULTANTS:

ARCHITECTURAL
NOVATION ARCHITECTURE LTD.

302-227 LICKIE ROAD, V1X 4Y5

TEL: (250) 426-4144

FAX: (250) 426-4144

CNA: CNA Services Ltd

#202-1400 Pandosy Street

Kelowna, BC V1Y 1P3

TEL: (250) 868-2453

LANDSCAPE:

VOZ-A (van der Zalm + Associates)

102 - 1200 Westbank Drive

VANCOUVER BC V6T 3J7

TEL: (604) 685-0204

SUBMIT:

FERGUSON LAND SURVEYING &

GEODATA INC.

#404-1630 PANDOSY STREET

KELOWNA BC V1Y 1P7

TEL: (250) 763-3115, EXT. 107

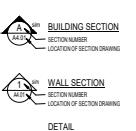
FAX: (250) 763-4321

DRAWING INDEX:

NO. NAME

A4.00.DP B1 - COVER SHEET
A4.10.DP B1 - MAIN FLOOR PLAN
A4.11.DP B1 - SECOND & THIRD FLOOR PLAN
A4.12.DP B1 - FOURTH & FIFTH FLOOR PLAN
A4.13.DP B1 - ROOF PLAN
A4.20.DP B1 - ELEVATIONS
A4.21.DP B1 - ELEVATIONS
A4.30.DP B1 - BUILDING SECTION AA, CC & DD
A4.31.DP B1 - BUILDING SECTION EE
A4.40.DP B1 - UNIT PLANS - TYPES A, B, C & D
A4.41.DP B1 - UNIT PLANS - TYPES E, F, G, H & J
TOTAL SHEETS: 11

SYMBOL LEGEND:



DOOR TAGS

0'-0" x 0'-0"

DOOR SIZE

WINDOW TAGS

W105

WINDOW TYPE - SEE WINDOW DETAILS

ASSEMBLY TAGS

ASSEMBLY TYPE - SEE CONSTRUCTION SCHEDULE

BUILDING STATISTICS:

Building / Method					
Level/Floor Breakdown	LEVEL	SF AREA (ft²) of Area A (Proposed)	UNIT COUNT		
Commercial Level	Main Floor (Proposed)	7001	0		
	Second Floor	827	14		
	Third Floor	827	14		
	Fourth Floor	827	13		
	Fifth Floor	888	12		
	Total	11005	63		
Unit Count/Breakdown					
	LEVEL	1 BED	1 BED/1BATH	2 BED	
	Second Floor	2	4	0	14
	Third Floor	2	4	0	14
	Fourth Floor	0	0	0	13
	Fifth Floor	0	4	0	12
	Total	4	16	0	63
Common & Private Amenity Space					
	FACTOR (sq.m.)		COUNT		
1 BED	10.00	per One Bedroom	4		
1 BED/1BATH	10.00	per One Bedroom	16		
2 BED	20.00	per One Bedroom	30		
		per One Bedroom	3		
		per One Bedroom	70 sq.m.		
			218 sq.m.		
			912 sq.m.		
			1,270 sq.m.		
4.0 sq.m. per Unit Required as "Common Amenity Space"					
Reminder Required as "Private Amenity Space"					
Total Required Amenity					

Novation
ARCHITECTURE LTD.

302-227 LICKIE ROAD
KELOWNA BC V1X 4Y5

project site

WILDEN MARKET SQUARE

Address: Kelowna, British Columbia

Project No.: 23011

Drawing Site

B1 - COVER SHEET

Page:

A4.00.DP

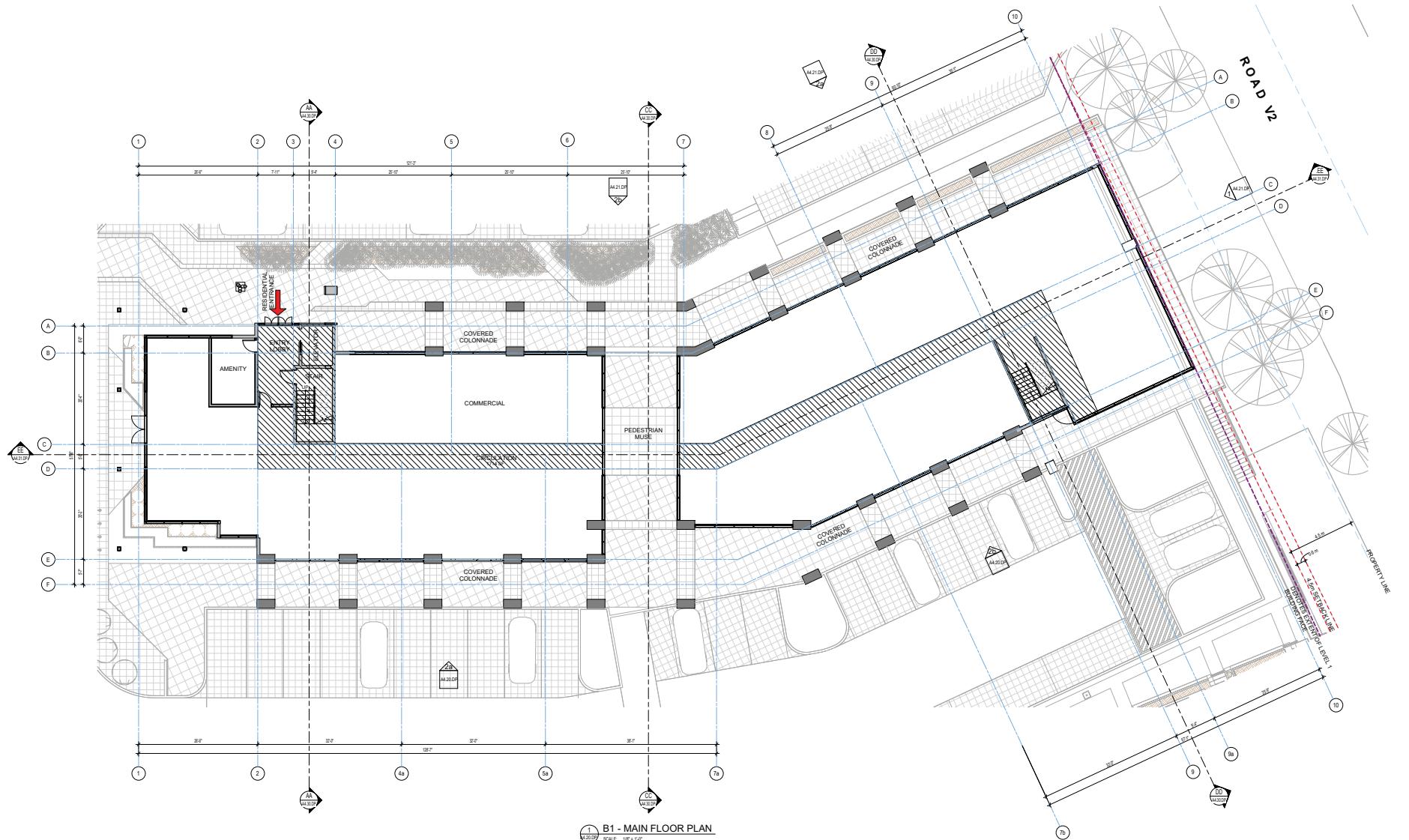
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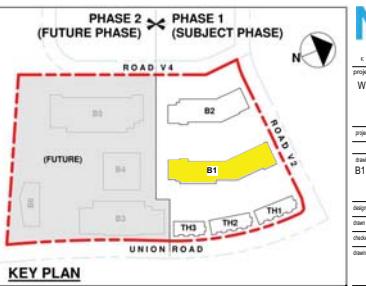


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[GOLDEN MARKET SQUARE](#)

Address, Victoria, British Columbia

- MAIN FLOOR PLAN

of PG Grade As indicated

	IP	
sd	PS	

A4.10.DP

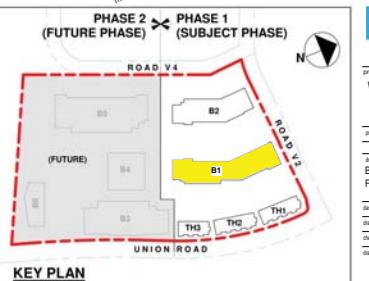
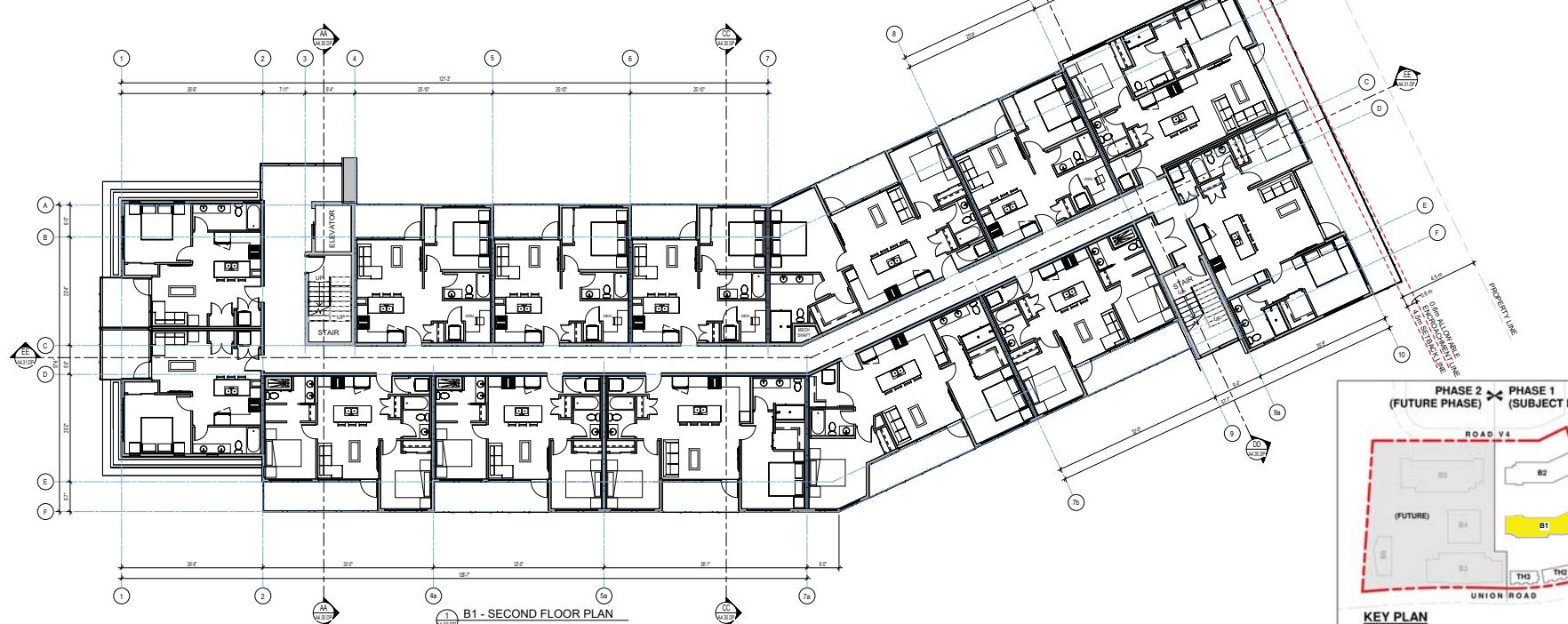
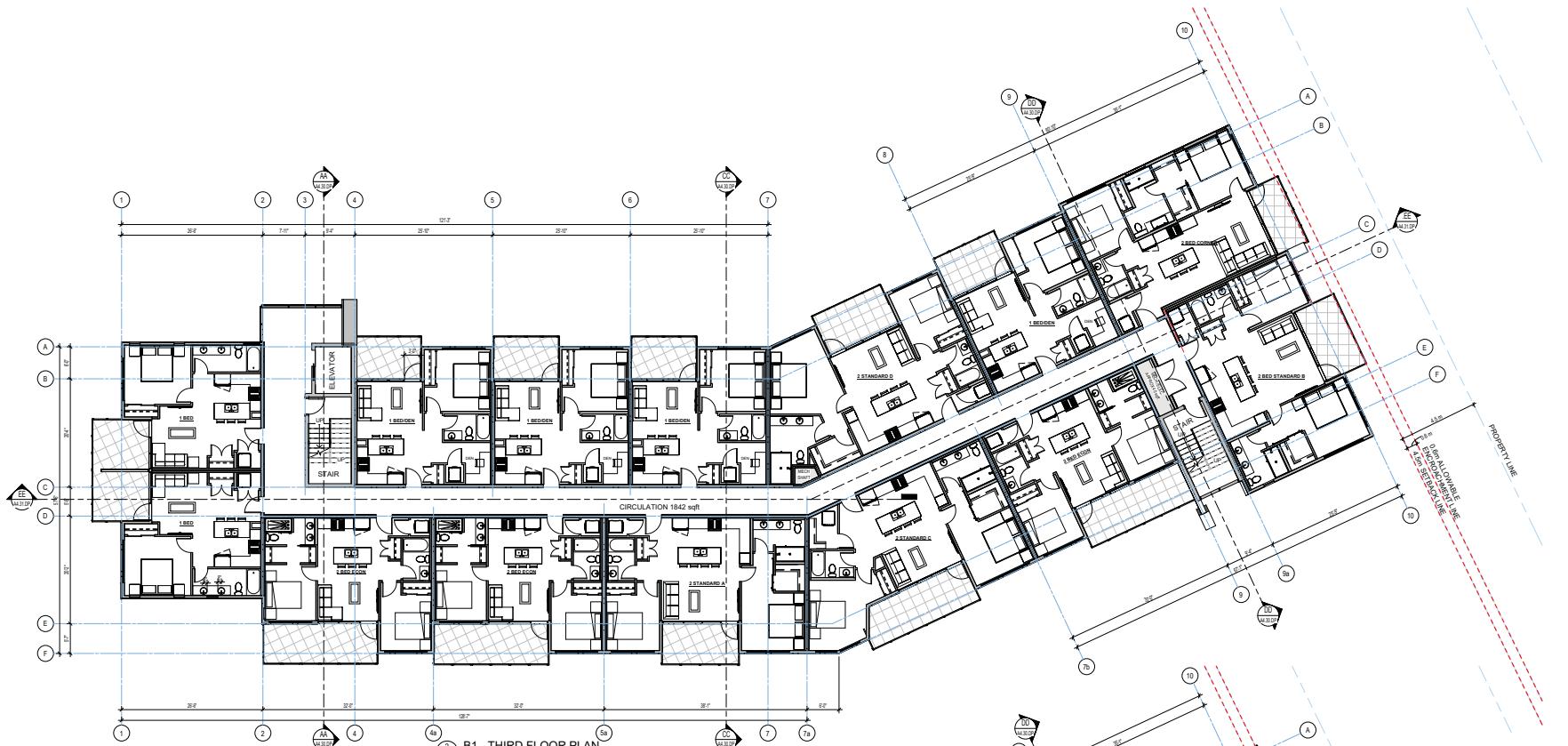
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302 - 2227 LICKIE ROAD
 KELOWNA BC V1X 4Y5

Project No.: 23011

Drawing No.: B1 - SECOND & THIRD FLOOR PLAN

Revised: P5 Scale: 1/2" = 1'-0"

Drawn: P5 Checked: P5 Drawing No.: 950204-000277

A4.11.DP

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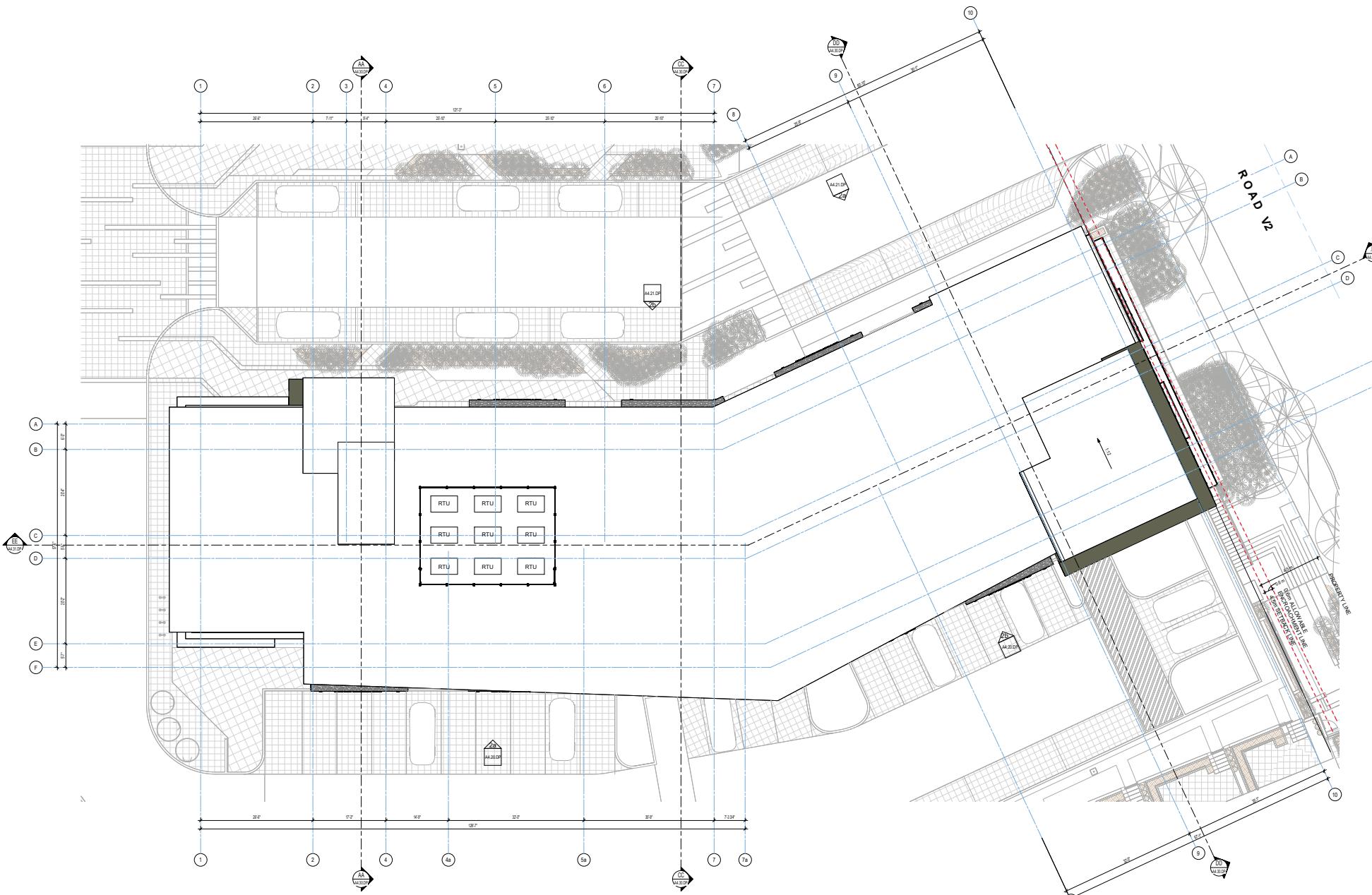


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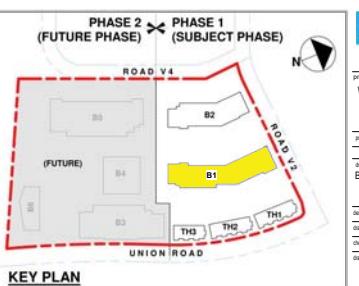
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1 B1 - ROOF PLAN

20.DP SCALE: 18" = 1'-0"



NOVATION

ANSWER

302 - 2237 LECKIE ROAD
POLOWNA BC V1X 6Y5

Oct 99

GOLDEN MARKET SQUARE

Address, Kelowna, British Columbia

[View Details](#)

Ref no. 23011

1050

- ROOF PLAN

ref. 89 scale as indicated

[P]

ad PS

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A4.13.DP

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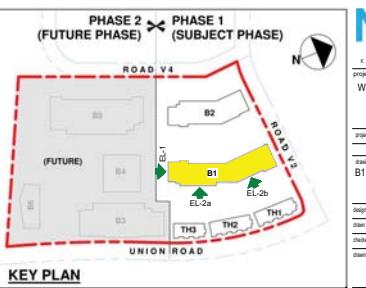
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MATERIAL LEGEND	
TAG	DESCRIPTION
7	CLEAR GLASS
10	BLACK FASCIA
12	GLASS GUARD RAIL

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2a B1 - ELEVATION
14.10.DP SCALE: 18" = 1'-0"

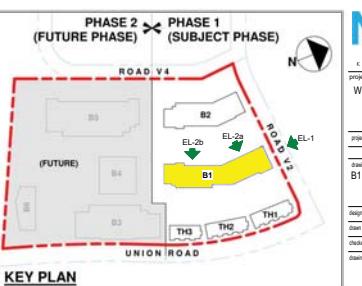
B1 - ELEVATION



BI - ELEVATION
SCALE: 1/8" = 1'-0"

MATERIAL LEGEND	
TAG	DESCRIPTION
7	CLEAR GLASS
10	BLACK FASCIA
12	CLASS GUARD RAIL

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NOVATION
ARCHITECTURE LTD.
302 - 2237 LECKIE ROAD
KELOWNA BC V1X 6Y5

WILDEN MARKET SQUARE

ACCOMA, PATRICIA, DISEN COUNTY

ELEVATIONS

ELEVATIONS

Entered	Designer	scale	As indicated
1	Author		
2			

A4 21 DP

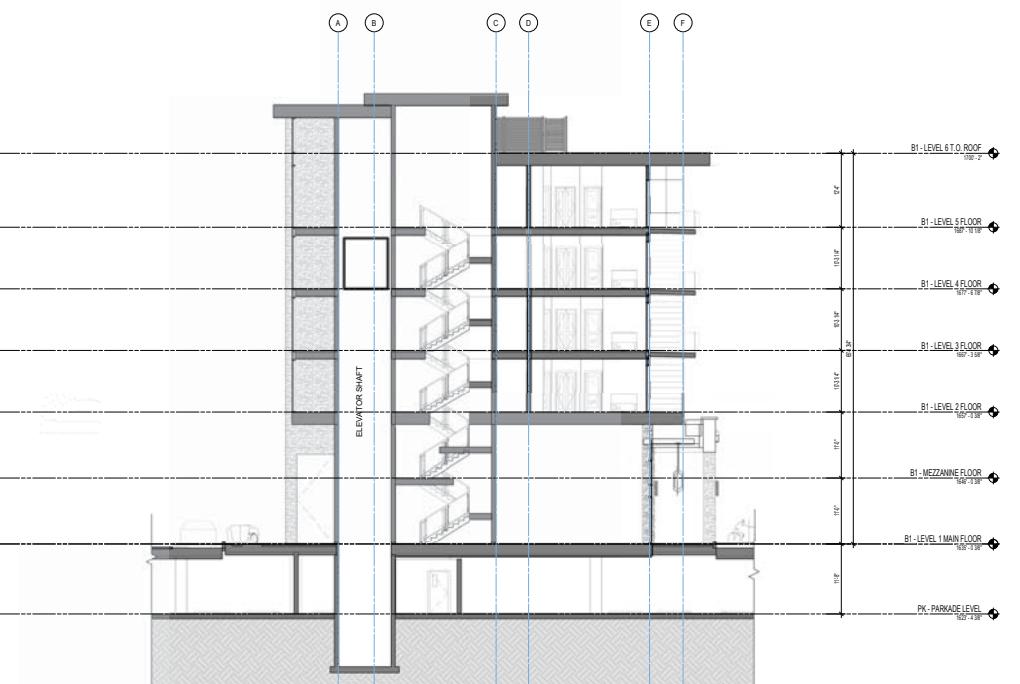
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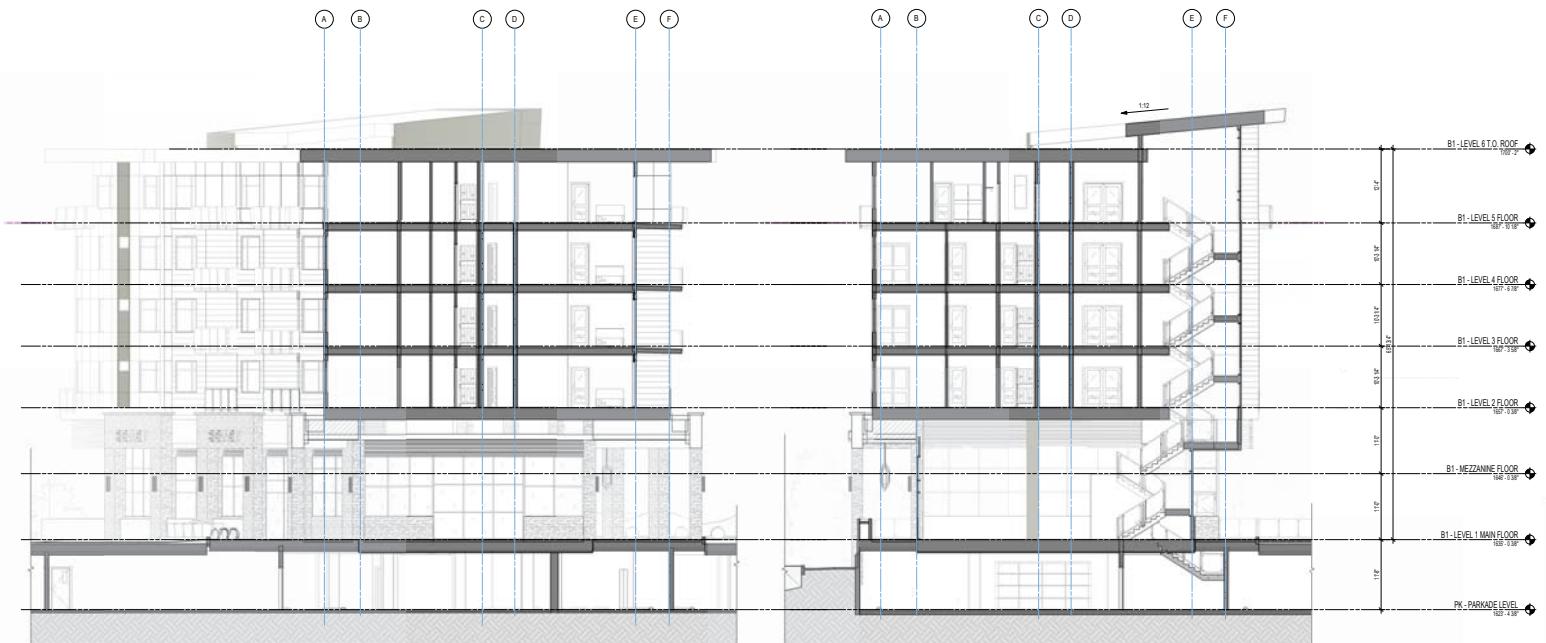
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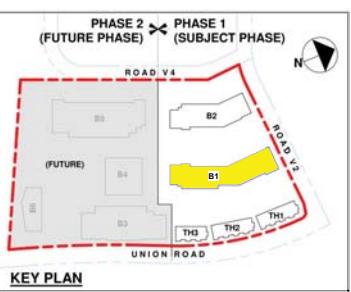
B1 - BUILDING SECTION

100'-0" SCALE 1/8" x 1/2"



B1 - BUILDING SECTION

100'-0" SCALE 1/8" x 1/2"



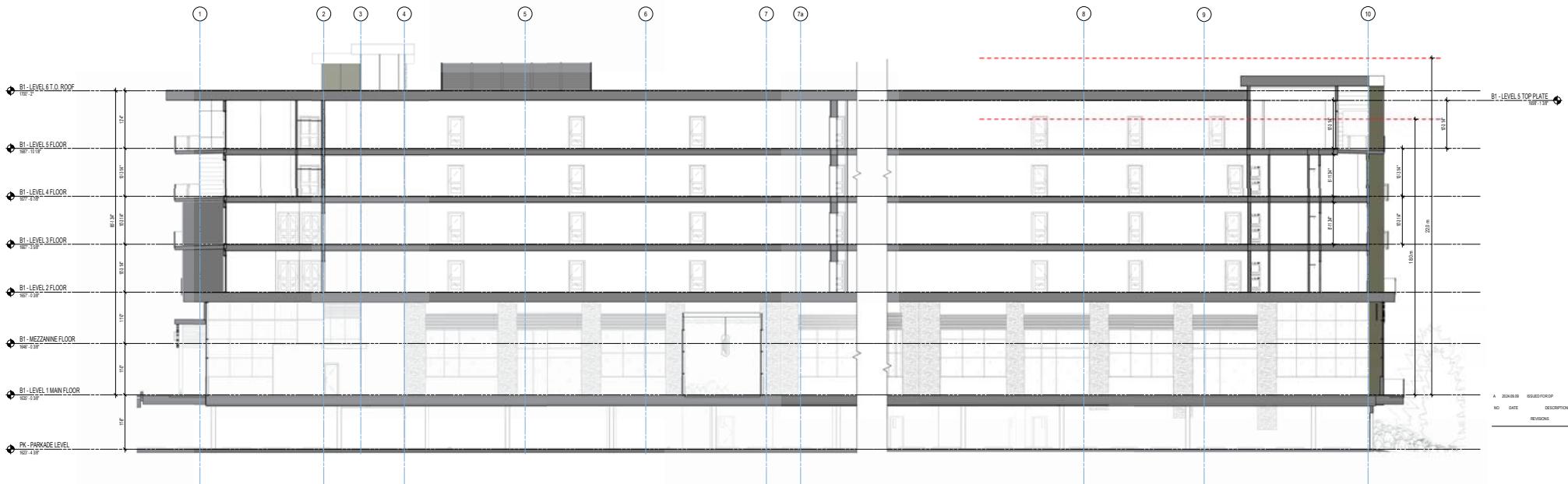
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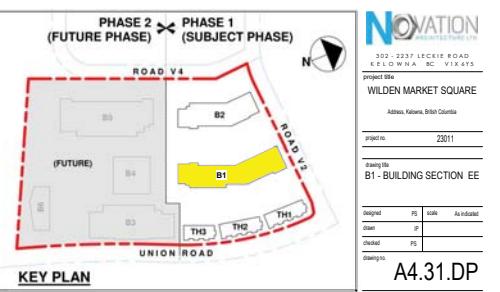


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B1 - BUILDING SECTION

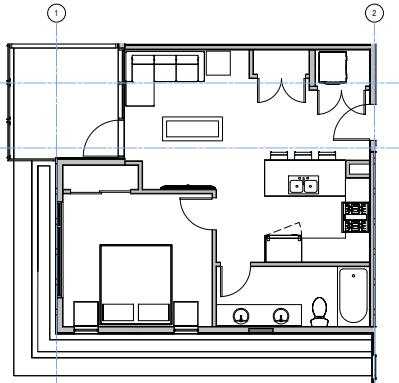


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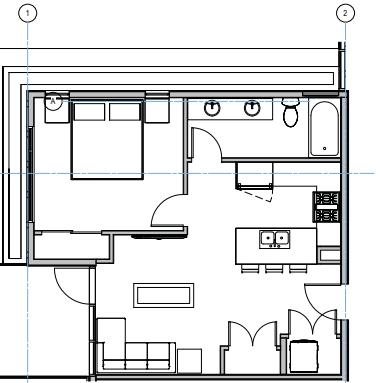
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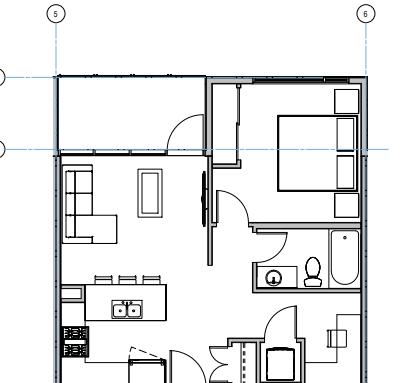
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SCALE: 1/4" x 1/2"



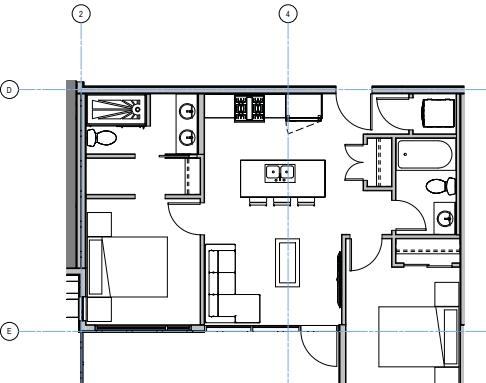
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SCALE: 1/4" x 1/2"



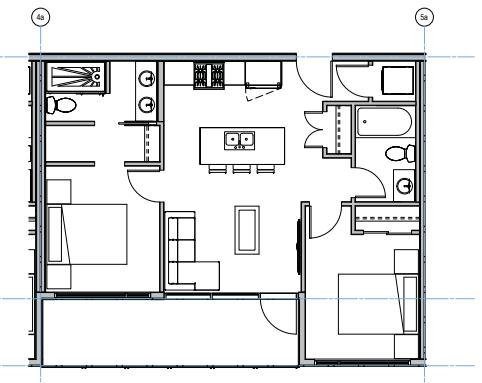
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SCALE: 1/4" x 1/2"



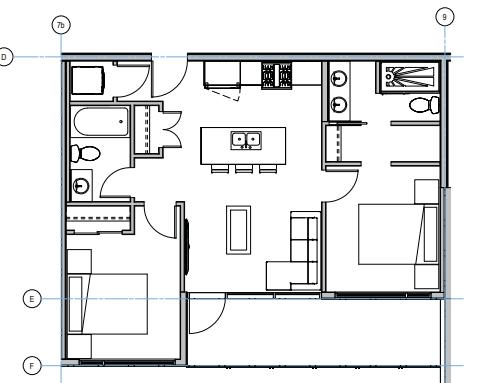
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SCALE: 1/4" x 1/2"



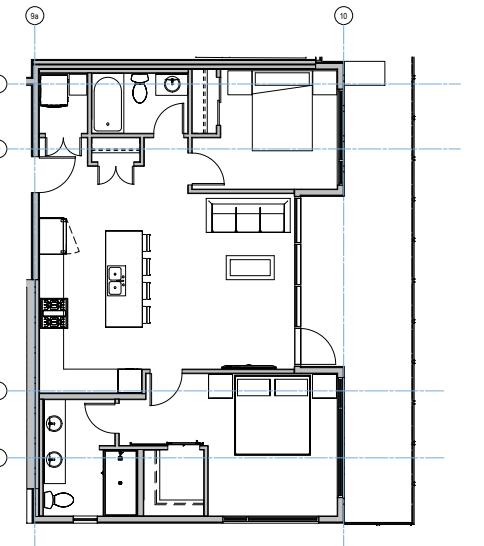
5 UNIT TYPE 'C' - 2 BED ECONOMY SIMILAR

SCALE: 1/4" x 1/2"



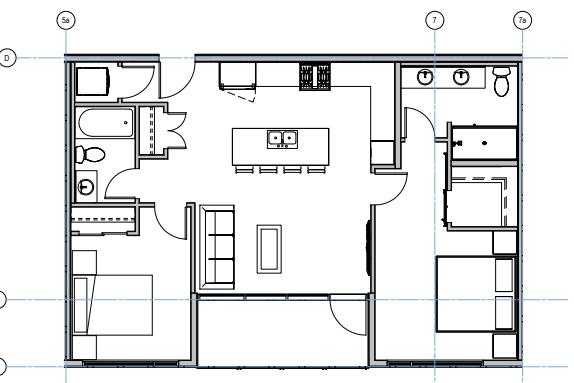
6 UNIT TYPE 'C' - 2 BED ECONOMY REVERSED

SCALE: 1/4" x 1/2"



7 UNIT TYPE 'D' - 2 BED SIMILAR

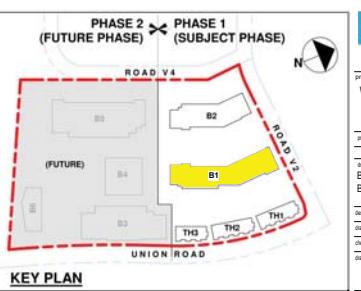
SCALE: 1/4" x 1/2"



8 UNIT TYPE 'D' - 2 BED

SCALE: 1/4" x 1/2"

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KEY PLAN



302 - 2227 LICKIE ROAD
 KELOWNA BC V1X 4T5

project title:

WILDEN MARKET SQUARE

Address: Kelowna British Columbia

project no.:

23011

drawing title:

B1 - UNIT PLANS - TYPES A,

B, C & D

sheet no.:

P1

scale:

1/4" = 1'-0"

dated:

2011-01-01

drawings:

950204-011497W

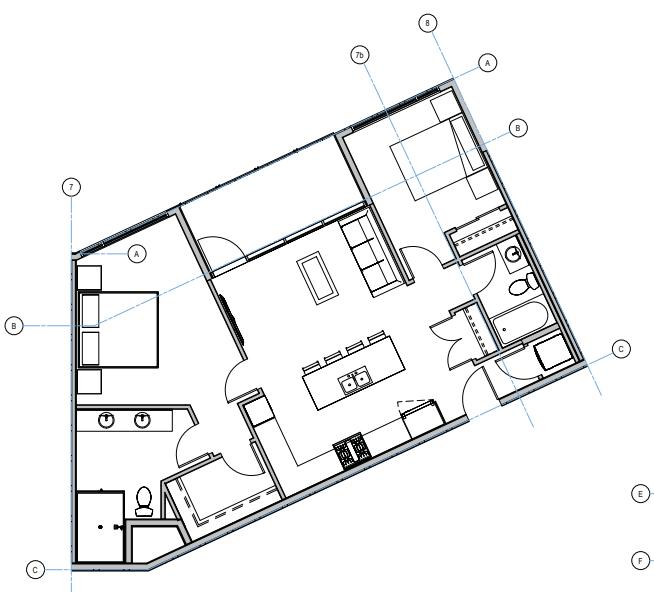
A4.40.DP

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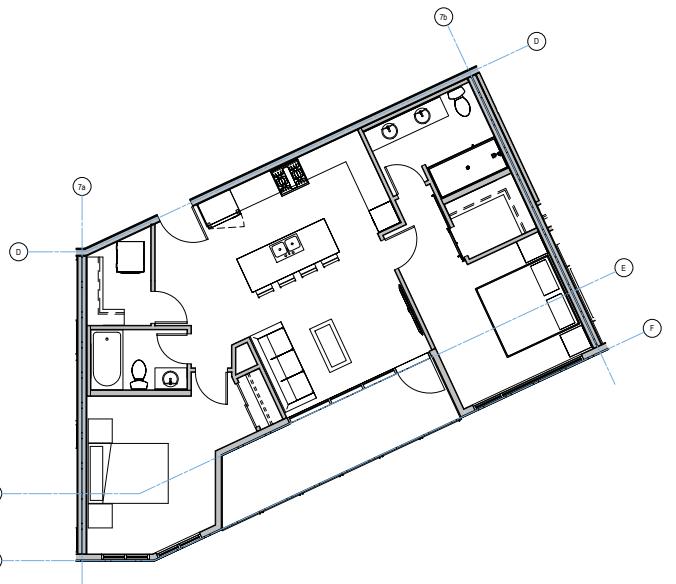
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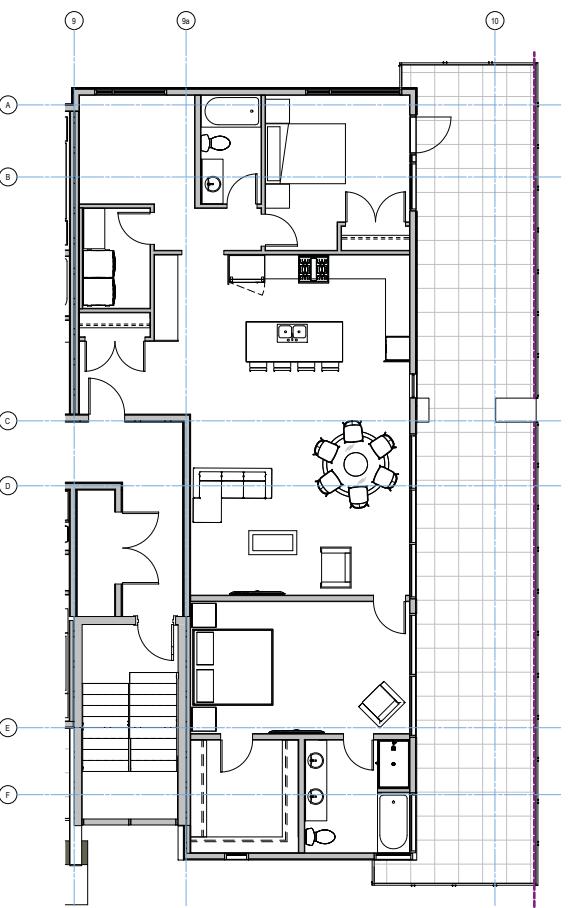
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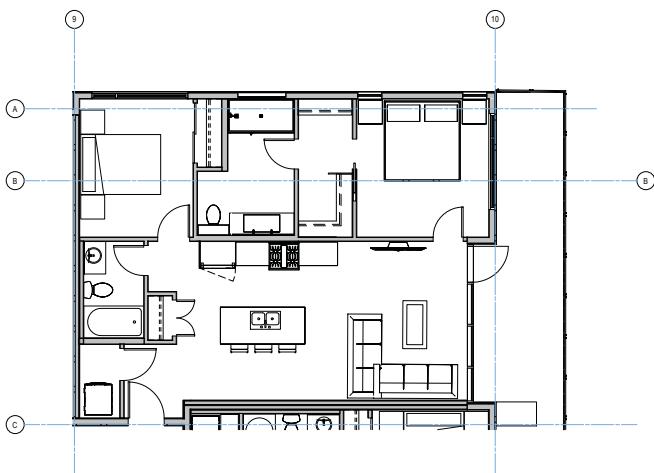
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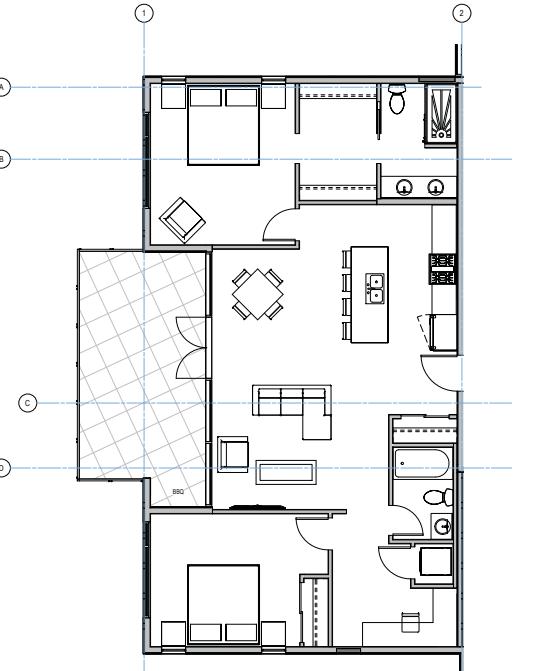
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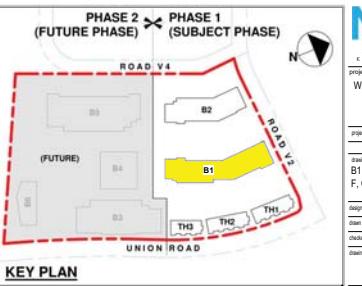
UNIT TYPE 'G' - 2 BED

SCALE: 1/4" = 2'-0"



UNIT TYPE 'H' - 2 BED/DEN

SCALE: 1/4" = 2'-0"



KEY PLAN



302-2227 LICKIE ROAD
ELLOWNA BC V1X 4T5

project title:

2001

drawing no:

B1- UNIT PLANS - TYPES E,

F, G, H & J

sheet no:

P1

scale:

1/4"

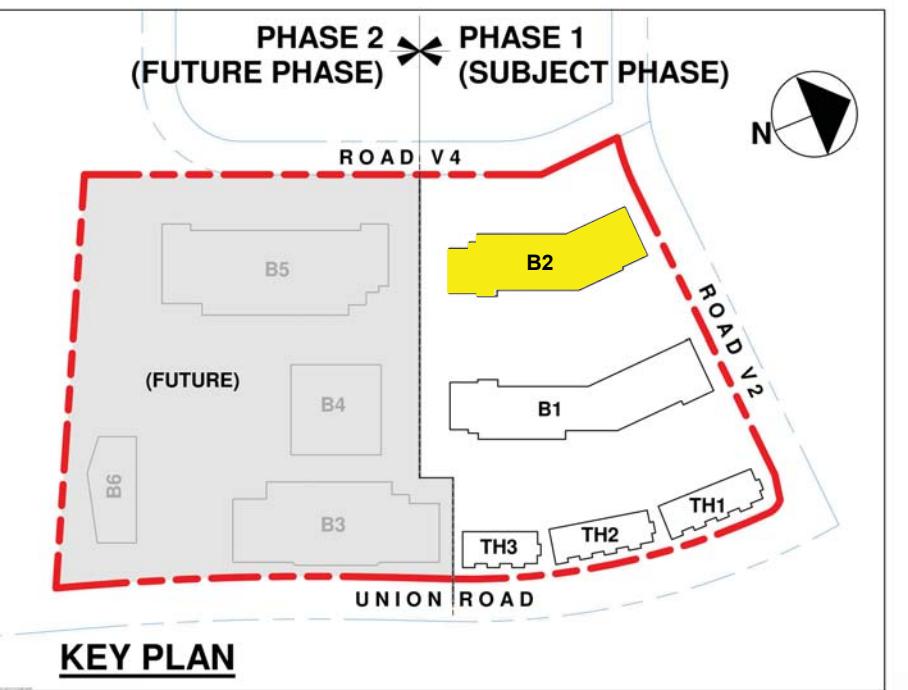
isometric:

Y

drawings:

9503441107.PDF

A4.41.DP



CONSULTANTS:

DRAWING INDEX:

SYMBOL LEGEND:

BUILDING STATISTICS:

ARCHITECTURAL
NOVATION ARCHITECTURE LTD.

302-2237 LICKIE ROAD

KELowna, BC V1X 4Y5

TEL: (250) 420-4144

FAX: (250) 420-4144

SUBMISSIONS

FERGUSON LAND SURVEYING &

GEODATA INC.

#404-1630 PANDORAY STREET

KELowna, BC V1Y 4P7

TEL: (250) 753-3115, EXT. 107

FAX: (250) 753-4321

NO. NAME
 A5.00.DP B2 - COVER SHEET
 A5.10.DP B2 - MAIN FLOOR PLAN
 A5.11.DP B2 - SECOND & THIRD FLOOR PLAN
 A5.12.DP B2 - FOURTH & FIFTH FLOOR PLAN
 A5.13.DP B2 - SIXTH FLOOR PLAN
 A5.14.DP B2 - SEVENTH FLOOR PLAN
 A5.20.DP B2 - ELEVATIONS
 A5.21.DP B2 - ELEVATIONS
 A5.30.DP B2 - BUILDING SECTION AA, BB & CC
 A5.31.DP B2 - BUILDING SECTION DD
 A5.40.DP B2 - UNIT PLANS - TYPES A, B, C, D & E
 A5.41.DP B2 - UNIT PLANS - TYPES F, G & H
 TOTAL SHEETS: 12

BUILDING SECTION
 SECTION NUMBER
 LOCATION OF SECTION DRAWING

WALL SECTION
 SECTION NUMBER
 LOCATION OF SECTION DRAWING

DETAIL
 DETAIL NUMBER
 LOCATION OF DETAIL DRAWING

DOOR TAGS
 0'-0" x 0"- DOOR SIZE

WINDOW TAGS
 W01 WINDOW TYPE -
 SEE WINDOW DETAILS

ASSEMBLY TAGS
 ASSEMBLY TYPE -
 SEE CONSTRUCTION SCHEDULE

Building 2 Statistics					
LEVEL/Floor Breakdown	LEVEL	SF AREA (per P.A.R. Proposed)	UNIT COUNT		
Commercial Units		1000 SF	10		
Residential Units		450 SF	10		
Total		1450 SF	20		
Unit Breakdown	LEVEL	1 BED	2 BEDS	3 BED	TOTAL
Second Floor		4	6	0	11
Third Floor		4	6	0	11
Fourth Floor		4	6	0	11
Fifth Floor		4	6	0	11
Sixth Floor		4	6	0	11
Total		24	36	0	60
Common & Private Amenity Space					
	FACTOR (sq.m.)			COUNT	
1 BED	Rate	10.00	per One Bedroom	16	
1 BEDROOM	Rate	10.00	per One Bedroom	0	
2 BED	Rate	20.00	per One Bedroom	23	
2 BEDROOM	Rate	20.00	per One Bedroom	0	
3 BED	Rate	30.00	per One Bedroom	4	
3 BEDROOM	Rate	30.00	per One Bedroom	0	
4.0 sq.m. per Unit Required as "Common Amenity Space"					
Reminder Required as "Private Amenity Space"					
Total Required Amenity					

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Novation
 ARCHITECTURE LTD.

302-2237 LICKIE ROAD

KELowna, British Columbia

Project Site:

WILDEN MARKET SQUARE

Address: Kelowna, British Columbia

Project No.: 23011

Drawing Site:

B2 - COVER SHEET

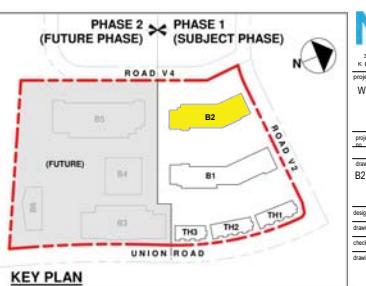
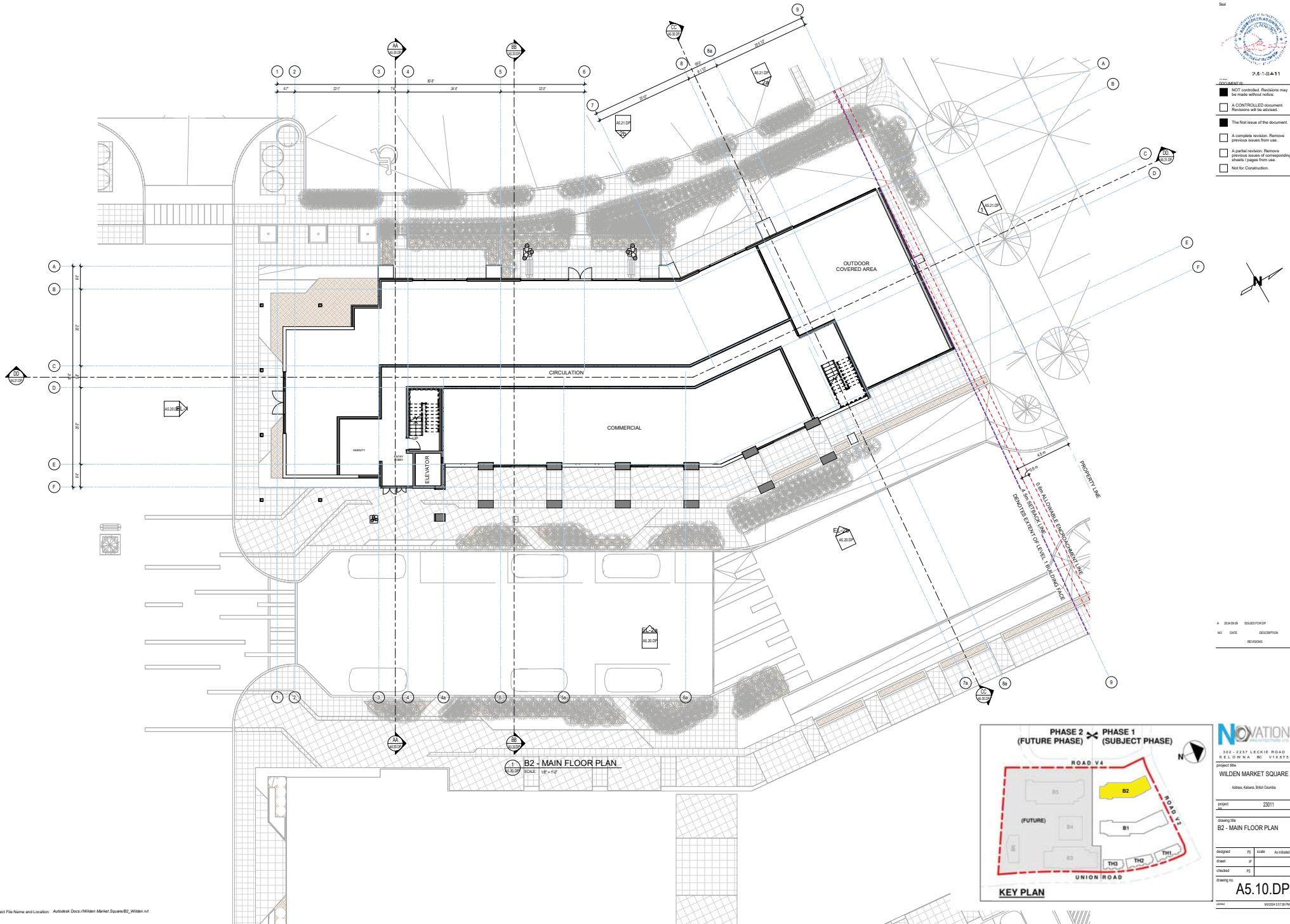
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Project File Name and Location: Autodesk Docs://Wilden Market Square/B2_Wilden.nwd



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3 B2 - THIRD FLOOR PLAN

3 B2 - THIRD FLOOR PLAN

2 B2 - SECOND FLOOR PLAN
15.20.DP SCALE: 1/8" = 1'-0"

2024.09.09 ISSUED FOR DP

PHASE 2 PHASE 1
(FUTURE PHASE) (SUBJECT PHASE)

NOVATION
ARCHITECTURE LTD.
102-2237 LECKIE ROAD
PO BOX 10000
Penticton BC V1X 6Y5
ext 956
GOLDEN MARKET SQUARE

ect	23011
ing title	
- SECOND & THIRD	
LOOR PLAN	

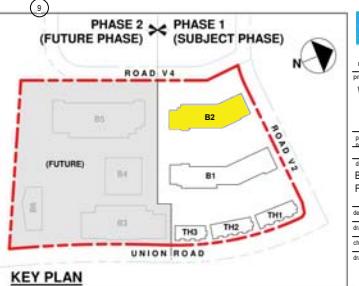
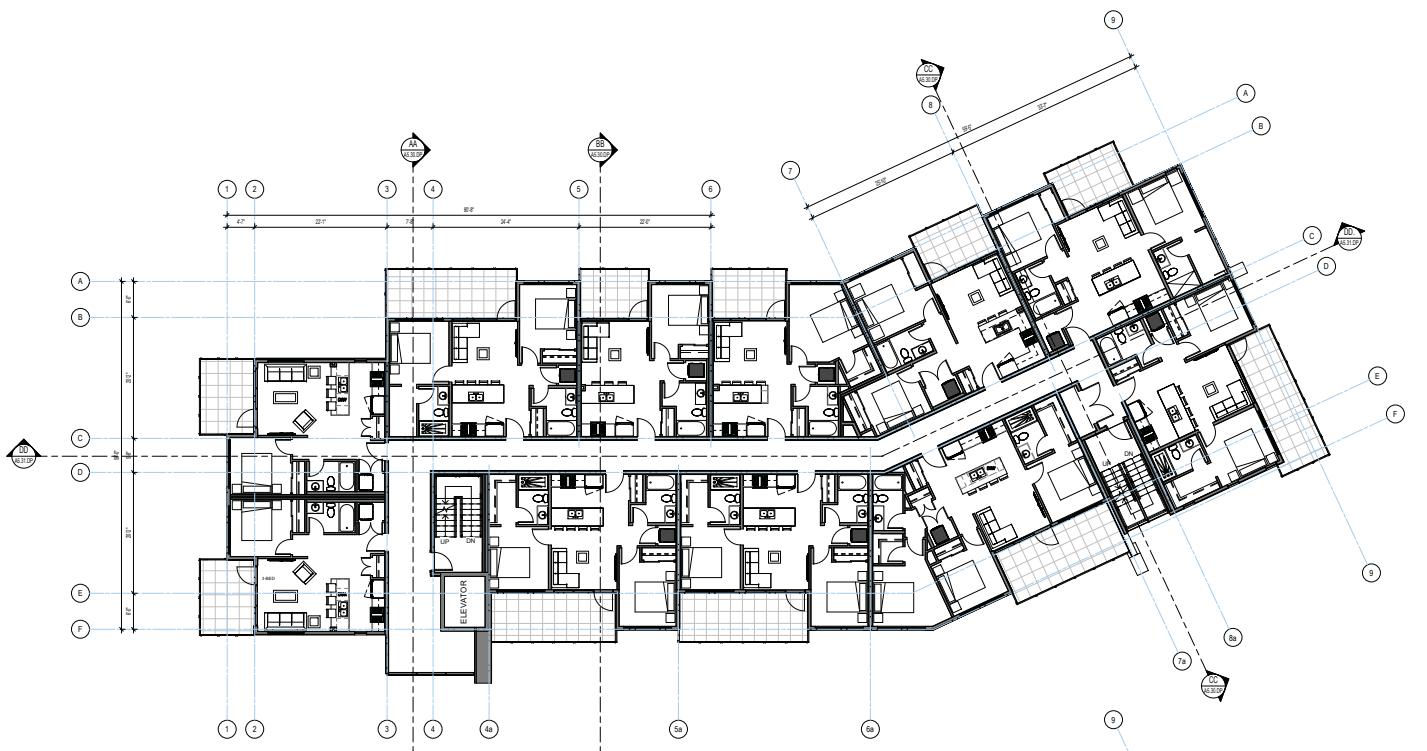
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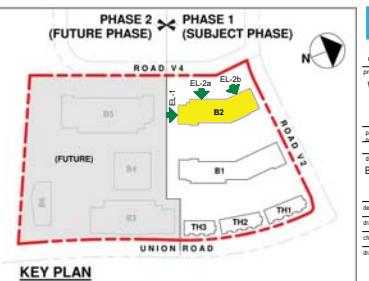


B2 - ELEVATION
SCALE: 18'-0" x 1'-0"



MATERIAL LEGEND	DESCRIPTION
7	CLEAR GLASS
10	BLACK FASCIA
12	GLASS GUARD RAIL

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REVISIONS



NOVATION
ARCHITECTURE LTD.

302 - 2227 LECKIE ROAD
KELOWNA, BC V1V 5

project title: WILDEN MARKET SQUARE

Address: Kelowna, British Columbia

project no.: 20011

drawing title: B2 - ELEVATIONS

designed by: P.E. Scale: As indicated

drawn by: P.E. Scale: As indicated

checked by: P.E. Scale: As indicated

drawing no.: A5.20.DP

dated: 9/20/2016

950204-022517W



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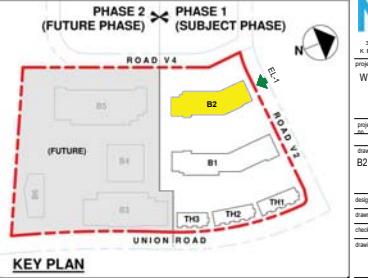
2a B2 ELEVATION

2b B2 - ELEVATION
5.10.DP SCALE: 1/8" = 1'-0"



B2 - ELEVATION

PHASE 2 ✕ **PHASE 1**
(FUTURE PHASE) **(SUBJECT PHASE)**



NOVATION
ARCHITECTURE LTD.
302-3333 LEGGIE ROAD

WILDEN MARKET SQUARE

Address, Kelowna, British Columbia

Z3011

2 - ELEVATIONS

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Group	PS	Score	As indicated
1	IP		

cked PS

A5.21.DF

A5.21.DP

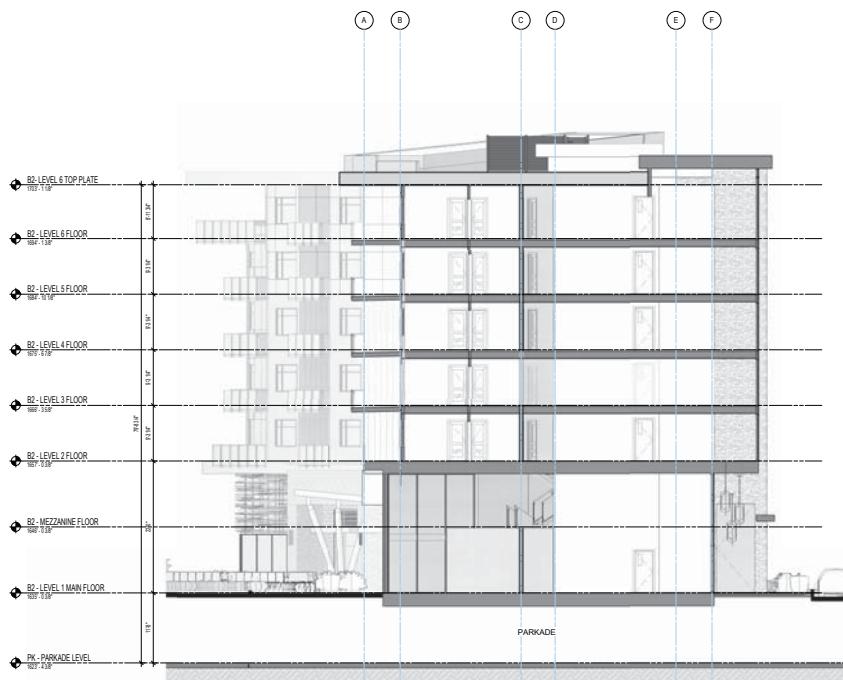
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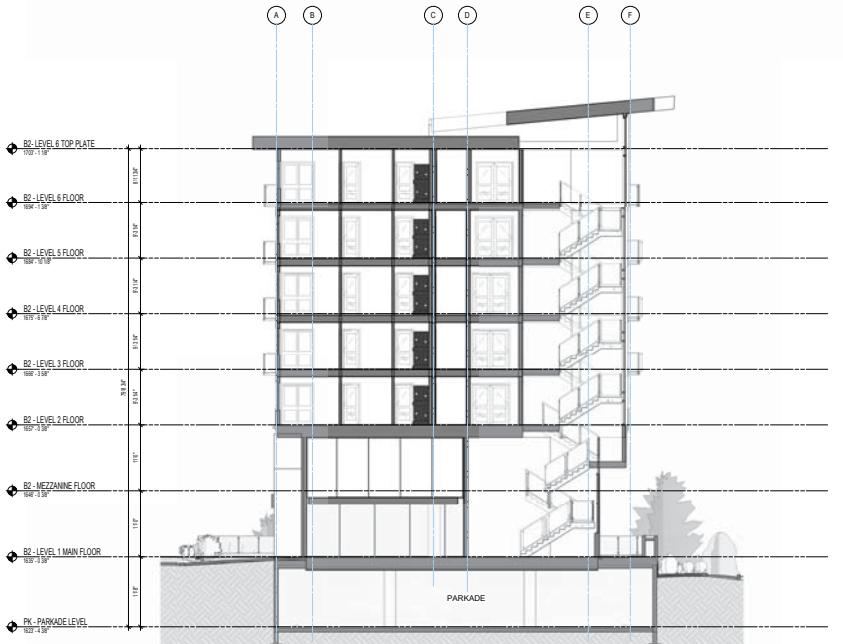
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B2 - BUILDING SECTION

SCALE 1/8" = 1'-0"



B2 - BUILDING SECTION

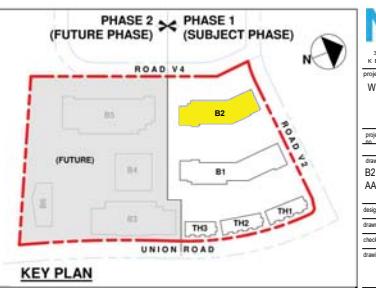
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B2 - BUILDING SECTION

SCALE 1/8" = 1'-0"

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ARCHITECTURE LTD.
302 - 2227 LICKIE ROAD
KELOWNA BC V1V 5X5

project no. 23011
drawing no. B2 - BUILDING SECTIONS
AA, BB & CC

designed by P.E. scaled 1/8" = 1'-0"
drawn by P.E. checked by P.E.
checked by P.E.

drawn no. A5.30.DP
checked no. 90204-0304.PW

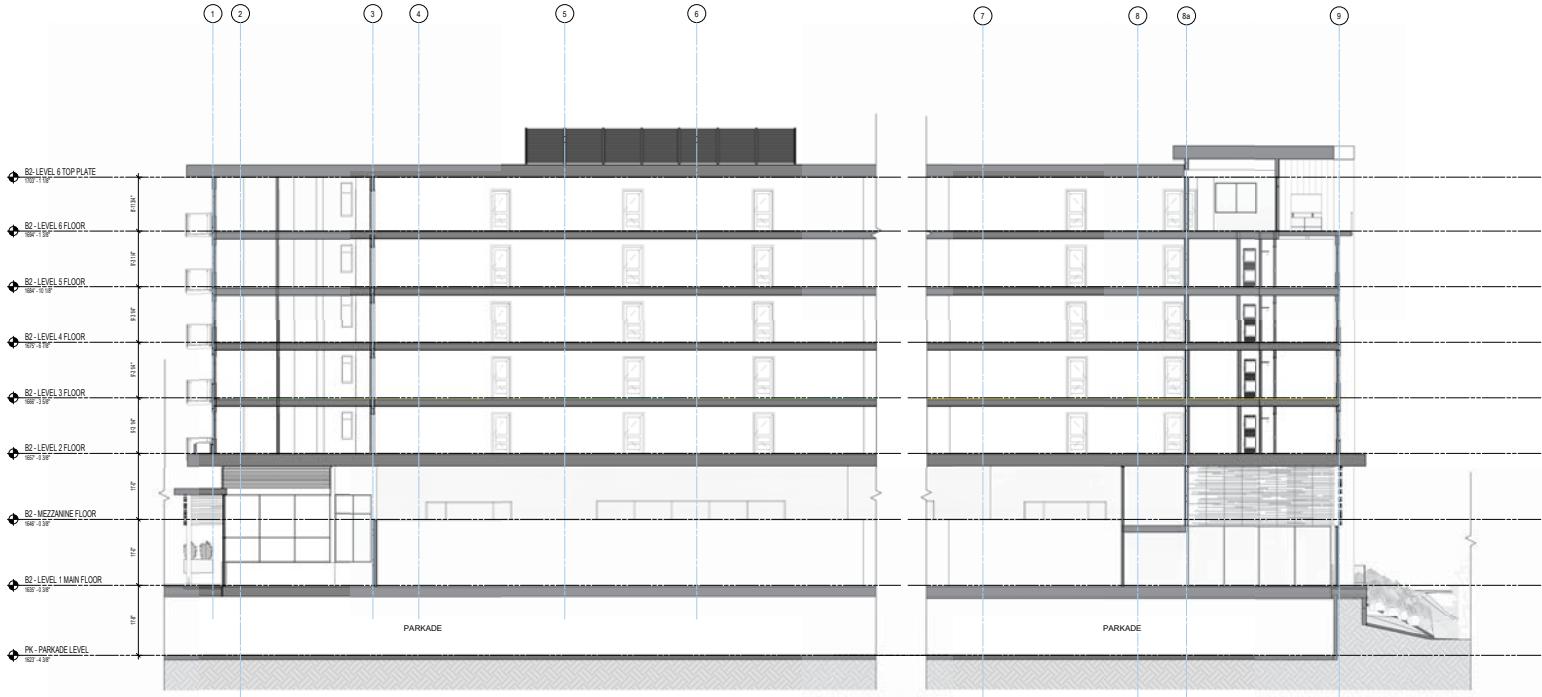
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Page 1 of 1



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 ARCHITECTURE LTD
 302 - 2227 LECKIE ROAD
 KELowna BC V1X 5Y5

project title
 Wilden Market Square

project no.
 23011

drawing title
 B2 - BUILDING SECTION DD

designed by
 P.E. SCARB. AIA member

drawn by
 P.E.

checked by
 P.E.

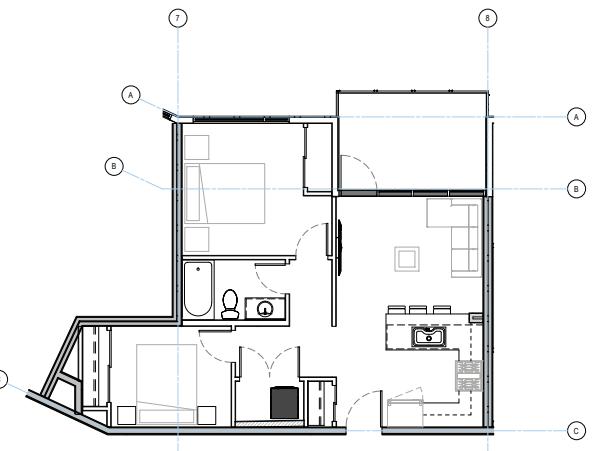
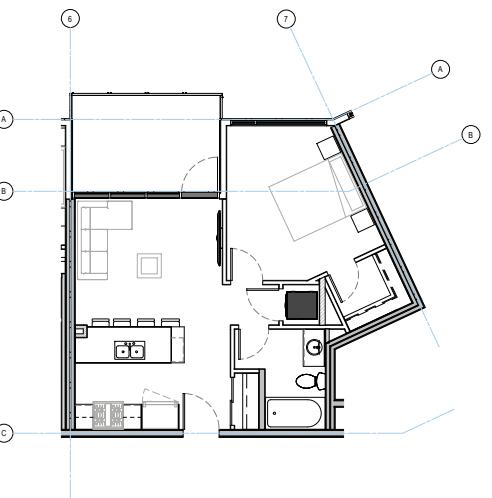
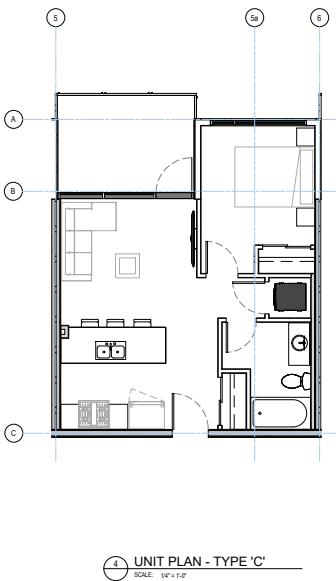
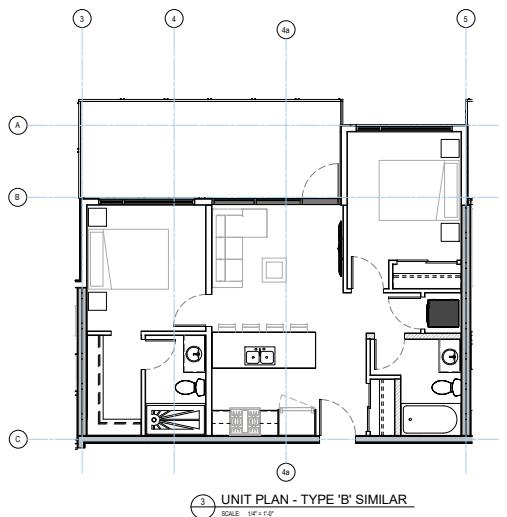
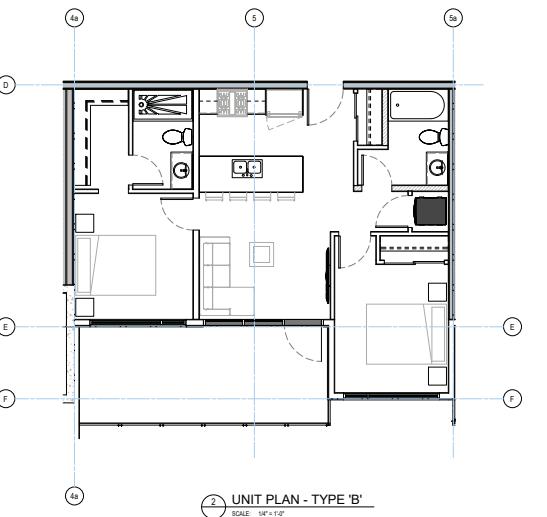
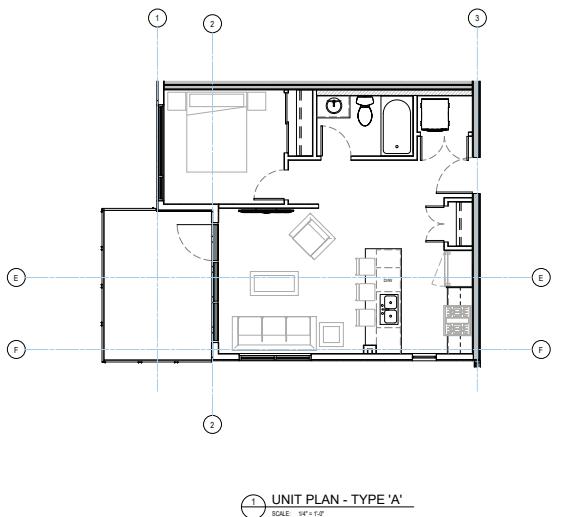
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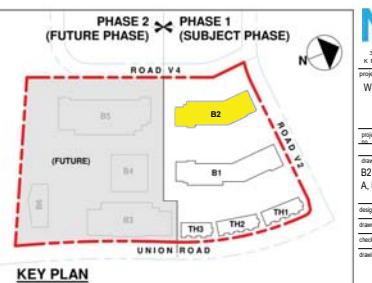


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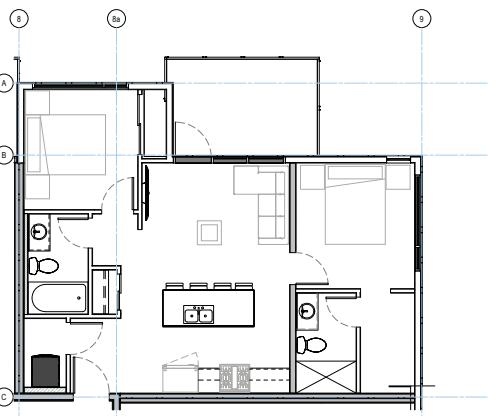
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302 - 2237 LEXIE ROAD KELOWNA BC V1X 6X9			
Project Site			
WILDEN MARKET SQUARE			
Address, Kelowna, British Columbia			
Project Name	23011		
Drawing Title			
32 - UNIT PLANS - TYPES A, B, C, D & E			
Designed By	PS	scale	as indicated
	IP		
checked by	PS		
Drawing no.			
A5.40.DP			
dated	8/6/2024 11:41 PM		

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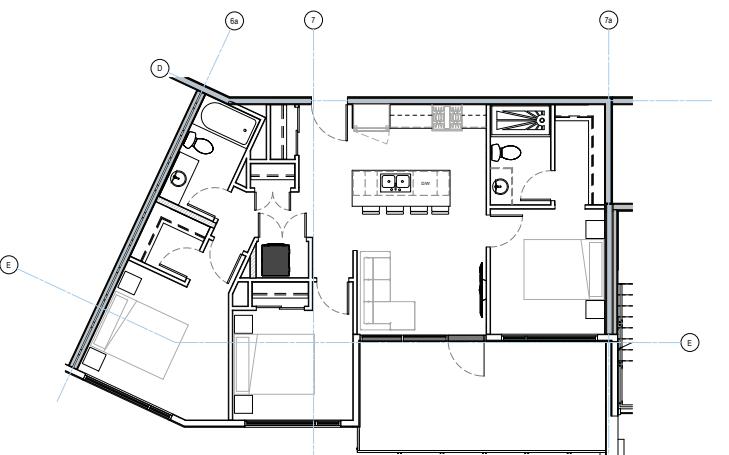


2015-01-11

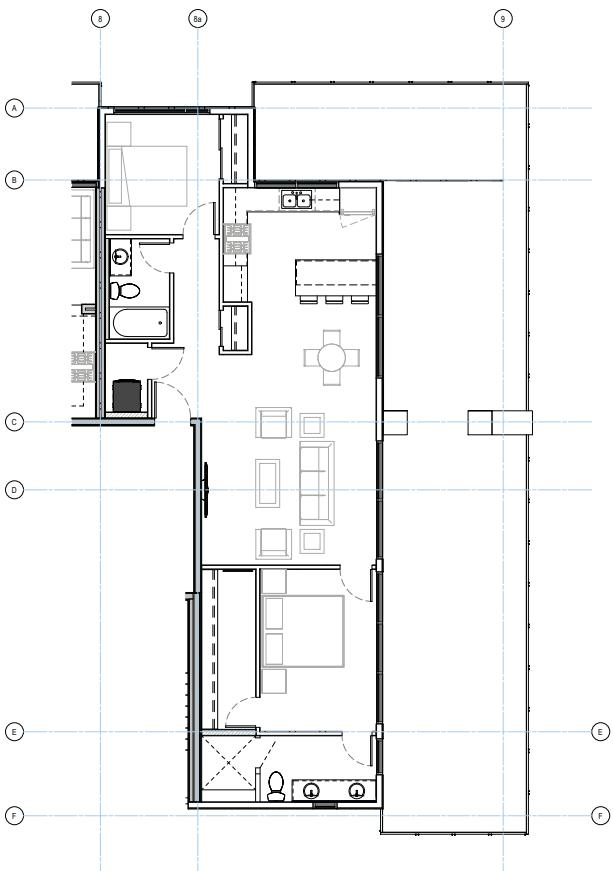
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1 UNIT PLAN - TYPE F
SCALE: 1/4" = 1'-0"

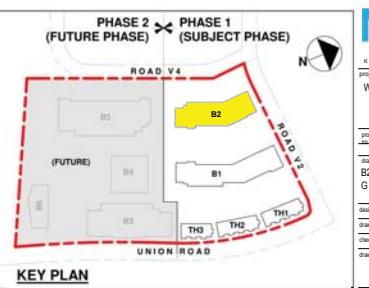


2 UNIT PLAN - TYPE G
SCALE: 1/4" = 1'-0"



3 UNIT PLAN - TYPE H
SCALE: 1/4" = 1'-0"

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ARCHITECTURE LTD.
302 - 2227 LECKIE ROAD
KELOWNA BC V1V 5Y5
project title: Wilden Market Square
Address: Kelowna British Columbia
project no.: 23011
drawing title: B2 - UNIT PLANS - TYPES F, G & H
designed by: P.E. Scale: 1/4" = 1'-0"
drawn by: P.E. checked by: P.E.
drawing no.: A5.41.DP
sheet no.: 902041154797

WILDEN MARKET SQUARE - PHASE 1

KELOWNA
FORT Langley
VANCOUVER

Issued for Development Permit

Contact Information

VDZ+A

Project Landscape Architecture

**Kelowna Studio
302 - 1181 Sunset Drive
Kelowna, British Columbia, V1Y 0L4**

Fort Langley Studio
102 - 9181 Church Street
Fort Langley, British Columbia, V1M 2R8

Mount Pleasant Studio
102-355 Kingsway
Vancouver, British Columbia, V5T 3J7

Primary project contact:
Ishan Mohan
Landscape Designer
ishan@vdz.ca
604.546.2832

Alternate contacts (incase away)
Mark van der Zalm
Principal Landscape Architect
mark@vdz.ca
o 604 546 0920

Key Project Contacts

Wilden Project Owner

11454 Rocky Point Drive
Kelowna, BC V1V 3E3

Ryan Wheeler
ryanw@wilden.ca
250 762 2325

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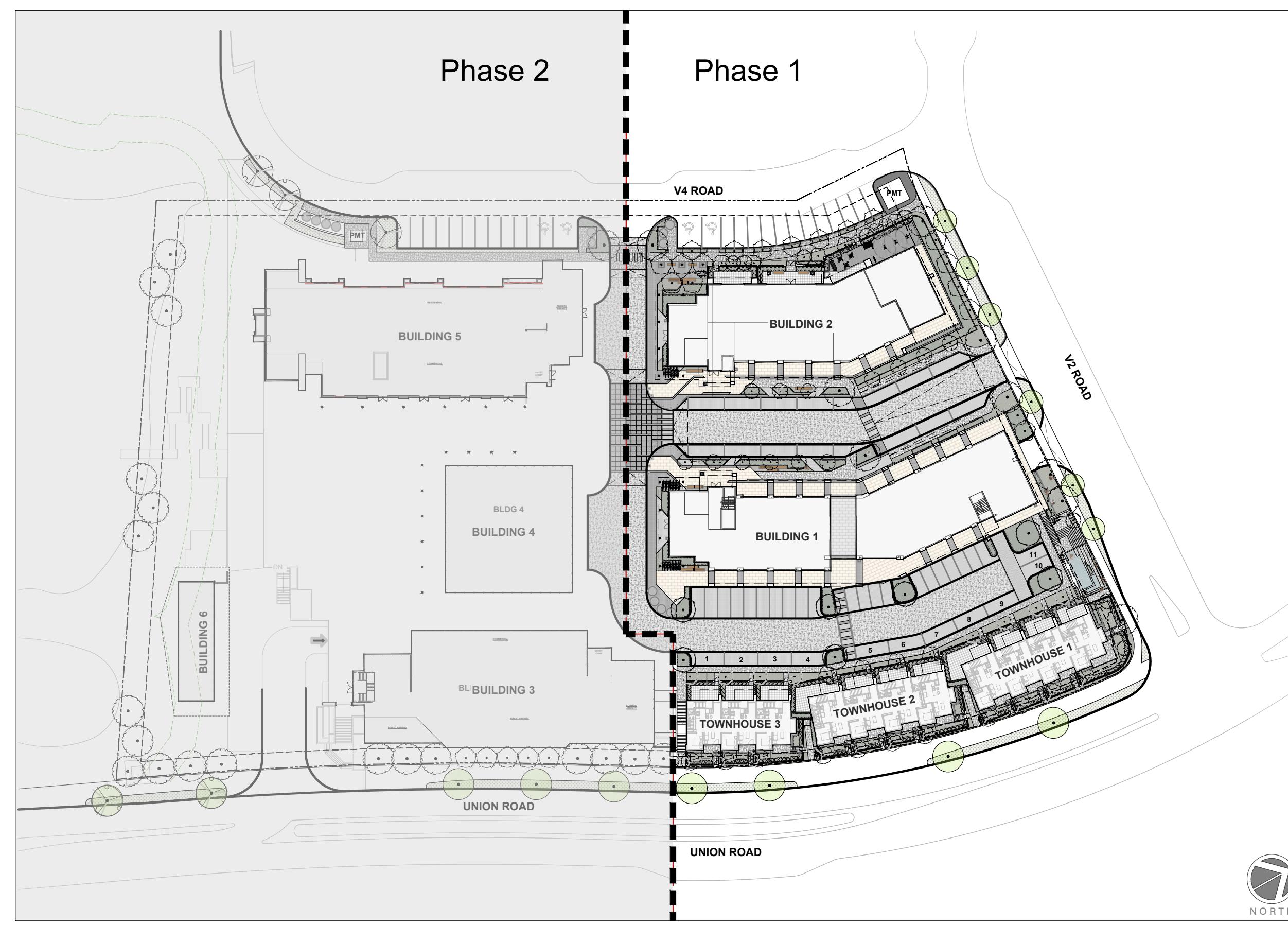
Project Architect

302 - 2237 Leckie Road
Kelowna, BC V1X 6Y5

Inder Pabla
inder@novationarchitecture.com
236 420 4144

Sheet List Table	
Sheet Number	Sheet Title
L-00	COVER SHEET
L-01	OVERALL CONCEPT SITE PLAN
L-02	LANDSCAPE PLAN - PHASE 1
L-02A	LANDSCAPE PLAN-A
L-02B	LANDSCAPE PLAN-B
L-02C	LANDSCAPE PLAN-C
L-02D	LANDSCAPE PLAN-D
L-02E	LANDSCAPE PLAN-E
L-02F	LANDSCAPE PLAN-F
L-03	PLANTING PALETTE
L-03A	PLANTING PLAN-A
L-03B	PLANTING PLAN-B
L-03C	PLANTING PLAN-C
L-03D	PLANTING PLAN-D
L-03E	PLANTING PLAN-E
L-03F	PLANTING PLAN-F

LS-01	SECTIONS - HIGH STREET
LS-02	SECTIONS - HIGH STREET
LS-03	SECTIONS - TOWNHOUSE
LS-04	SECTIONS - TOWNHOUSE
LS-05	SECTIONS - TOWNHOUSE
LS-06	SECTIONS - WATER FEATURE - V2 ROAD ENTRANCE
LD-01	HARDSCAPE DETAILS
LD-02	HARDSCAPE DETAILS
LD-03	HARDSCAPE DETAILS
LD-04	SOFTSCAPE DETAILS
LD-05	FURNITURE DETAILS
LD-06	FURNITURE DETAILS



SITE PLAN OVERVIEW

ZARDOZI PROJECT/DEVEL OMENT PERMIT/ACTIVE/DPD2022 26 WII DEN MARKET SQUARE/ DWA/SHEETS/PHASE 1W 00 COVED SHEET DWO



2 LOCATION MAP NTS

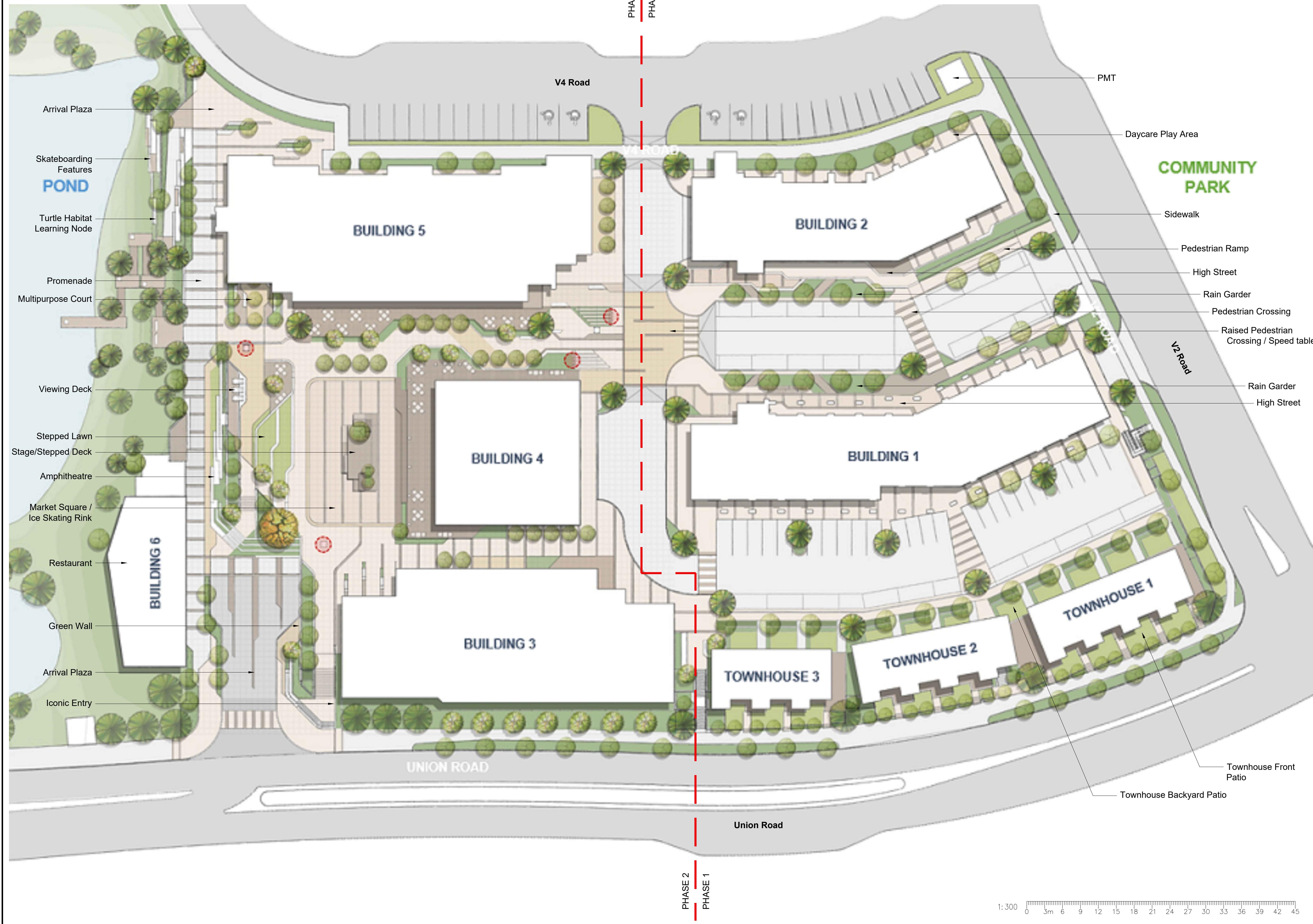
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REV.	BY	DESCRIPTION	DATE
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REVISIONS TABLE FOR SHEET			
<p>Project: WILDEN MARKET SQUARE - PHASE 1</p>			
<p>Location: UNION ROAD KELOWNA, B.C.</p>			
Drawn: IM	Stamp: 		
Checked: MVDZ			
Approved: MVDZ	Original Sheet Size: 24"x36"		
	Scale: As Shown		

COVER SHEET

Drawing Title:

VDZ Project #: DP2023-36

Drawing #: L-00



OVERALL CONCEPT SITE PLAN

DP2023-36

Drawing #: L-01

Drawing Title:

VDZ Project #:

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	REV. BY	DESCRIPTION DATE

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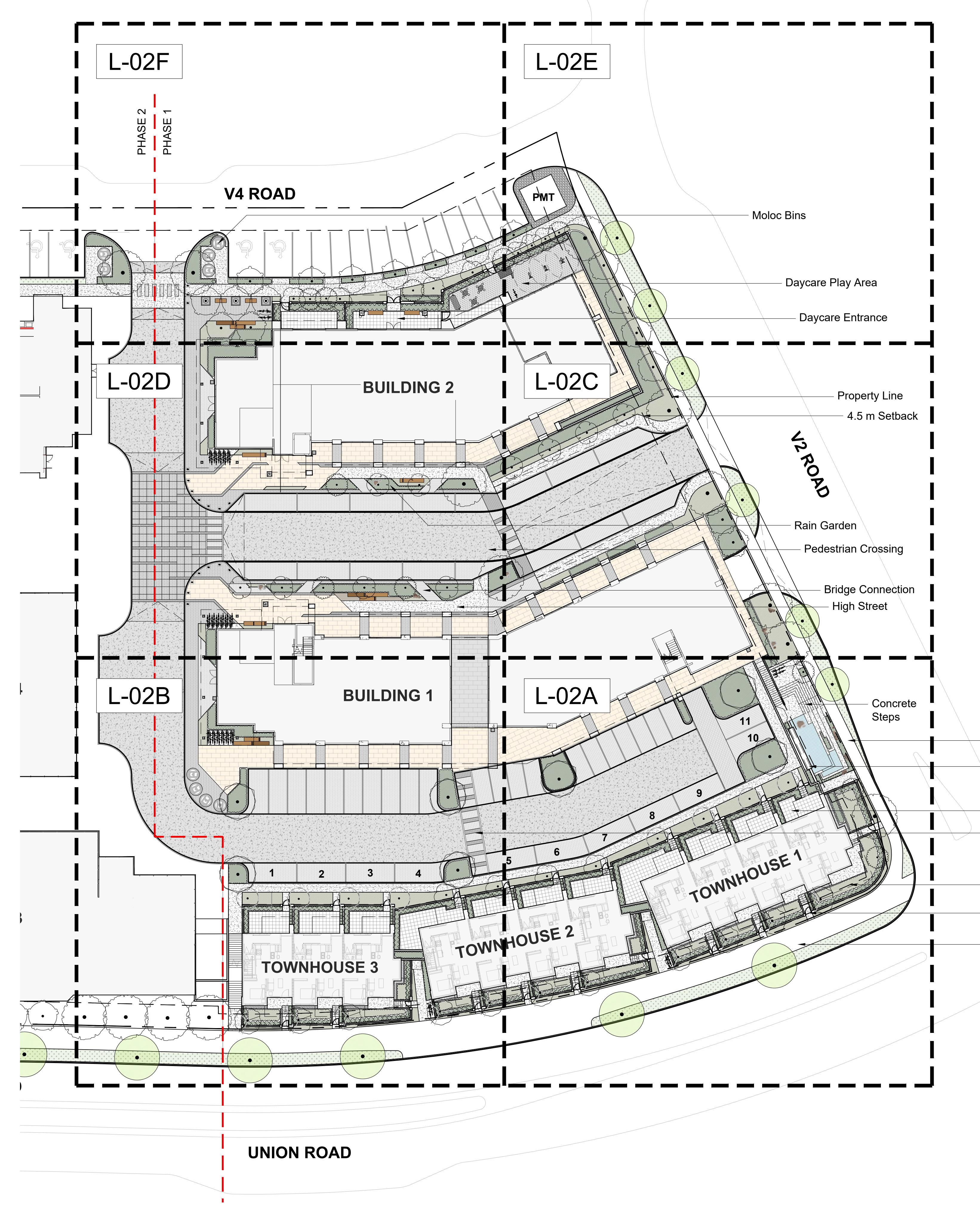
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Location: UNION ROAD KELOWNA, B.C.

Drawn:	Stamp:
IM DC	2024-09-06
Checked:	Mark van der Zalm 303 LANDSCAPE ARCHITECTURE
Approved:	Original Sheet Size: 24"x36"
	Scale: 1:300

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PLANT SCHEDULE PHASE 1

SYMBOL	BOTANICAL / COMMON NAME	CONT	CAL	QTY
TREES				
•	Acer ginnala / Amur Maple	B&B	5cm	9
•	Acer truncatum x platanoides 'JFS-KW202' / Crimson Sunset® Maple	B&B	6cm	13
•	Gleditsia triacanthos inermis 'Shademaster' / Shademaster Honey Locust	B&B	6cm	10
•	Magnolia stellata 'Royal Star' / Royal Star Magnolia	B&B	6cm cal	11
•	Malus x 'Spring Snow' / Spring Snow Crabapple	B&B	6cm cal	7
•	Populus tremuloides / Quaking Aspen	B&B	6cm	10
•	Quercus x warei 'Long' / Regal Prince® Oak	B&B	6cm	8
•	Sorbus aucuparia 'Cardinal Royal' / Cardinal Royal Mountain Ash	B&B	6cm	7
•	Syringa reticulata 'Ivory Silk' / Ivory Silk Japanese Tree Lilac	B&B	6cm	11
●	Existing Trees / Off-site Trees			
SIDEWALKS				
—	Sidewalk			
WATER FEATURES				
○	Water Feature with Wilden Sign and Logo			
PATIOS				
□	Townhouse Backyard Patios			
□	Pedestrian Crossing			
□	Townhouse Front Patio			
□	Townhouse Entrance from Sidewalk			
□	Sidewalk			

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1	IM	Issued for Development Permit	2024-09-06
REV. BY	DESCRIPTION	DATE	

REVISIONS TABLE FOR SHEET

Project: WILDEN MARKET SQUARE - PHASE 1

Location: UNION ROAD KELOWNA, B.C.

Drawn: Stamp: 2024-09-06
IM DC

Checked: MVDZ

Approved: MVDZ Original Sheet Size: 24"x36"

Scale: 1:300

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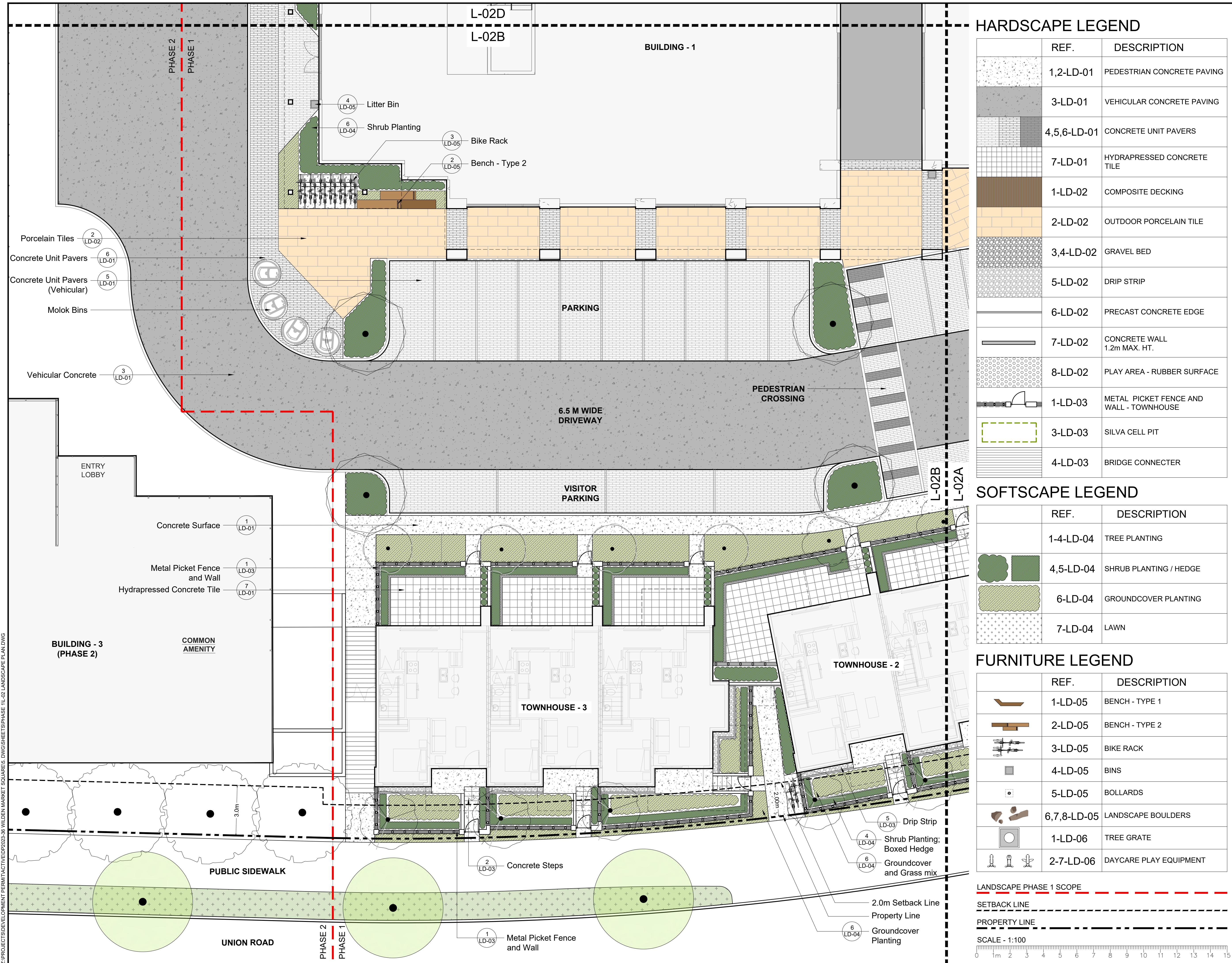
LANDSCAPE PLAN - PHASE 1
DP2023-36

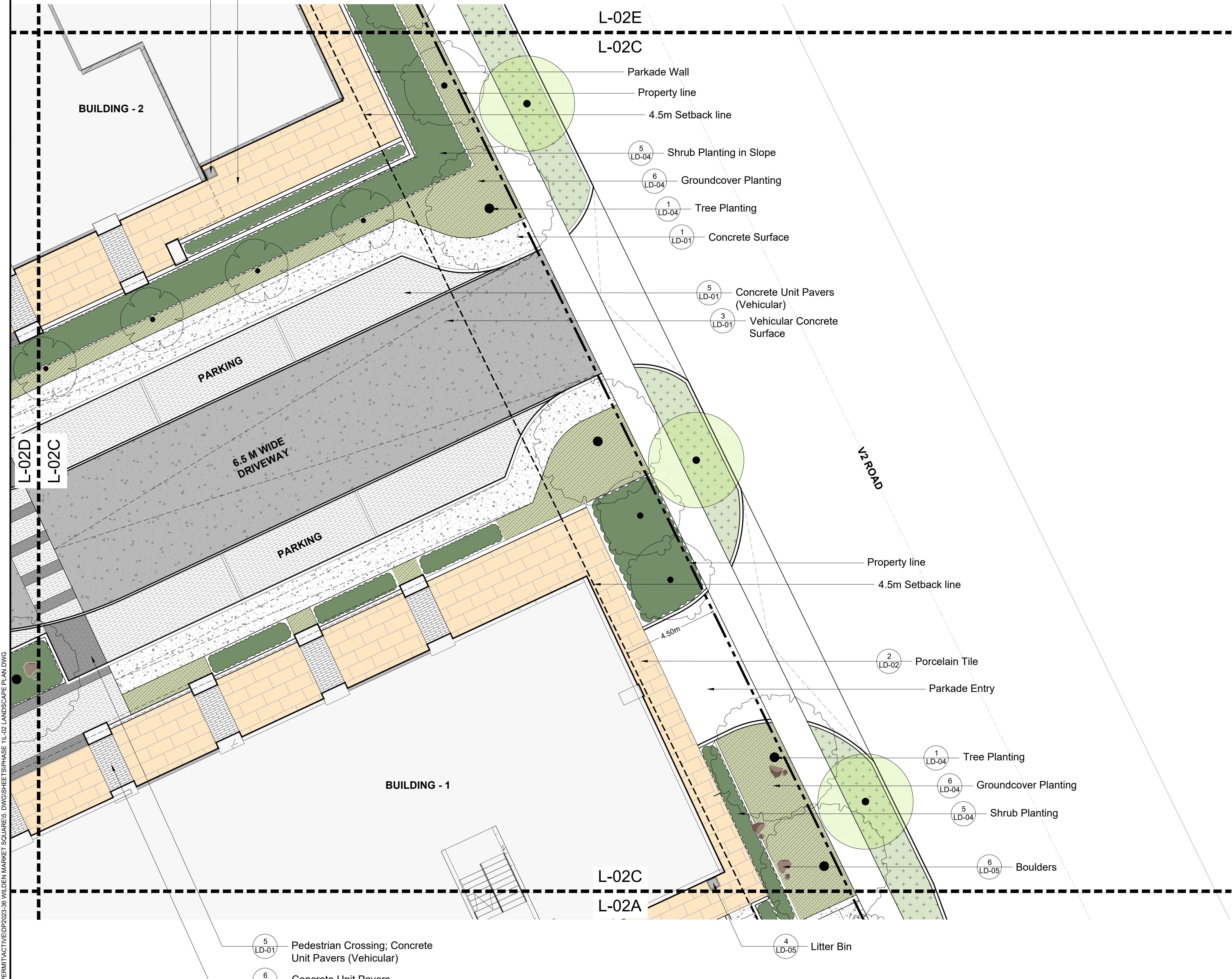
Drawing #: L-02

Drawing Title:

VDZ Project #:

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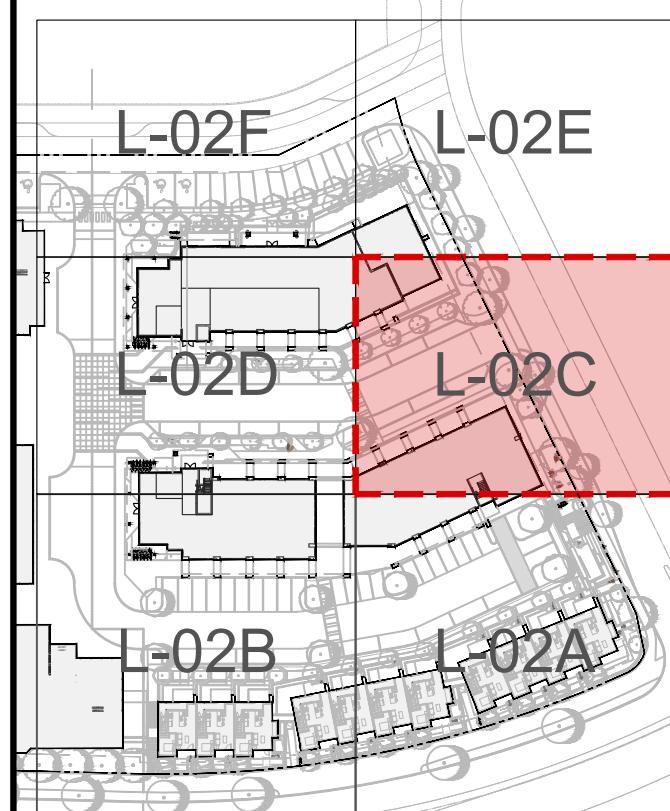




HARDSCAPE LEGEND

REF.	DESCRIPTION
1,2-LD-01	PEDESTRIAN CONCRETE PAVING
3-LD-01	VEHICULAR CONCRETE PAVING
4,5,6-LD-01	CONCRETE UNIT PAVERS
7-LD-01	HYDRAPRESSED CONCRETE TILE
1-LD-02	COMPOSITE DECKING
2-LD-02	OUTDOOR PORCELAIN TILE
3,4-LD-02	GRAVEL BED
5-LD-02	DRIP STRIP
6-LD-02	PRECAST CONCRETE EDGE
7-LD-02	CONCRETE WALL 1.2m MAX. HT.
8-LD-02	PLAY AREA - RUBBER SURFACE
1-LD-03	METAL PICKET FENCE AND WALL - TOWNHOUSE
3-LD-03	SILVA CELL PIT
4-LD-03	BRIDGE CONNECTER

Key Map (NTS)



SOFTSCAPE LEGEND

REF.	DESCRIPTION
1-4-LD-04	TREE PLANTING
4,5-LD-04	SHRUB PLANTING / HEDGE
6-LD-04	GROUNDCOVER PLANTING
7-LD-04	LAWN

FURNITURE LEGEND

REF.	DESCRIPTION
1-LD-05	BENCH - TYPE 1
2-LD-05	BENCH - TYPE 2
3-LD-05	BIKE RACK
4-LD-05	BINS
5-LD-05	BOLLARDS
6,7,8-LD-05	LANDSCAPE BOULDERS
1-LD-06	TREE GRATE
2-7-LD-06	DAYCARE PLAY EQUIPMENT

LANDSCAPE PHASE 1 SCOPE

SETBACK LINE

PROPERTY LINE

SCALE - 1:100

0 1m 2 3 4 5 6 7 8 9 10 11 12 13 14 15

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REV. BY DESCRIPTION DATE

REVISIONS TABLE FOR DRAWINGS

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REVISIONS TABLE FOR SHEET

Project: WILDEN MARKET SQUARE - PHASE 1

Location: UNION ROAD KELOWNA, B.C.

Drawn: IM Stamp: 2024-09-06

Checked: MVDZ Stamp: REGISTERED MEMBER BC LAWNSCAPE ARCHITECTS OF CANADA Mark van der Zalm 303

Approved: MVDZ Original Sheet Size: 24"x36"

Scale: 1:100

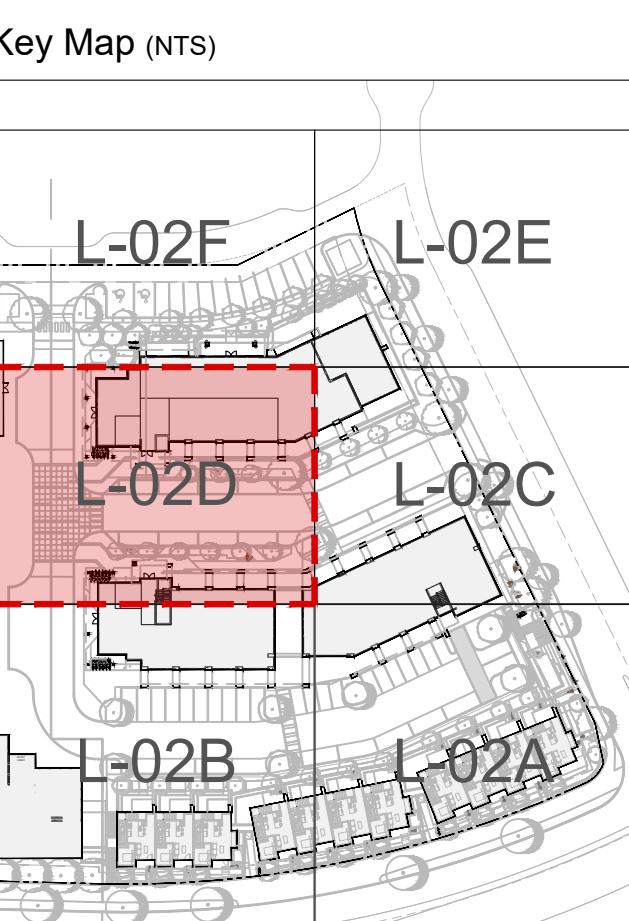
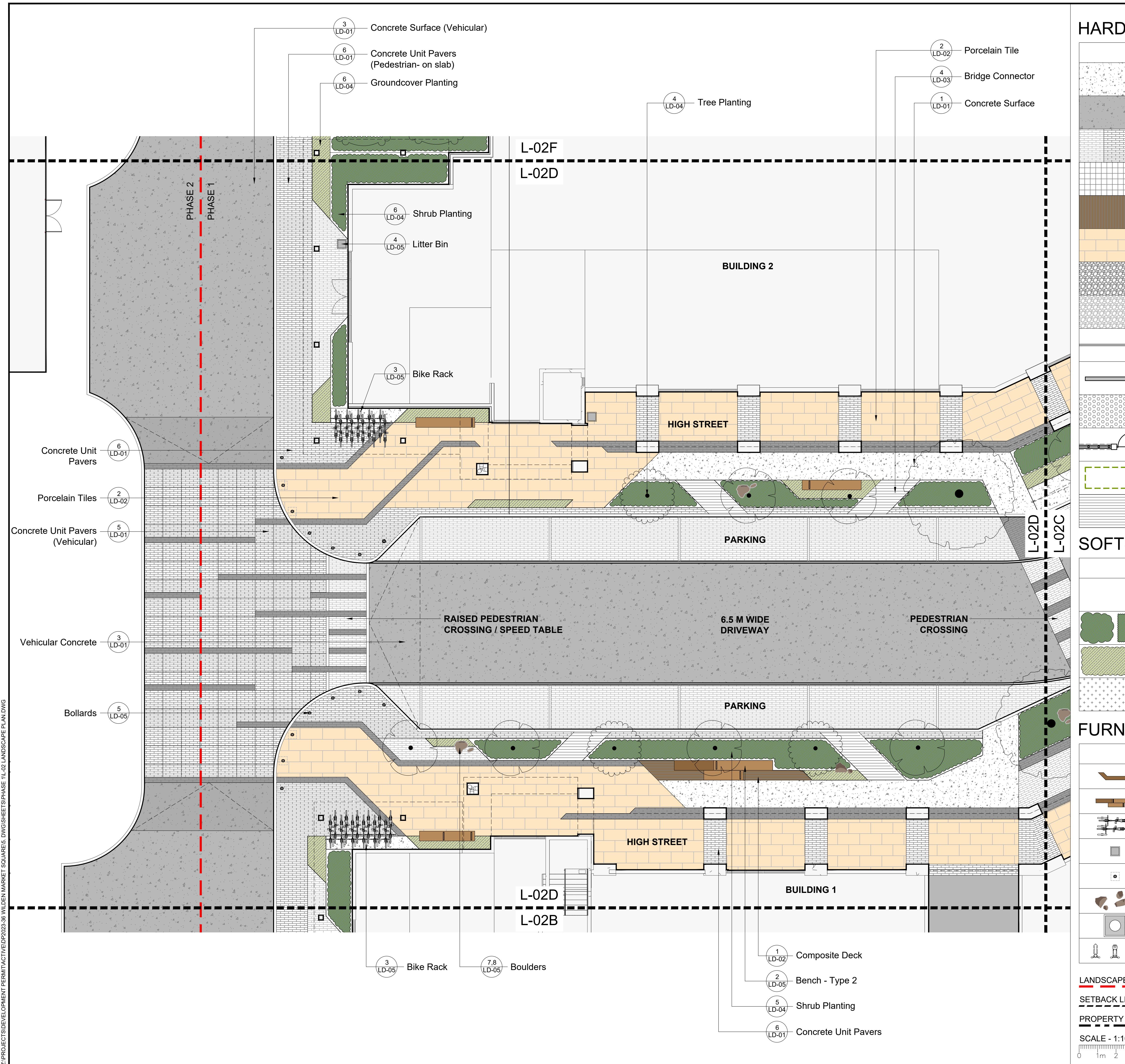
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LANDSCAPE PLAN-C

DP2023-36

Drawing #: L-02C

Drawing Title:



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	REV.	BY DESCRIPTION DATE

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	REV.	BY DESCRIPTION DATE

REVISIONS TABLE FOR SHEET

Project: WILDEN MARKET SQUARE - PHASE 1

Location: UNION ROAD KELOWNA, B.C.

Drawn: Stamp: BC PROFESSIONAL COUNCIL SOCIETY OF REGISTERED LANDSCAPE ARCHITECTS OF BRITISH COLUMBIA 2024-09-06
IM Mark van der Zalm

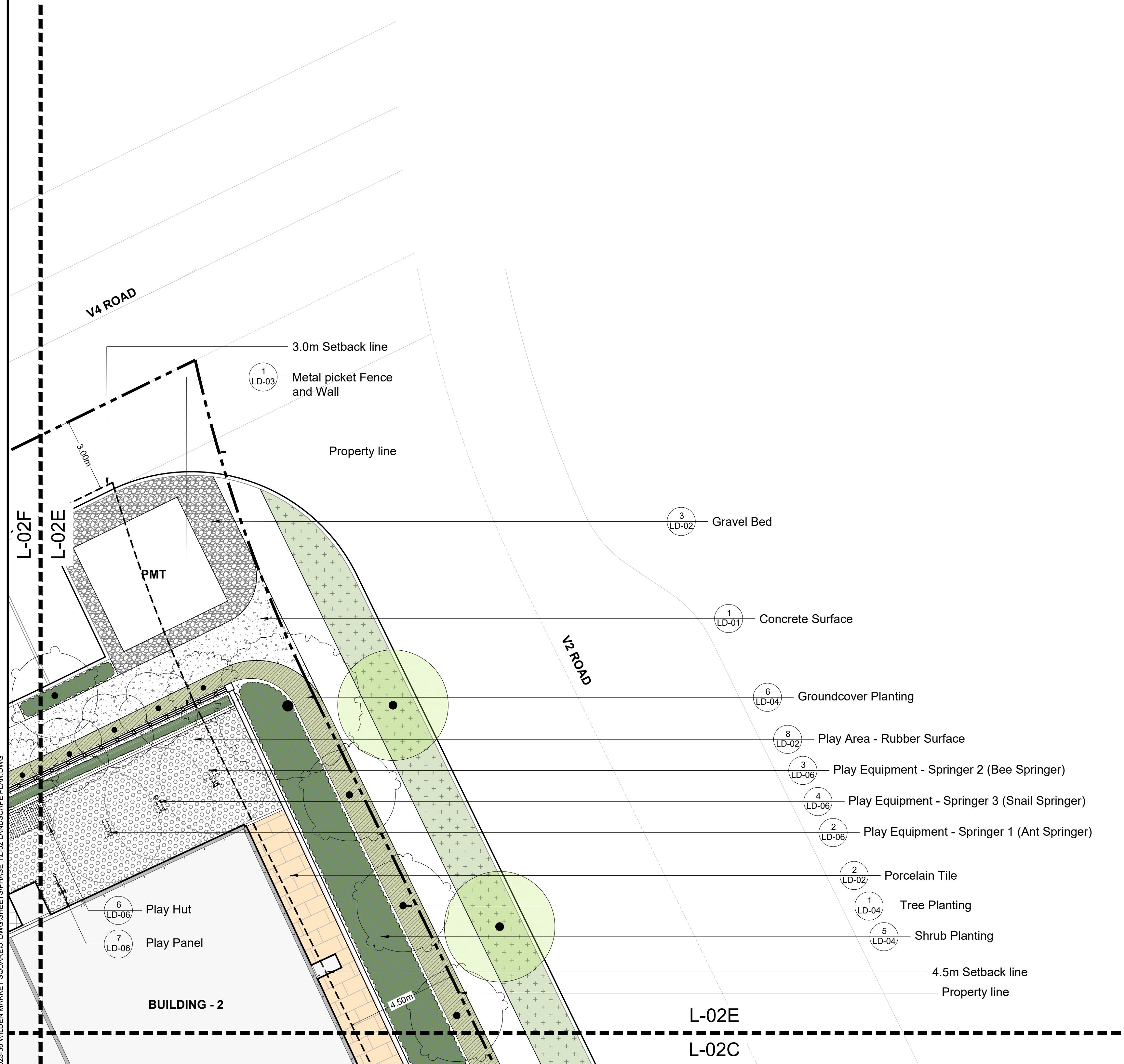
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Approved: MVDZ

Original Sheet Size:
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Scale: 1:100

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HARDSCAPE LEGEND

	REF.	DESCRIPTION
	1,2-LD-01	PEDESTRIAN CONCRETE PAVING
	3-LD-01	VEHICULAR CONCRETE PAVING
	4,5,6-LD-01	CONCRETE UNIT PAVERS
	7-LD-01	HYDRAPRESSED CONCRETE TILE
	1-LD-02	COMPOSITE DECKING
	2-LD-02	OUTDOOR PORCELAIN TILE
	3,4-LD-02	GRAVEL BED
	5-LD-02	DRIP STRIP
	6-LD-02	PRECAST CONCRETE EDGE
	7-LD-02	CONCRETE WALL 1.2m MAX. HT.
	8-LD-02	PLAY AREA - RUBBER SURFACE
	1-LD-03	METAL PICKET FENCE AND WALL - TOWNHOUSE
	3-LD-03	SILVA CELL PIT
	4-LD-03	BRIDGE CONNECTER

SOFTSCAPE LEGEND

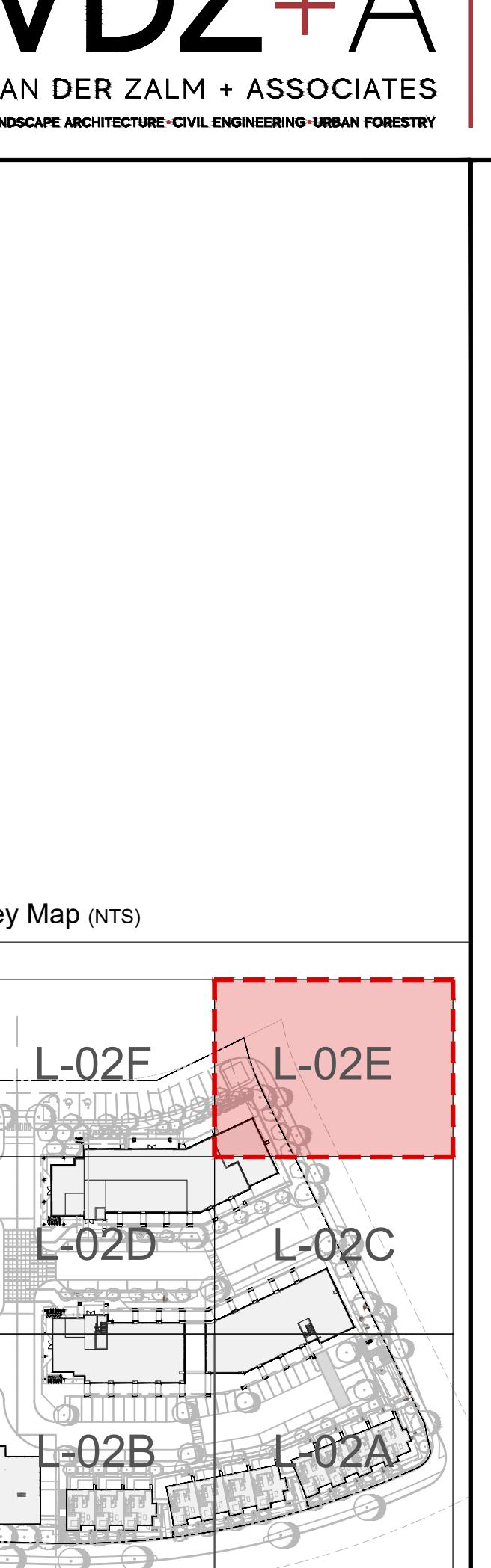
	REF.	DESCRIPTION
	1-4-LD-04	TREE PLANTING
	4,5-LD-04	SHRUB PLANTING / HEDGE
	6-LD-04	GROUNDCOVER PLANTING
	7-LD-04	LAWN

FURNITURE LEGEND

	REF.	DESCRIPTION
	1-LD-05	BENCH - TYPE 1
	2-LD-05	BENCH - TYPE 2
	3-LD-05	BIKE RACK
	4-LD-05	BINS
	5-LD-05	BOLLARDS
	6,7,8-LD-05	LANDSCAPE BOULDERS
	1-LD-06	TREE GRATE
	2-7-LD-06	DAYCARE PLAY EQUIPMENT

LANDSCAPE PHASE 1 SCOPE
SETBACK LINE
PROPERTY LINE
SCALE - 1:100

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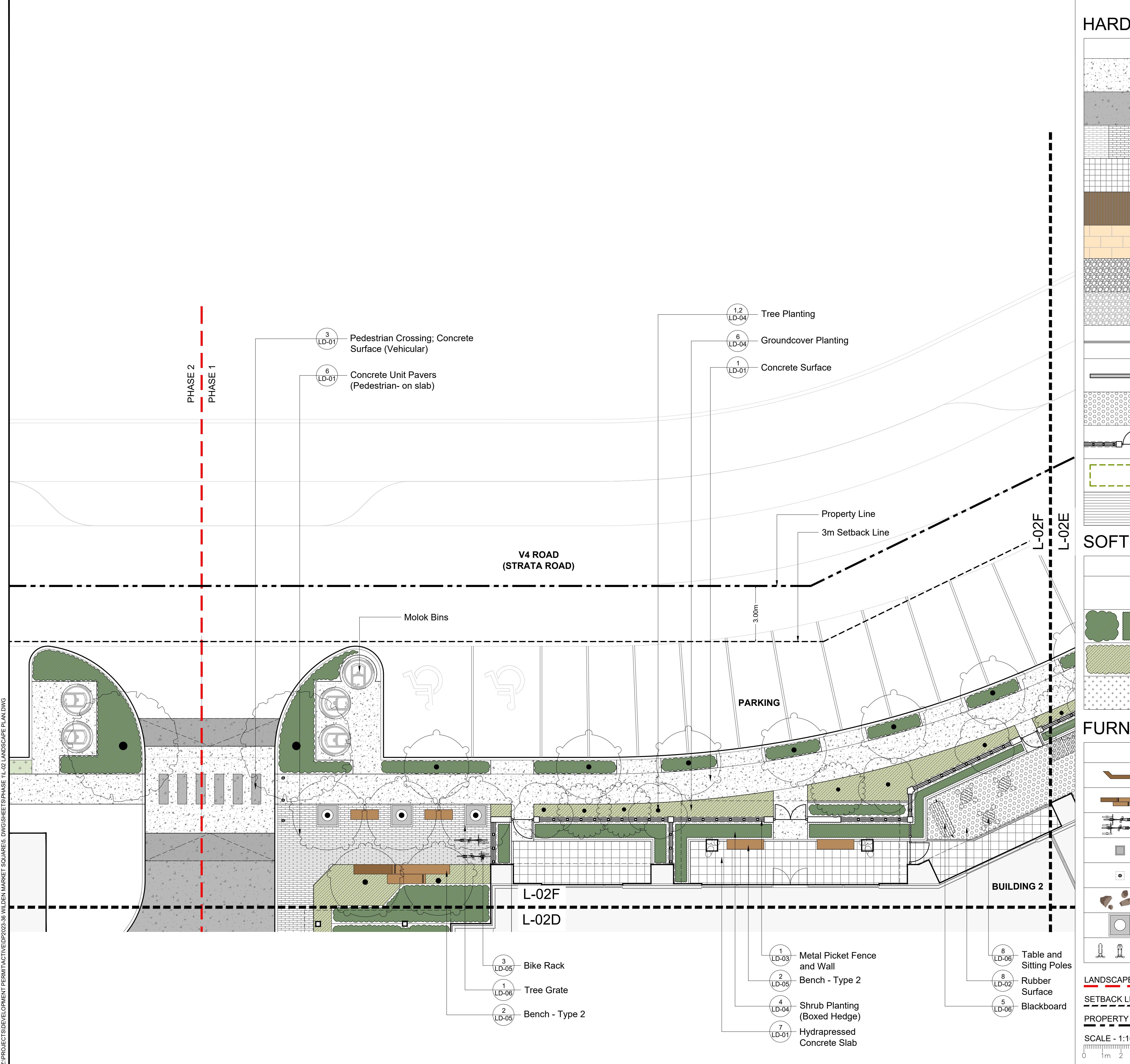
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Project: WILDEN MARKET SQUARE - PHASE 1

Location: UNION ROAD
KELOWNA, B.C.

Drawn: IM Stamp: BC LANDSCAPE ARCHITECTURE REGISTRATION NO. 303
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Approved: MVDZ Original Sheet Size: 24"x36"

Scale: 1:100
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HARDSCAPE LEGEND

	REF.	DESCRIPTION
1,2-LD-01		PEDESTRIAN CONCRETE PAVING
3-LD-01		VEHICULAR CONCRETE PAVING
4,5,6-LD-01		CONCRETE UNIT PAVERS
7-LD-01		HYDRAPRESSED CONCRETE TILE
1-LD-02		COMPOSITE DECKING
2-LD-02		OUTDOOR PORCELAIN TILE
3,4-LD-02		GRAVEL BED
5-LD-02		DRIP STRIP
6-LD-02		PRECAST CONCRETE EDGE
7-LD-02		CONCRETE WALL 1.2m MAX. HT.
8-LD-02		PLAY AREA - RUBBER SURFACE
1-LD-03		METAL PICKET FENCE AND WALL - TOWNHOUSE
3-LD-03		SILVA CELL PIT
4-LD-03		BRIDGE CONNECTER

SOFTSCAPE LEGEND

	REF.	DESCRIPTION
1-4-LD-04		TREE PLANTING
4,5-LD-04		SHRUB PLANTING / HEDGE
6-LD-04		GROUNDCOVER PLANTING
7-LD-04		LAWN

FURNITURE LEGEND

	REF.	DESCRIPTION
1-LD-05		BENCH - TYPE 1
2-LD-05		BENCH - TYPE 2
3-LD-05		BIKE RACK
4-LD-05		BINS
5-LD-05		BOLLARDS
6,7,8-LD-05		LANDSCAPE BOULDERS
1-LD-06		TREE GRATE
2-7-LD-06		DAYCARE PLAY EQUIPMENT

LANDSCAPE PHASE 1 SCOPE

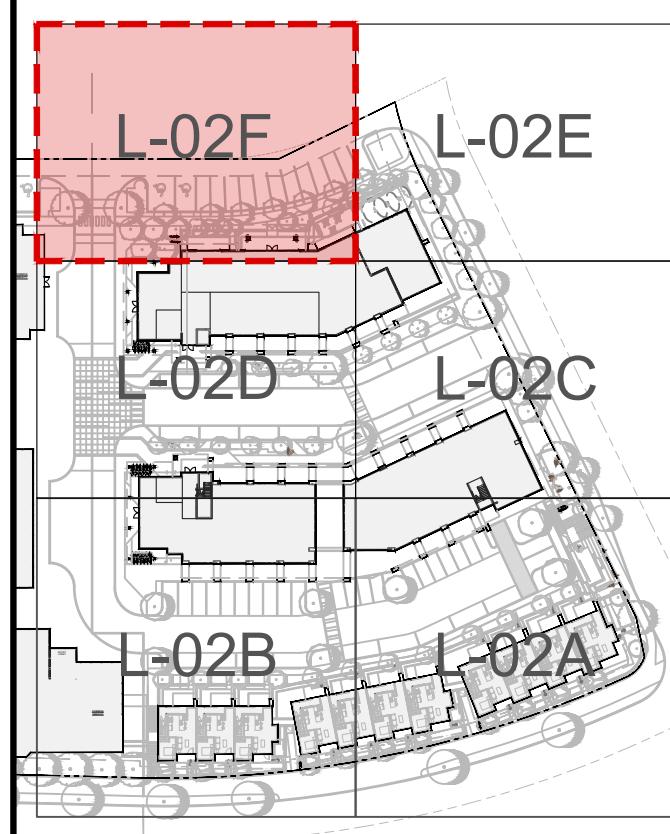
SETBACK LINE

PROPERTY LINE

SCALE - 1:100

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Key Map (NTS)



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		DATE

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REVISIONS TABLE FOR SHEET

Project:

WILDEN MARKET SQUARE - PHASE 1

Location:

UNION ROAD
KELOWNA, B.C.Drawn: IM Stamp: BC LANDSCAPE ARCHITECTURE REGISTRATION NO. 303
2024-09-05
Mark van der Zalm

Checked: MVDZ

Approved: MVDZ Original Sheet Size: 24"x36"

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COLOUR PALETTE PHASE 1 - High Street



COLOUR PALETTE PHASE 1 - Frontages and Townhouses



PLANT SCHEDULE

SYMBOL	BOTANICAL / COMMON NAME	CONT	QTY
SHRUBS			
Bg	Buxus x 'Green Mountain' / Green Mountain Boxwood	#5	175
Cs	Cornus sericea 'Kelseyi' / Kelseyi Dogwood	#2	87
Et	Euonymus turkestanicus 'Nanus' / Nanus Euonymus	#2	94
Hy	Hydrangea paniculata 'Limelight' / Limelight Hydrangea	#3	25
Jw	Juniperus virginiana 'Blue Arrow' / Blue Arrow Juniper	1.5 m ht	174
~~~~~	Parthenocissus quinquefolia / Virginia Creeper	#2 - Staked	20
Pd	Philadelphus x 'Snow Dwarf' / Snow Dwarf Mock Orange	#3	31
Pj	Physocarpus opulifolius 'Jefam' / Amber Jubilee® Ninebark	#5	14
Pg	Picea pungens glauca 'Globosa Nana' / Dwarf Globe Blue Spruce	#3	22
Pn	Potentilla fruticosa 'Apricot Whisper' / Apricot Whisper Bush Cinquefoil	#2	15
Rm	Rosa rugosa 'Marie Bugnet' / Marie Bugnet Shrub Rose	#2	75
Rw	Rosa woodsii / Mountain Rose	#2	9
Sa	Salix purpurea 'Nana' / Dwarf Arctic willow	#2	6
Sc	Shepherdia canadensis / Russet Buffaloberry	#2	37
Sb	Spiraea betulifolia 'Tor' / Birchleaf Spirea	#2	44
So	Symporicarpos orbiculatus / Coralberry	#2	88
Sy	Syringa meyeri 'Palibin' / Dwarf Korean Lilac	#2	13
<b>FERNS</b>			
Af	Athyrium filix-femina 'Lady in Red' / Lady in Red Fern	#1	95
<b>GRASSES</b>			
Cl	Chasmanthium latifolium / Northern Sea Oats	#1	195
Dc	Deshampsia cespitosa 'Goldtau' / Gold Dew Tufted Hair Grass	#1	309
Pa	Panicum amarum 'Dewey Blue' / Dewey Blue Bitter Panicgrass	#2	96
<b>GROUNDCOVER</b>			
Jc	Juniperus communis 'Alpine Carpet' / Alpine Carpet Juniper	#2	233
<b>PERENNIALS</b>			
Am	Anaphalis margaritacea / Pearly Everlasting	#1	56
Ar	Artemisia versicolor 'Sea Foam' / Sea Foam Sagebrush	#1	46
Cv	Coreopsis verticillata 'Moonbeam' / Threadleaf Coreopsis	#1	34
Ea	Eryngium alpinum 'Blue Star' / Blue Star Sea Holly	#1	48
Ga	Gaillardia aristata 'Amber Wheels' / Amber Wheels Blanket Flower	#1	78
Hx	Heuchera x 'Pumpkin Spice' / Pumpkin Spice Foamy Bells	#1	39
Hh	Hosta x 'Halcyon' / Halcyon Hosta	#1	21
Sx	Sedum x 'Autumn Joy' / Autumn Joy Sedum	#1	57
<b>GROUND COVERS</b>			
~~~~~	Juniperus communis 'Alpine Carpet' / Alpine Carpet Juniper	#2	233
REVISIONS TABLE FOR DRAWINGS			
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1	IM	Issued for Development Permit	2024-09-06
REV. BY	DESCRIPTION	DATE	
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Location:	UNION ROAD KELOWNA, B.C.		
Drawn:	Stamp:	2024-09-06	
IM	REGISTERED MEMBER	BC SOCIETY OF LANDSCAPE ARCHITECTS	
DC	Mark van der Zalm	303	
Checked:	MVDZ		
Approved:	MVDZ	Original Sheet Size: 24"x36"	
Scale:	AS SHOWN		

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PLANTING PLAN-A

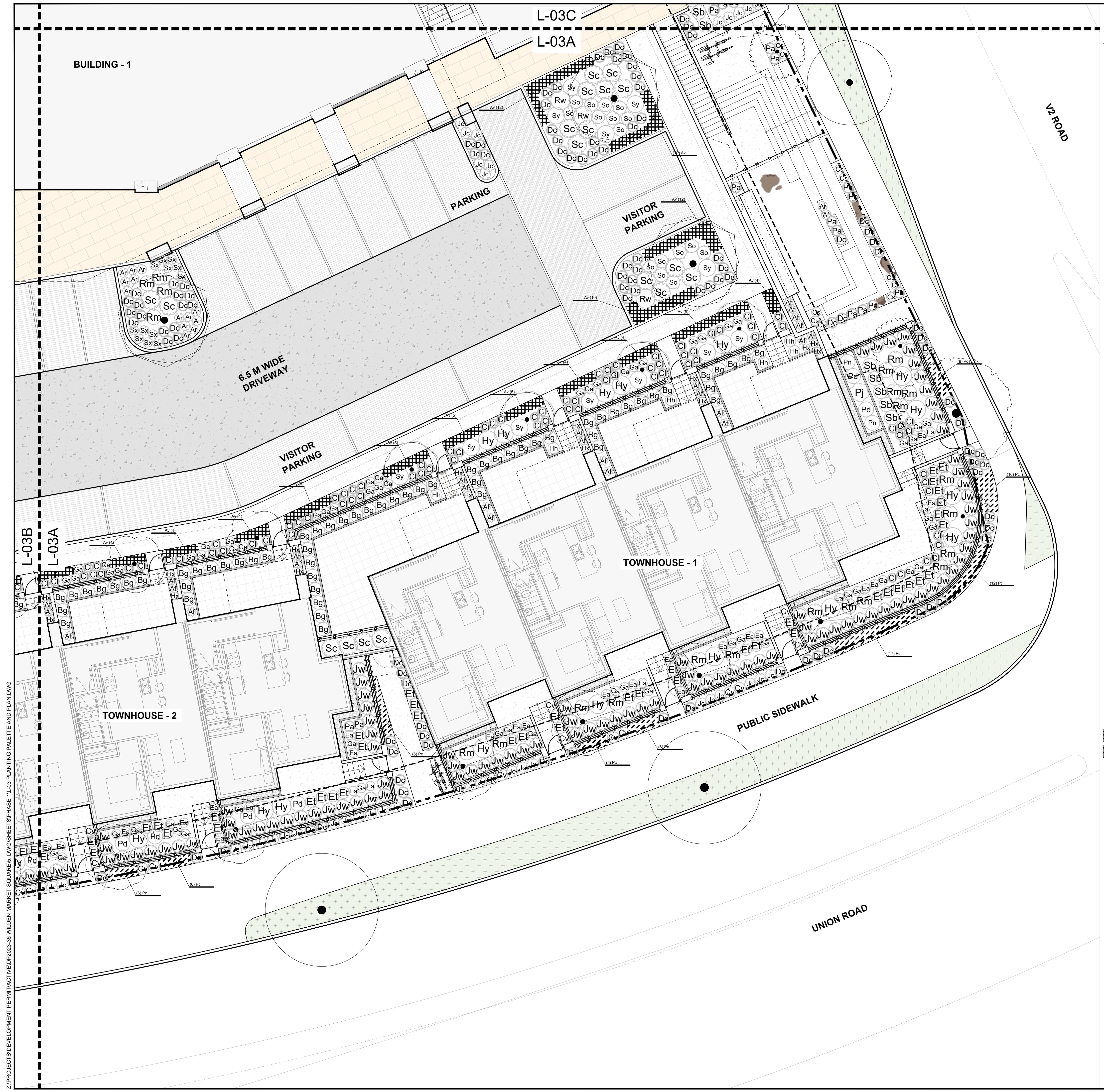
Drawing Title:

DP2023-36

Drawing #:

L-03A

VDZ Project #:



PLANT SCHEDULE

SYMBOL	BOTANICAL / COMMON NAME	CONT	QTY	
SHRUBS				
Bg	Buxus x 'Green Mountain' / Green Mountain Boxwood	#5	175	
Cs	Cornus sericea 'Kelsey' / Kelsey Dogwood	#2	87	
Et	Euonymus turkestanicus 'Nanus' / Nanus Euonymus	#2	94	
Hy	Hydrangea paniculata 'Limelight' / Limelight Hydrangea	#3	25	
Jw	Juniperus virginiana 'Blue Arrow' / Blue Arrow Juniper	1.5 m ht	174	
	Parthenocissus quinquefolia / Virginia Creeper	#2 - Staked	20	
Pd	Philadelphus x 'Snow Dwarf' / Snow Dwarf Mock Orange	#3	31	
Pj	Physocarpus opulifolius 'Jefam' / Amber Jubilee® Ninebark	#5	14	
Pg	Picea pungens glauca 'Globosa Nana' / Dwarf Globe Blue Spruce	#3	22	
Pn	Potentilla fruticosa 'Apricot Whisper' / Apricot Whisper Bush Cinquefoil	#2	15	
Rm	Rosa rugosa 'Marie Bugnet' / Marie Bugnet Shrub Rose	#2	75	
Rw	Rosa woodsii / Mountain Rose	#2	9	
Sa	Salix purpurea 'Nana' / Dwarf Arctic willow	#2	6	
Sc	Shepherdia canadensis / Russet Buffaloberry	#2	37	
Sb	Spiraea betulifolia 'Tor' / Birchleaf Spirea	#2	44	
So	Symphoricarpos orbiculatus / Coralberry	#2	88	
Sy	Syringa meyeri 'Palbin' / Dwarf Korean Lilac	#2	13	
FERNs				
Af	Athyrium filix-femina 'Lady in Red' / Lady in Red Fern	#1	95	
GRASSES				
Cl	Chasmanthium latifolium / Northern Sea Oats	#1	195	
Dc	Deshampsia cespitosa 'Goldtau' / Gold Dew Tufted Hair Grass	#1	309	
Pa	Panicum amarum 'Dewey Blue' / Dewey Blue Bitter Panicgrass	#2	96	
GROUNDCOVER				
Jc	Juniperus communis 'Alpine Carpet' / Alpine Carpet Juniper	#2	233	
PERENNIALS				
Am	Anaphalis margaritacea / Pearly Everlasting	#1	56	
Ar	Artemisia versicolor 'Sea Foam' / Sea Foam Sagebrush	#1	46	
Cv	Coreopsis verticillata 'Moonbeam' / Threadleaf Coreopsis	#1	34	
Ea	Eryngium alpinum 'Blue Star' / Blue Star Sea Holly	#1	48	
Ga	Gallardia aristata 'Amber Wheels' / Amber Wheels Blanket Flower	#1	78	
Hx	Heuchera x 'Pumpkin Spice' / Pumpkin Spice Foamy Bells	#1	39	
Hh	Hosta x 'Halcyon' / Halcyon Hosta	#1	21	
Sx	Sedum x 'Autumn Joy' / Autumn Joy Sedum	#1	57	
SYMBOL	BOTANICAL / COMMON NAME	CONT	SPACING	
GROUND COVERS				
[Symbol]	Arctostaphylos uva-ursi 'Vancouver Jade' / Vancouver Jade Bearberry	#1	500 mm	178
[Symbol]	Phlox subulata 'Crimson Beauty' / Crimson Beauty Creeping Phlox	#1	450 mm	286

SYMBOL	BOTANICAL / COMMON NAME	CONT	SPACING	QTY
[Symbol]	Arctostaphylos uva-ursi 'Vancouver Jade' / Vancouver Jade Bearberry	#1	500 mm	178
[Symbol]	Phlox subulata 'Crimson Beauty' / Crimson Beauty Creeping Phlox	#1	450 mm	286

REV. BY DESCRIPTION DATE

REVISIONS TABLE FOR SHEET

Project: WILDEN MARKET SQUARE - PHASE 1

Location: UNION ROAD KELOWNA, B.C.

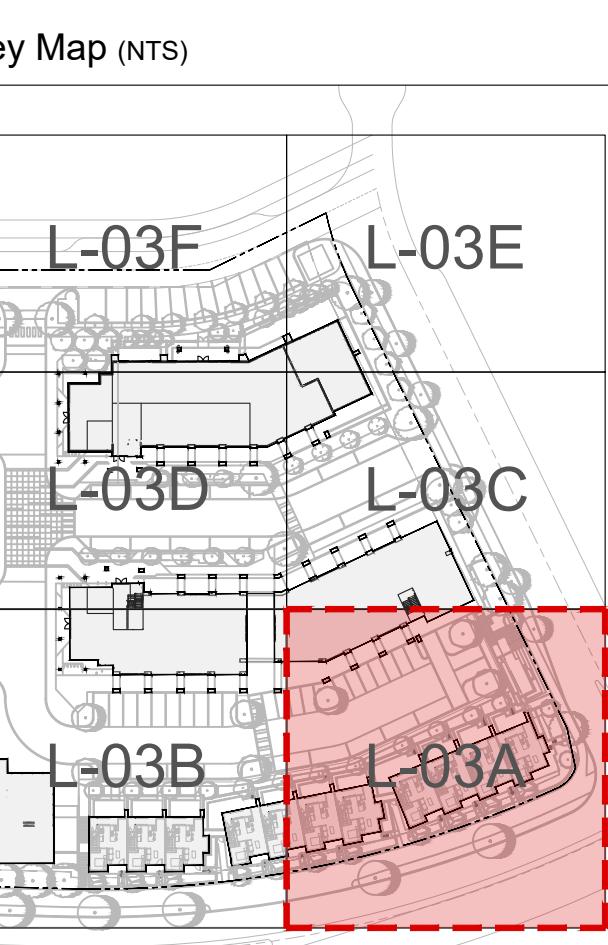
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LANDSCAPE PHASE 1 SCOPE
SETBACK LINE
PROPERTY LINE
SCALE - 1:100

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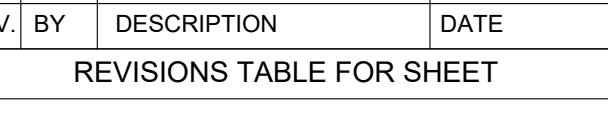
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REV. BY DESCRIPTION DATE

REVISIONS TABLE FOR DRAWING

Project: WILDEN MARKET SQUARE - PHASE 1

Location: UNION ROAD KELOWNA, B.C.

Drawn: TP IM Stamp:  224-09-05
Checked: MVDZ

Approved: MVDZ Original Sheet Size: 24"x36"

Scale: 1:100

LANDSCAPE PHASE 1 SCOPE
SETBACK LINE
PROPERTY LINE
SCALE - 1:100

CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. ALL DRAWINGS AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND MUST BE RETURNED AT THE COMPLETION OF THE CONTRACT. THIS DRAWING IS THE PROPERTY OF THE OWNER AND MAY NOT BE USED FOR CONSTRUCTION UNLESS LABELED ISSUED FOR TENDER/CONSTRUCTION.

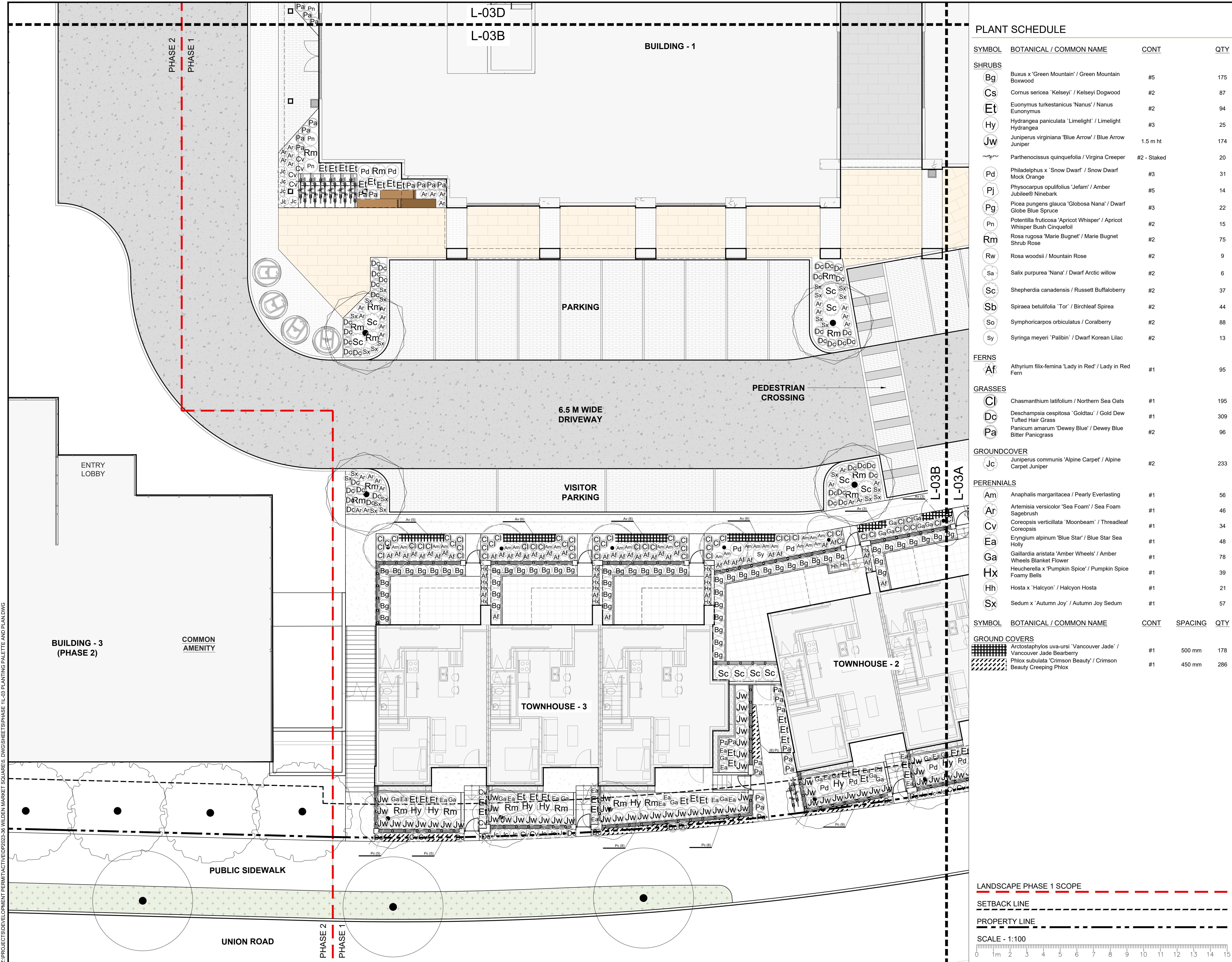
PLANTING PLAN-B

Drawing Title:

DP2023-36

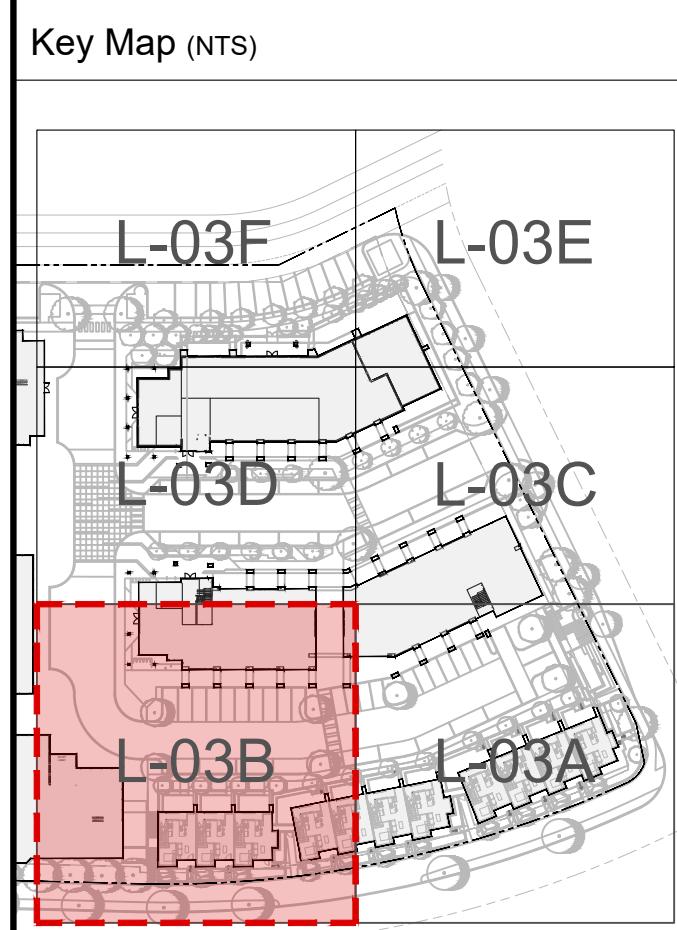
L-03B

VDZ Project #:



PLANT SCHEDULE

SYMBOL	BOTANICAL / COMMON NAME	CONT	QTY
SHRUBS			
Bg	Buxus x 'Green Mountain' / Green Mountain Boxwood	#5	175
Cs	Cornus sericea 'Kelseyi' / Kelsey Dogwood	#2	87
Et	Euonymus turkestanicus 'Nanus' / Nanus Euonymus	#2	94
Hy	Hydrangea paniculata 'Limelight' / Limelight Hydrangea	#3	25
Jw	Juniperus virginiana 'Blue Arrow' / Blue Arrow Juniper	1.5 m ht	174
Pa	Parthenocissus quinquefolia / Virginia Creeper #2 - Staked	20	
Pd	Philadelphus x 'Snow Dwarf' / Snow Dwarf Mock Orange	#3	31
Pj	Physocarpus opulifolius 'Jefam' / Amber Jubilee® Ninebark	#5	14
Pg	Picea pungens glauca 'Globosa Nana' / Dwarf Globe Blue Spruce	#3	22
Pn	Potentilla fruticosa 'Apricot Whisper' / Apricot Whisper Bush Cinquefoil	#2	15
Rm	Rosa rugosa 'Marie Bugnet' / Marie Bugnet Shrub Rose	#2	75
Rw	Rosa woodsii / Mountain Rose	#2	9
Sa	Salix purpurea 'Nana' / Dwarf Arctic willow	#2	6
Sc	Shepherdia canadensis / Russet Buffaloberry	#2	37
Sb	Spiraea betulifolia 'Tor' / Birchleaf Spirea	#2	44
So	Symporicarpos orbiculatus / Coralberry	#2	88
Sy	Syringa meyeri 'Palbin' / Dwarf Korean Lilac	#2	13
FERNS			
Af	Athyrium filix-femina 'Lady in Red' / Lady in Red Fern	#1	
GRASSES			
Cl	Chasmanthium latifolium / Northern Sea Oats	#1	
Dc	Deshampsia cespitosa 'Goldtau' / Gold Dew Tufted Hair Grass	#1	
Pa	Panicum amarum 'Dewey Blue' / Dewey Blue Bitter Panicgrass	#2	
GROUNDCOVER			
Jc	Juniperus communis 'Alpine Carpet' / Alpine Carpet Juniper	#2	
PERENNIALS			
Am	Anaphalis margaritacea / Pearly Everlasting	#1	
Ar	Artemisia versicolor 'Sea Foam' / Sea Foam Sagebrush	#1	
Cv	Coreopsis verticillata 'Moonbeam' / Threadleaf Coreopsis	#1	
Ea	Eryngium alpinum 'Blue Star' / Blue Star Sea Holly	#1	
Ga	Gallardia aristata 'Amber Wheels' / Amber Wheels Blanket Flower	#1	
Hx	Heuchera x 'Pumpkin Spice' / Pumpkin Spice Foamy Bells	#1	
Hh	Hosta x 'Halcyon' / Halcyon Hosta	#1	
Sx	Sedum x 'Autumn Joy' / Autumn Joy Sedum	#1	
SYMBOL	BOTANICAL / COMMON NAME	CONT	SPACING
GROUND COVERS			
■■■■■	Arctostaphylos uva-ursi 'Vancouver Jade' / Vancouver Jade Bearberry	#1	500 mm
■■■■■	Phlox subulata 'Crimson Beauty' / Crimson Beauty Creeping Phlox	#1	450 mm



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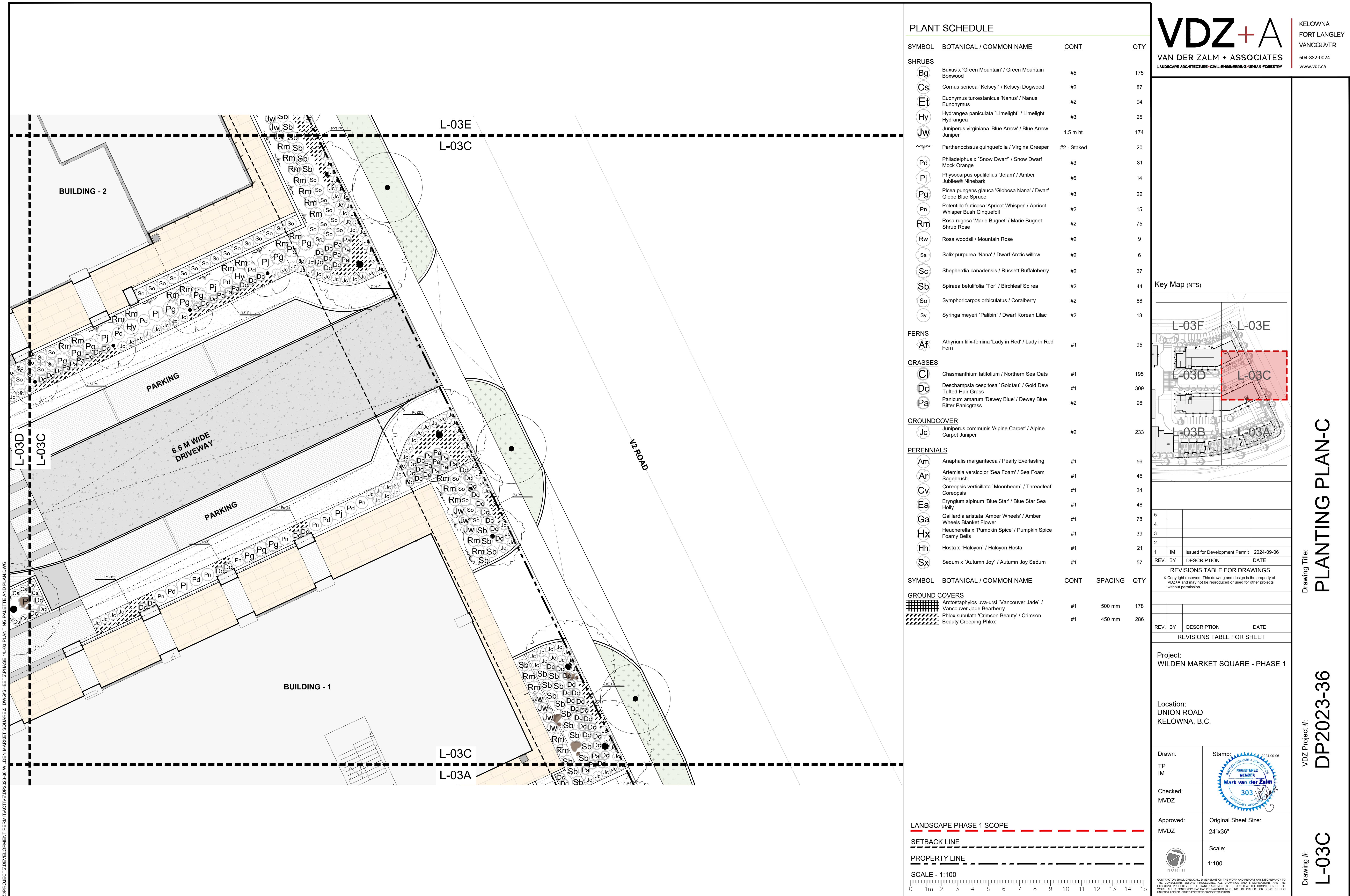
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Location: UNION ROAD KELOWNA, B.C.

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Checked: MVDZ	
Approved: MVDZ	Original Sheet Size: 24"x36"
	Scale: 1:100

Drawing #:

L-03B

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PLANTING PLAN-D

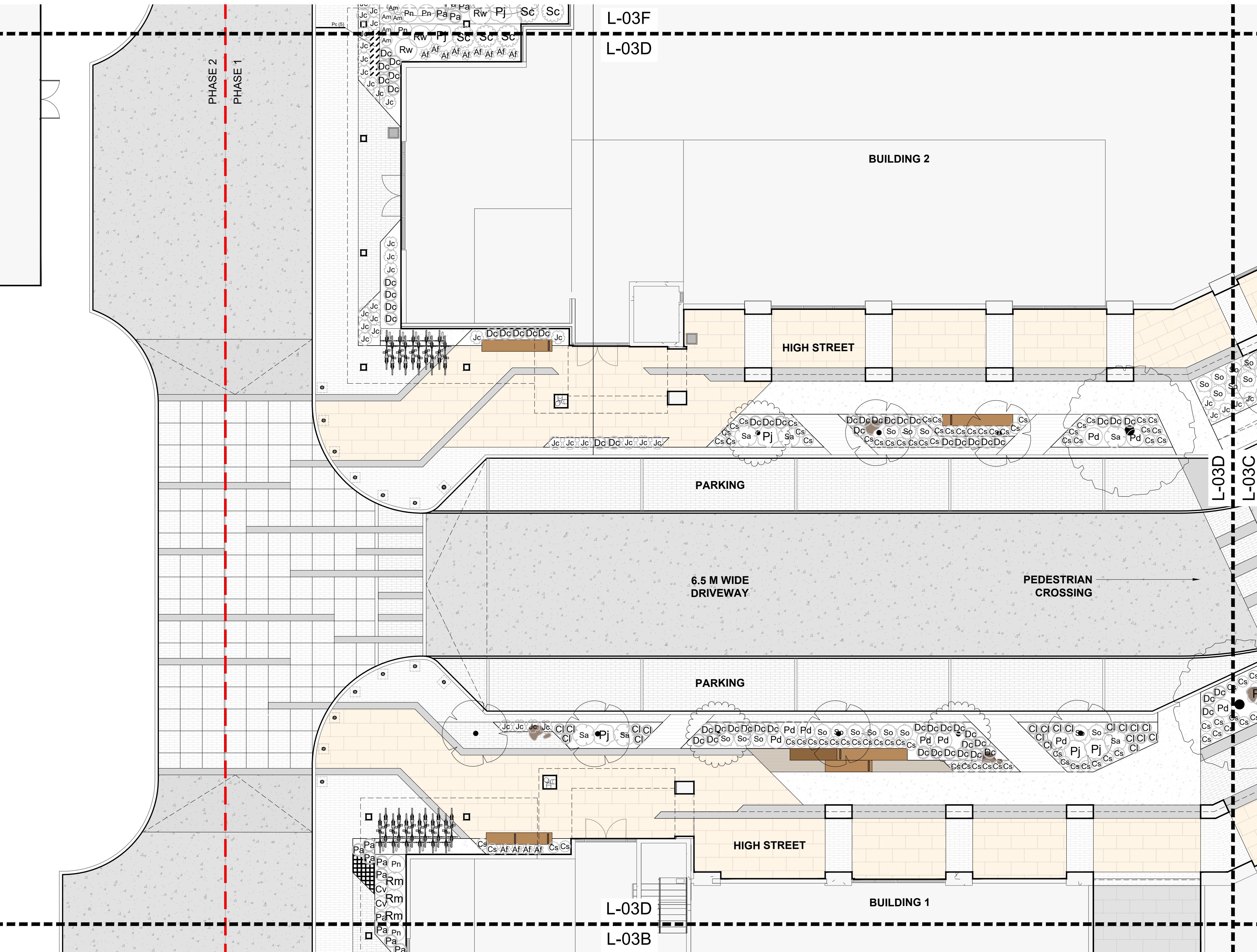
Drawing Title:

DP2023-36

Drawing #:

L-03D

VDZ Project #:



PLANT SCHEDULE

SYMBOL	BOTANICAL / COMMON NAME	CONT	QTY
SHRUBS			
Bg	Buxus x 'Green Mountain' / Green Mountain Boxwood	#5	175
Cs	Cornus sericea 'Kelsey' / Kelsey Dogwood	#2	87
Et	Euonymus turkestanicus 'Nanus' / Nanus Euonymus	#2	94
Hy	Hydrangea paniculata 'Limelight' / Limelight Hydrangea	#3	25
Jw	Juniperus virginiana 'Blue Arrow' / Blue Arrow Juniper	1.5 m ht	174
	Parthenocissus quinquefolia / Virginia Creeper	#2 - Staked	20
Pd	Philadelphus x 'Snow Dwarf' / Snow Dwarf Mock Orange	#3	31
Pj	Physocarpus opulifolius 'Jefam' / Amber Jubilee® Ninebark	#5	14
Pg	Picea pungens glauca 'Globosa Nana' / Dwarf Globe Blue Spruce	#3	22
Pn	Potentilla fruticosa 'Apricot Whisper' / Apricot Whisper Bush Cinquefoil	#2	15
Rm	Rosa rugosa 'Marie Bugnet' / Marie Bugnet Shrub Rose	#2	75
Rw	Rosa woodsii / Mountain Rose	#2	9
Sa	Salix purpurea 'Nana' / Dwarf Arctic willow	#2	6
Sc	Shepherdia canadensis / Russet Buffaloberry	#2	37
Sb	Spiraea betulifolia 'Tor' / Birchleaf Spirea	#2	44
So	Symphoricarpos orbiculatus / Coralberry	#2	88
Sy	Syringa meyeri 'Palbin' / Dwarf Korean Lilac	#2	13
FERNS			
Af	Athyrium filix-femina 'Lady in Red' / Lady in Red Fern	#1	
GRASSES			
Cl	Chasmanthium latifolium / Northern Sea Oats	#1	
Dc	Deshampsia cespitosa 'Goldtau' / Gold Dew Tufted Hair Grass	#1	
Pa	Panicum amarum 'Dewey Blue' / Dewey Blue Bitter Panicgrass	#2	
GROUNDCOVER			
Jc	Juniperus communis 'Alpine Carpet' / Alpine Carpet Juniper	#2	
PERENNIALS			
Am	Anaphalis margaritacea / Pearly Everlasting	#1	
Ar	Artemisia versicolor 'Sea Foam' / Sea Foam Sagebrush	#1	
Cv	Coreopsis verticillata 'Moonbeam' / Threadleaf Coreopsis	#1	
Ea	Eryngium alpinum 'Blue Star' / Blue Star Sea Holly	#1	
Ga	Gallardia aristata 'Amber Wheels' / Amber Wheels Blanket Flower	#1	
Hx	Heuchera x 'Pumpkin Spice' / Pumpkin Spice Foamy Bells	#1	
Hh	Hosta x 'Halcyon' / Halcyon Hosta	#1	
Sx	Sedum x 'Autumn Joy' / Autumn Joy Sedum	#1	
GROUND COVERS			
	Arctostaphylos uva-ursi 'Vancouver Jade' / Vancouver Jade Bearberry	#1	500 mm
	Phlox subulata 'Crimson Beauty' / Crimson Beauty Creeping Phlox	#1	450 mm

SYMBOL	BOTANICAL / COMMON NAME	CONT	SPACING	QTY
GROUND COVERS				
	Arctostaphylos uva-ursi 'Vancouver Jade' / Vancouver Jade Bearberry	#1	500 mm	178
	Phlox subulata 'Crimson Beauty' / Crimson Beauty Creeping Phlox	#1	450 mm	286

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REVISIONS TABLE FOR DRAWINGS			

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REV.	BY	DESCRIPTION	DATE
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Project: WILDEN MARKET SQUARE - PHASE 1

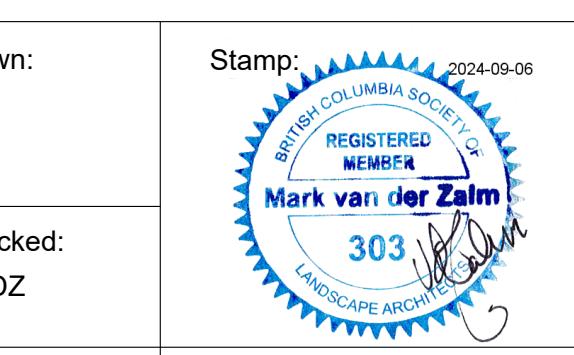
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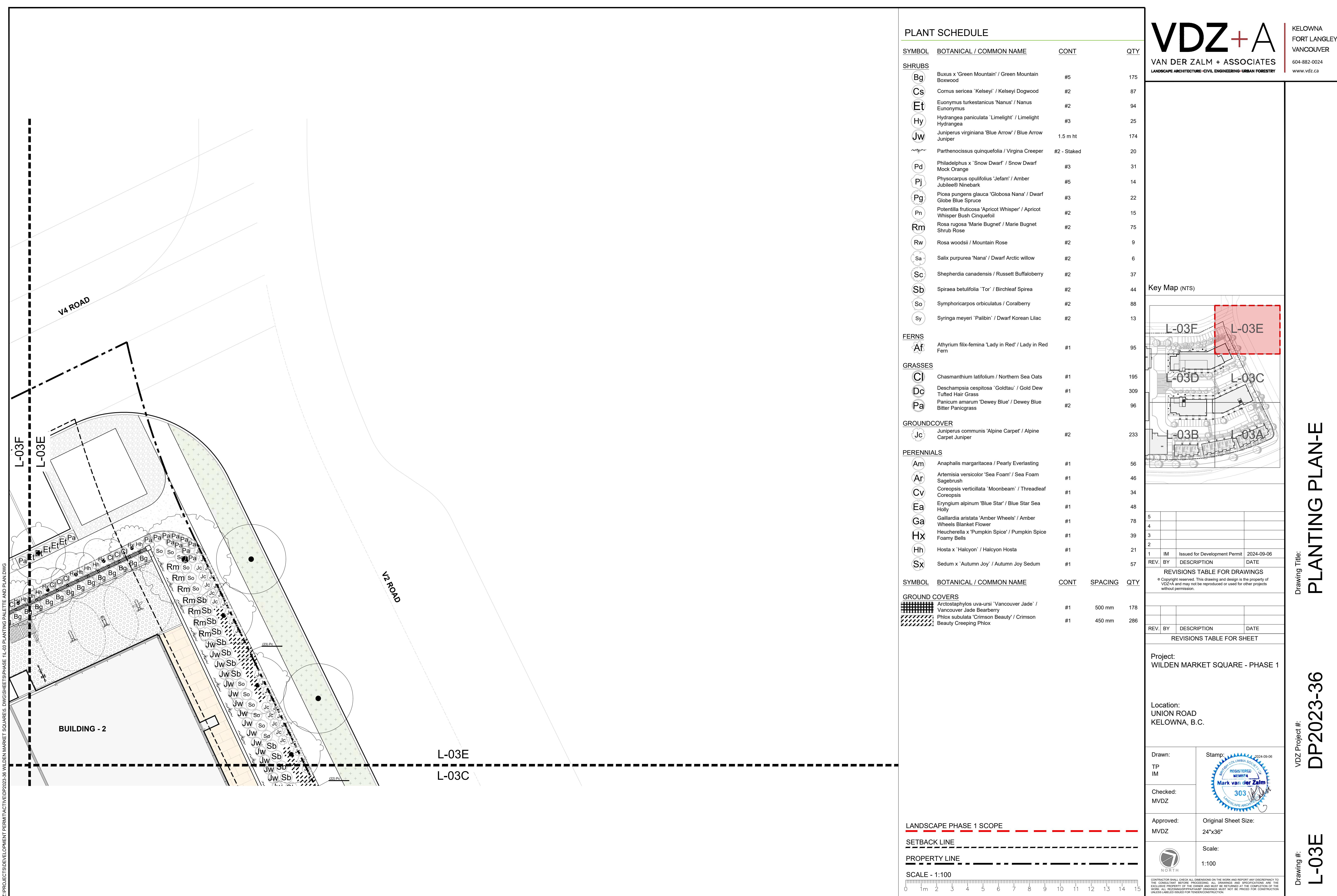
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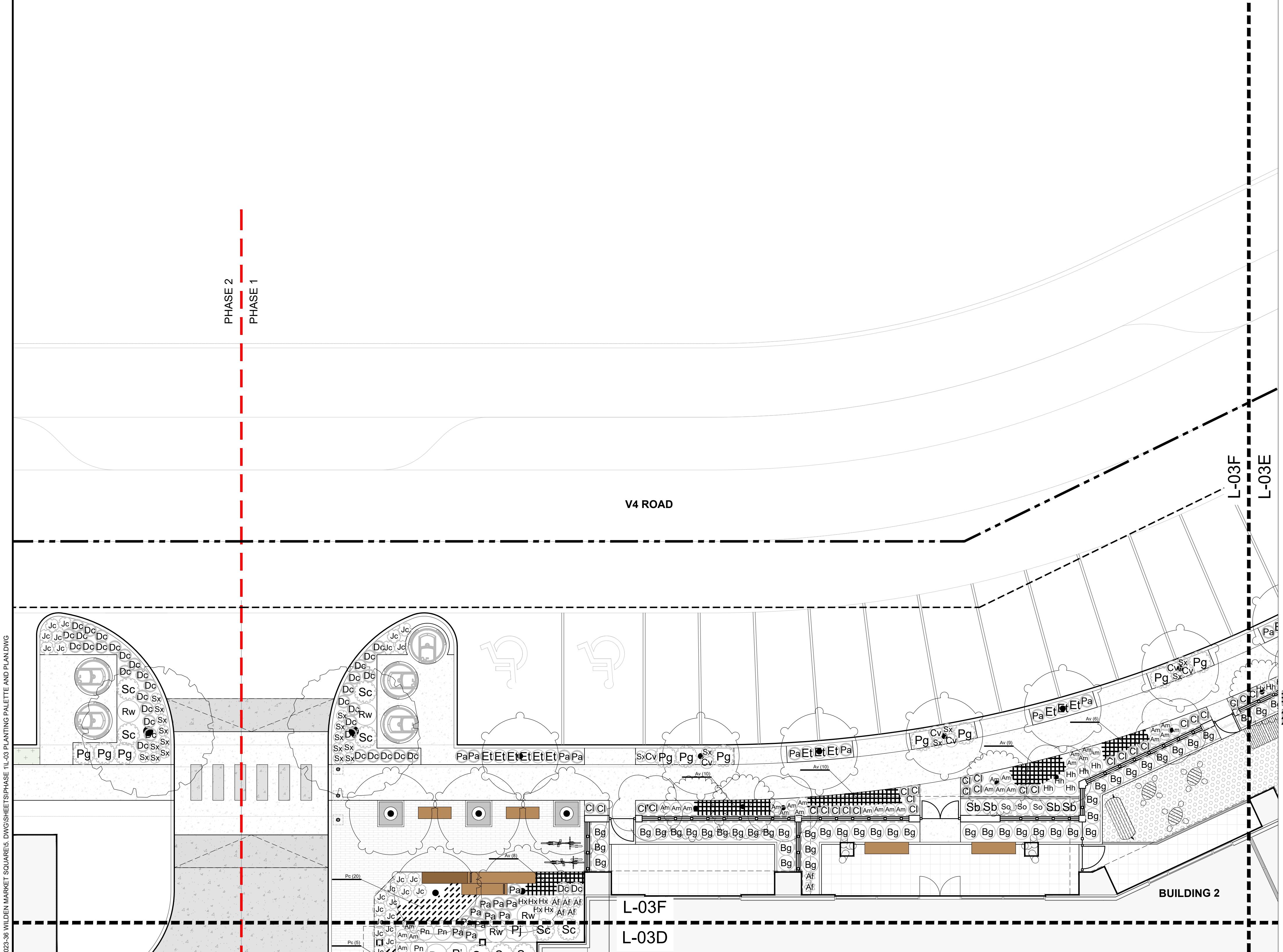
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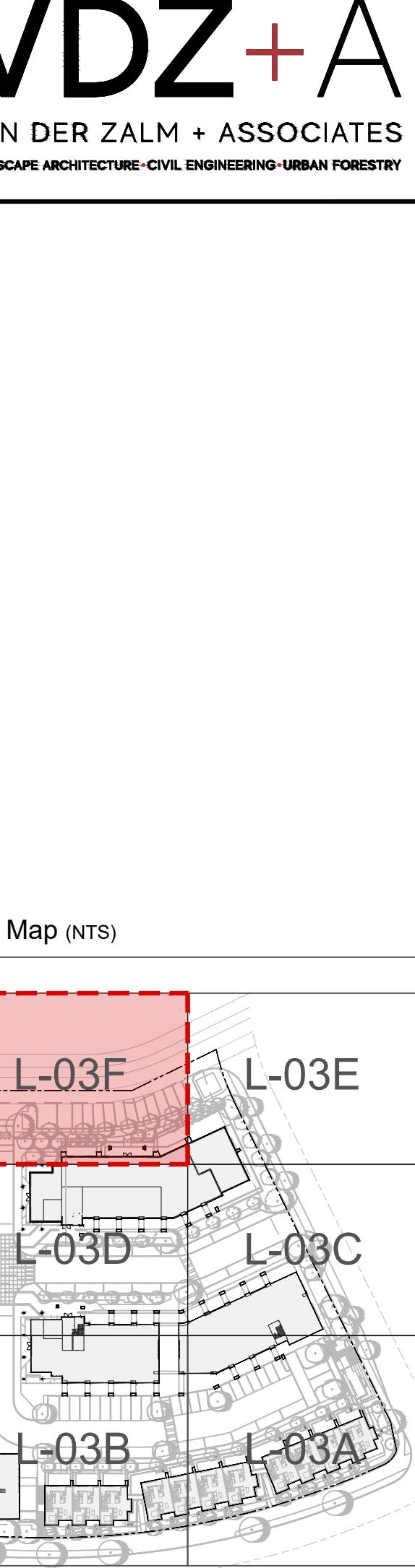
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PLANT SCHEDULE

SYMBOL	BOTANICAL / COMMON NAME	CONT	QTY
SHRUBS			
Bg	Buxus x 'Green Mountain' / Green Mountain Boxwood	#5	175
Cs	Cornus sericea 'Kelseyi' / Kelsey Dogwood	#2	87
Et	Euonymus turkestanicus 'Nanus' / Nanus Euonymus	#2	94
Hy	Hydrangea paniculata 'Limelight' / Limelight Hydrangea	#3	25
Jw	Juniperus virginiana 'Blue Arrow' / Blue Arrow Juniper	1.5 m ht	174
~~~~~	Parthenocissus quinquefolia / Virginia Creeper	#2 - Staked	20
Pd	Philadelphus x 'Snow Dwarf' / Snow Dwarf Mock Orange	#3	31
Pj	Physocarpus opulifolius 'Jefam' / Amber Jubilee® Ninebark	#5	14
Pg	Picea pungens glauca 'Globosa Nana' / Dwarf Globe Blue Spruce	#3	22
Pn	Potentilla fruticosa 'Apricot Whisper' / Apricot Whisper Bush Cinquefoil	#2	15
Rm	Rosa rugosa 'Marie Bugnet' / Marie Bugnet Shrub Rose	#2	75
Rw	Rosa woodsii / Mountain Rose	#2	9
Sa	Salix purpurea 'Nana' / Dwarf Arctic willow	#2	6
Sc	Shepherdia canadensis / Russet Buffaloberry	#2	37
Sb	Spiraea betulifolia 'Tor' / Birchleaf Spirea	#2	44
So	Symphoricarpos orbiculatus / Coralberry	#2	2
Sy	Syringa meyeri 'Palbin' / Dwarf Korean Lilac	#2	13
<b>FERNS</b>			
Af	Athyrium filix-femina 'Lady in Red' / Lady in Red Fern	#1	1
<b>GRASSES</b>			
Cl	Chasmanthium latifolium / Northern Sea Oats	#1	195
Dc	Deshampsia cespitosa 'Goldtau' / Gold Dew Tufted Hair Grass	#1	309
Pa	Panicum amarum 'Dewey Blue' / Dewey Blue Bitter Panicgrass	#2	96
<b>GROUNDCOVER</b>			
Jc	Juniperus communis 'Alpine Carpet' / Alpine Carpet Juniper	#2	233
<b>PERENNIALS</b>			
Am	Anaphalis margaritacea / Pearly Everlasting	#1	56
Ar	Artemisia versicolor 'Sea Foam' / Sea Foam Sagebrush	#1	46
Cv	Coreopsis verticillata 'Moonbeam' / Threadleaf Coreopsis	#1	34
Ea	Eryngium alpinum 'Blue Star' / Blue Star Sea Holly	#1	48
Ga	Gallardia aristata 'Amber Wheels' / Amber Wheels Blanket Flower	#1	78
Hx	Heuchera x 'Pumpkin Spice' / Pumpkin Spice Foamy Bells	#1	39
Hh	Hosta x 'Halcyon' / Halcyon Hosta	#1	21
Sx	Sedum x 'Autumn Joy' / Autumn Joy Sedum	#1	57
<b>GROUND COVERS</b>			
Arctostaphylos uva-ursi 'Vancouver Jade'	#1	500 mm	178
Phlox subulata 'Crimson Beauty' / Crimson Beauty Creeping Phlox	#1	450 mm	286
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Location:	UNION ROAD KELOWNA, B.C.		
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Checked:	MVDZ		
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LANDSCAPE PHASE 1 SCOPE  
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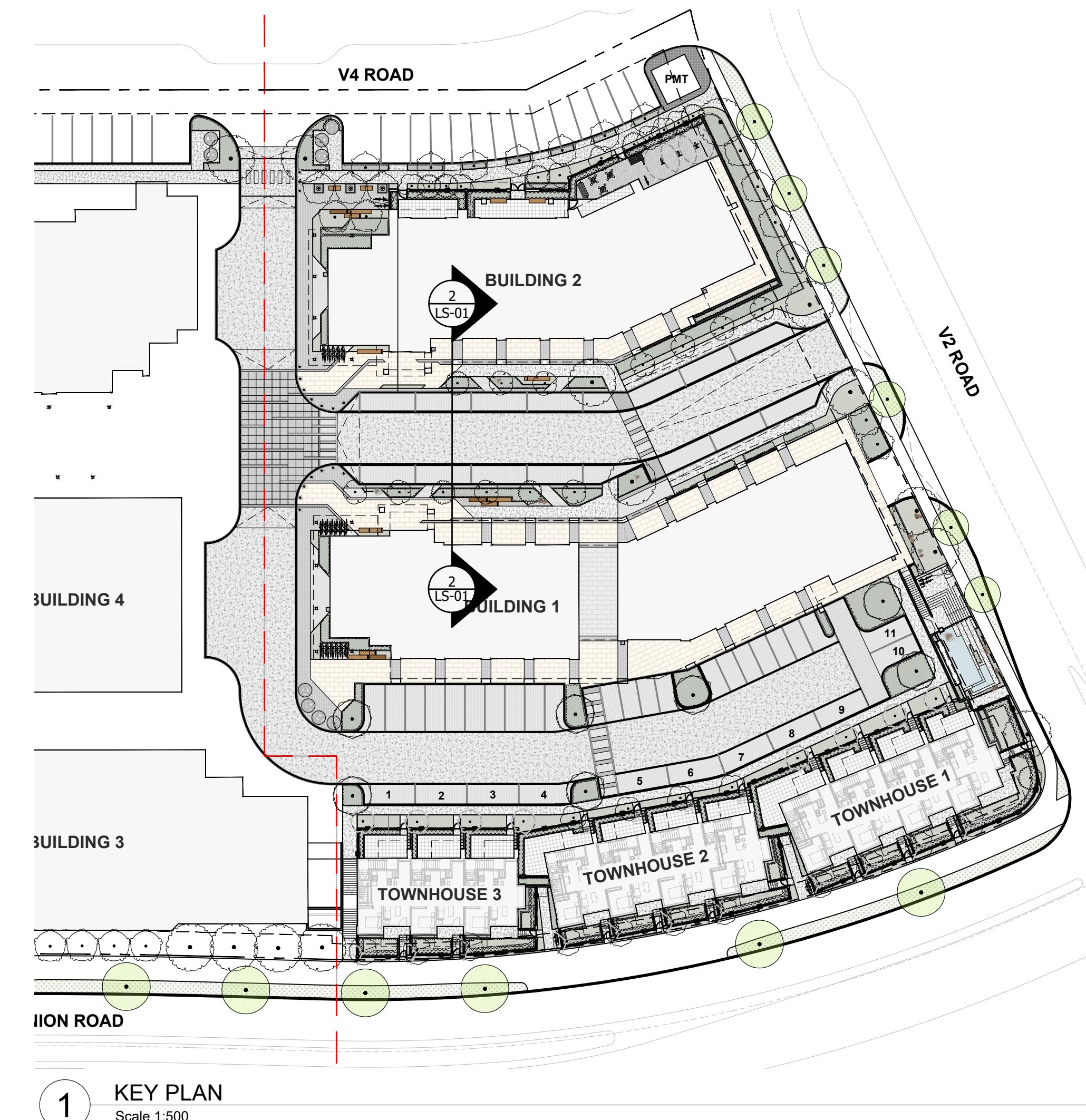
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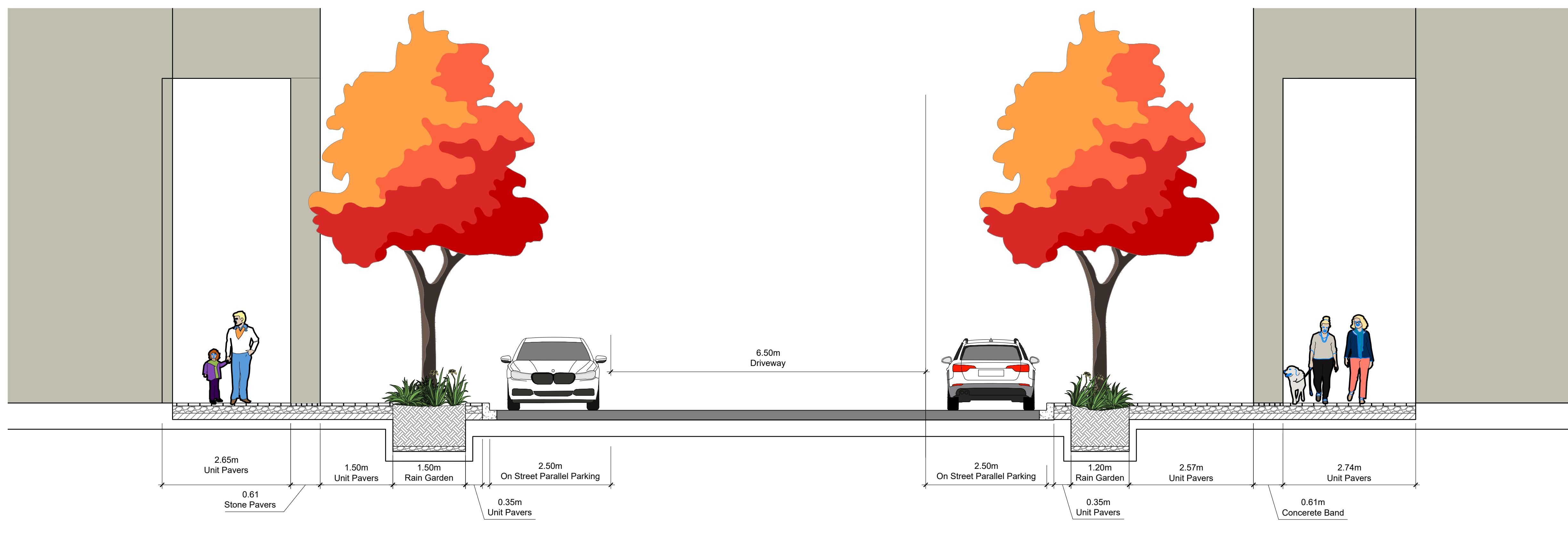
VAN DER ZALM + ASSOCIATES

LANDSCAPE ARCHITECTURE-CIVIL ENGINEERING-URBAN FORESTRY

KELOWNA  
FORT Langley  
Vancouver  
604-882-0024  
www.vdz.ca



1 KEY PLAN  
Scale 1:500



2 SECTION THROUGH HIGH STREET - A  
Scale 1:500

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REVISIONS TABLE FOR SHEET

Project:  
WILDEN MARKET SQUARE - PHASE 1

Location:  
UNION ROAD  
KELOWNA, B.C.

Drawn:  
DC

Stamp:  
REGISTERED  
MEMPA  
Mark van der Zalm  
303  
LANDSCAPE ARCHITECT  
2024-09-06

Checked:  
IM

Approved:  
MVDZ

Original Sheet Size:  
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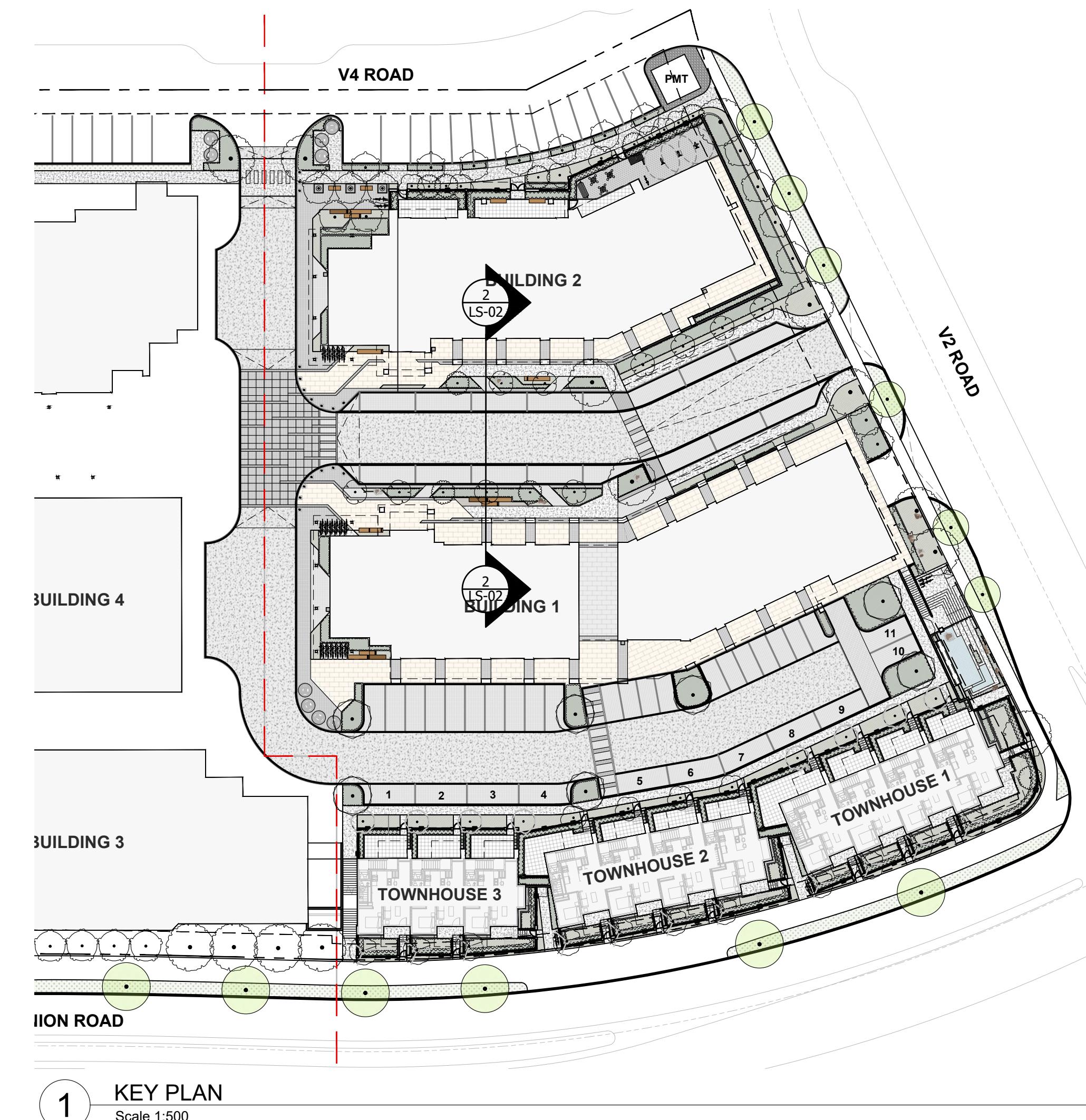
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**VDZ+A**

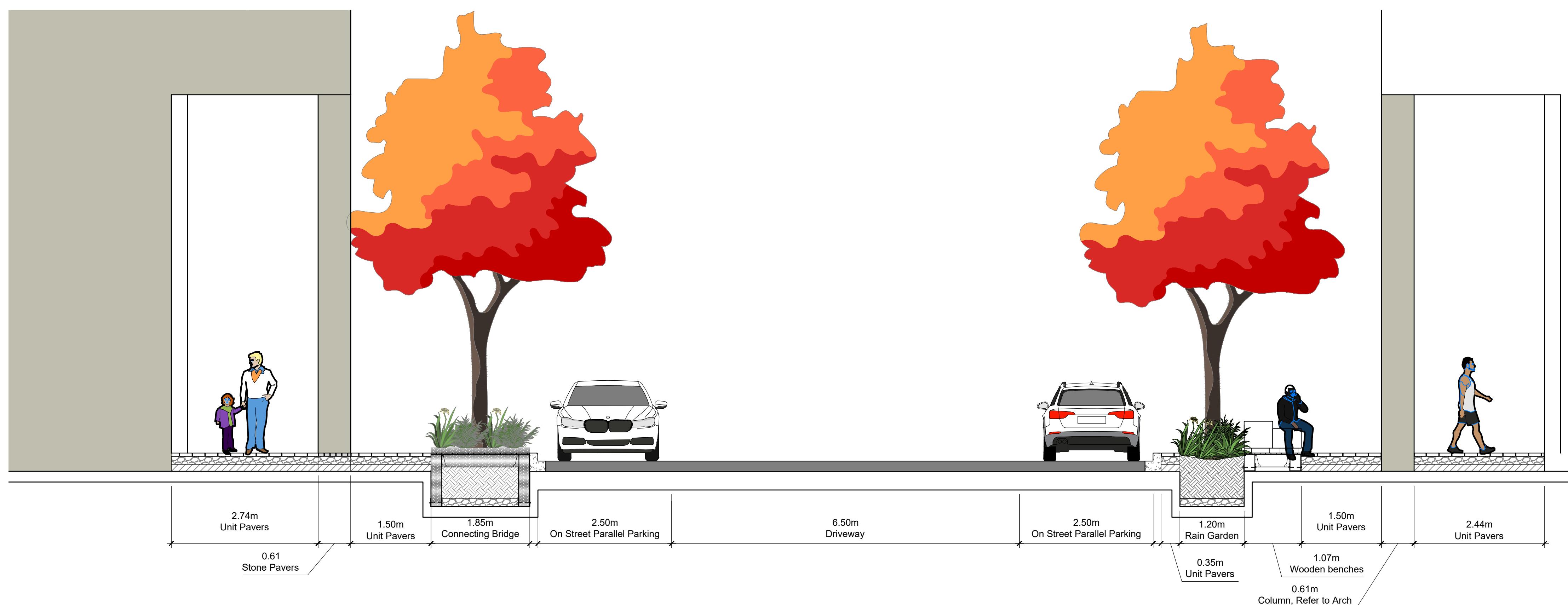
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1 KEY PLAN  
Scale 1:500



2 SECTION THROUGH HIGH STREET - B  
Scale 1:500

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REVISIONS TABLE FOR SHEET

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WILDEN MARKET SQUARE - PHASE 1

Location:  
UNION ROAD  
KELOWNA, B.C.

Drawn:  
DC

Stamp:  
REGISTERED  
MEMBER  
BC SOCIETY OF  
LANDSCAPE ARCHITECTS  
Mark van der Zalm  
303

Checked:  
IM

Approved:  
MVDZ

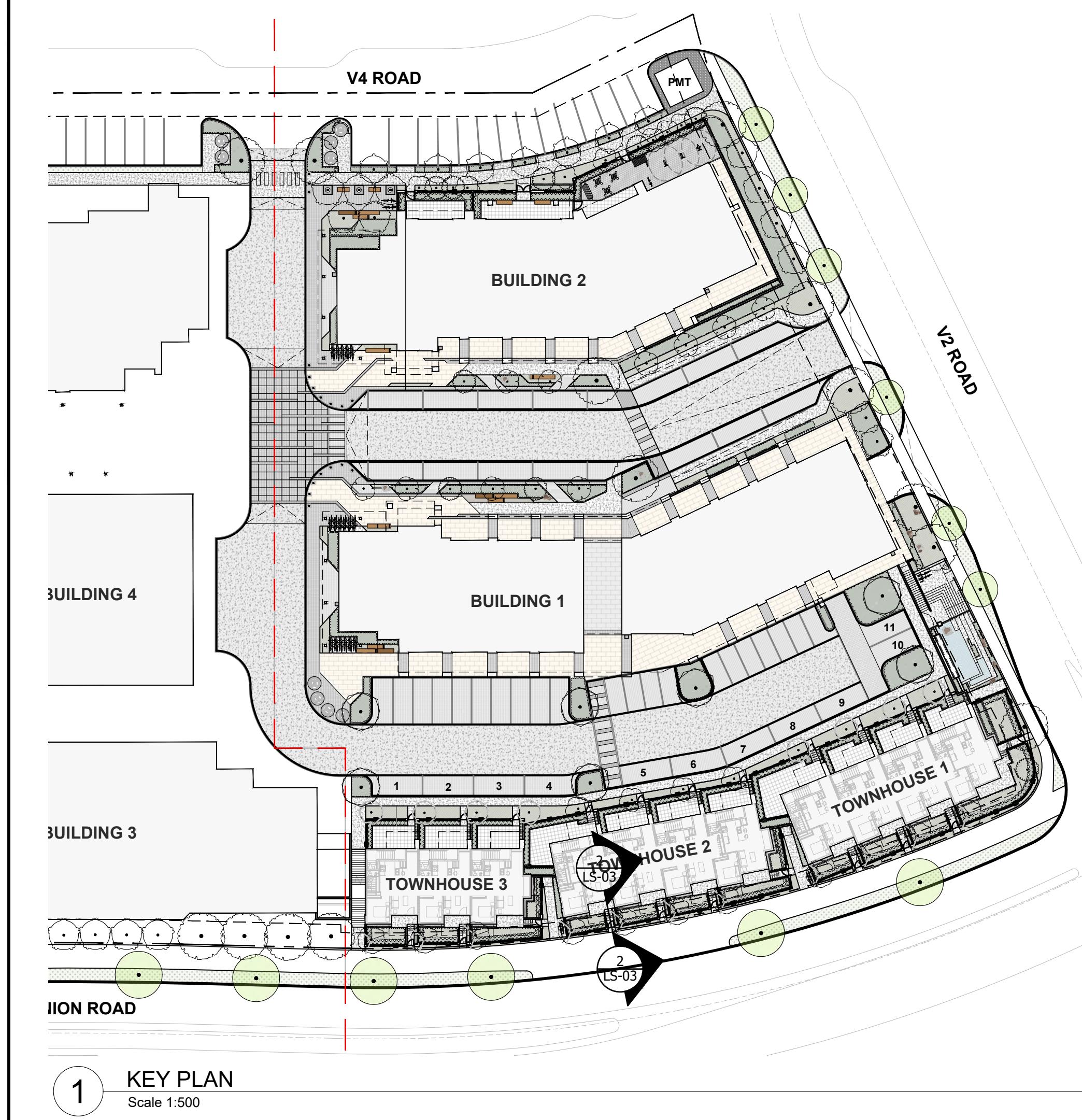
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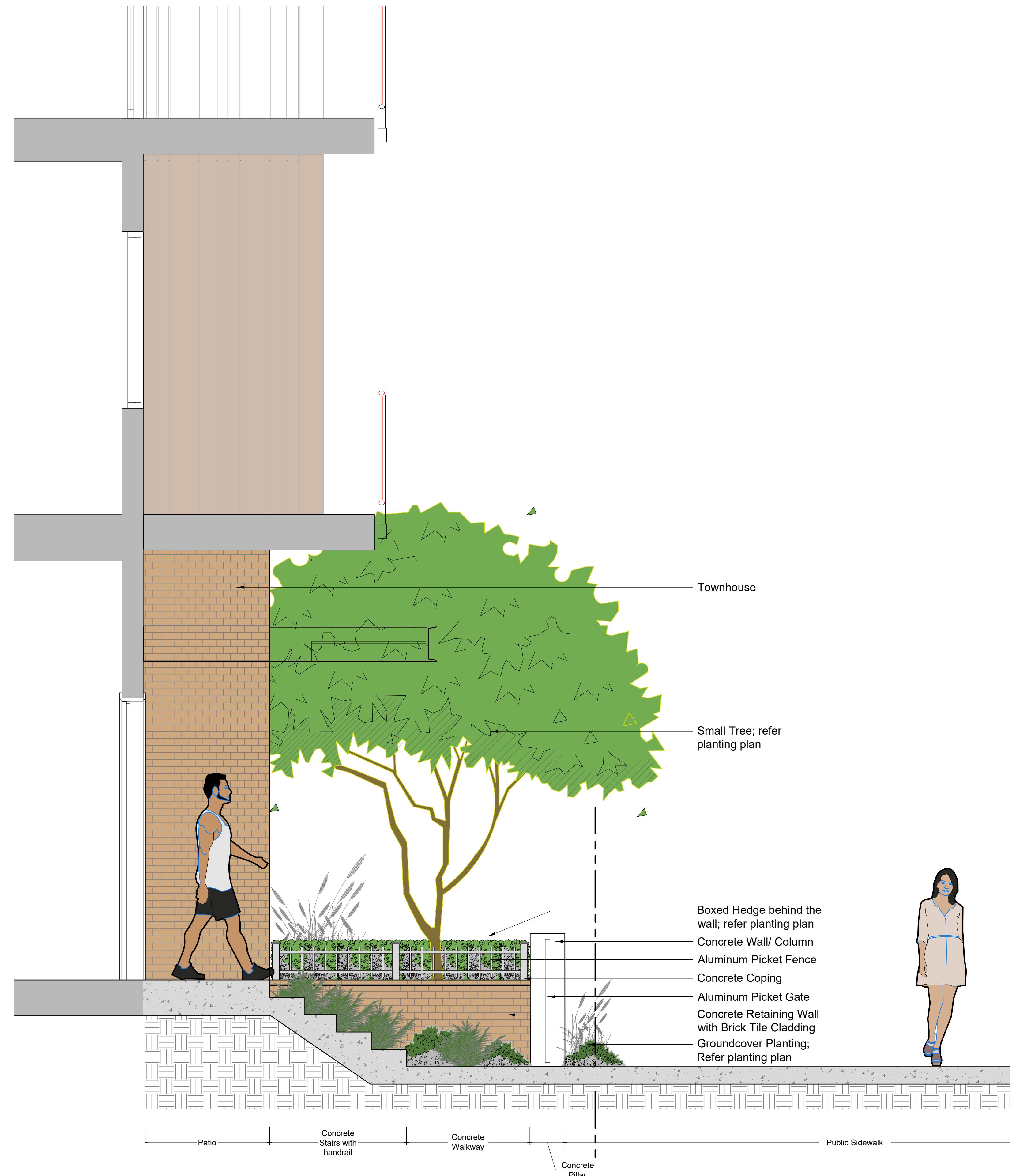
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Drawing Title:  
SECTIONS - HIGH STREET

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1 KEY PLAN  
Scale 1:500



2 SECTION THROUGH TOWNHOME FRONT YARD  
Scale 1:20

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REV. BY	DESCRIPTION	DATE
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Checked:	IM	
Approved:	MVDZ	Original Sheet Size: 24"x36"
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Drawing #:  
LS-03

Drawing Title:  
SECTIONS - TOWNHOUSE

DP2023-36

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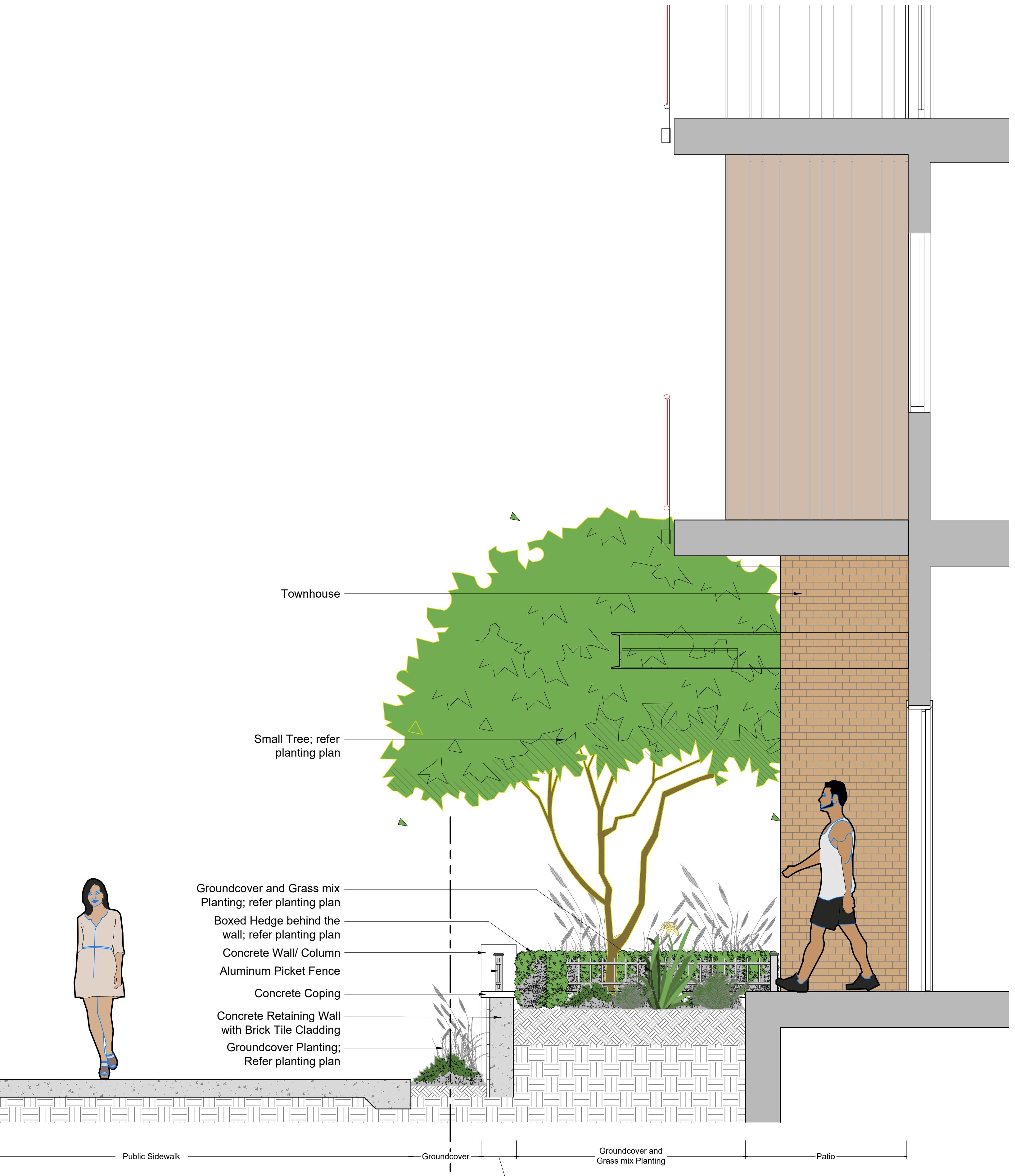
**VDZ+A**

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FORT Langley  
Vancouver  
604-882-0024  
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1 KEY PLAN  
Scale 1:500



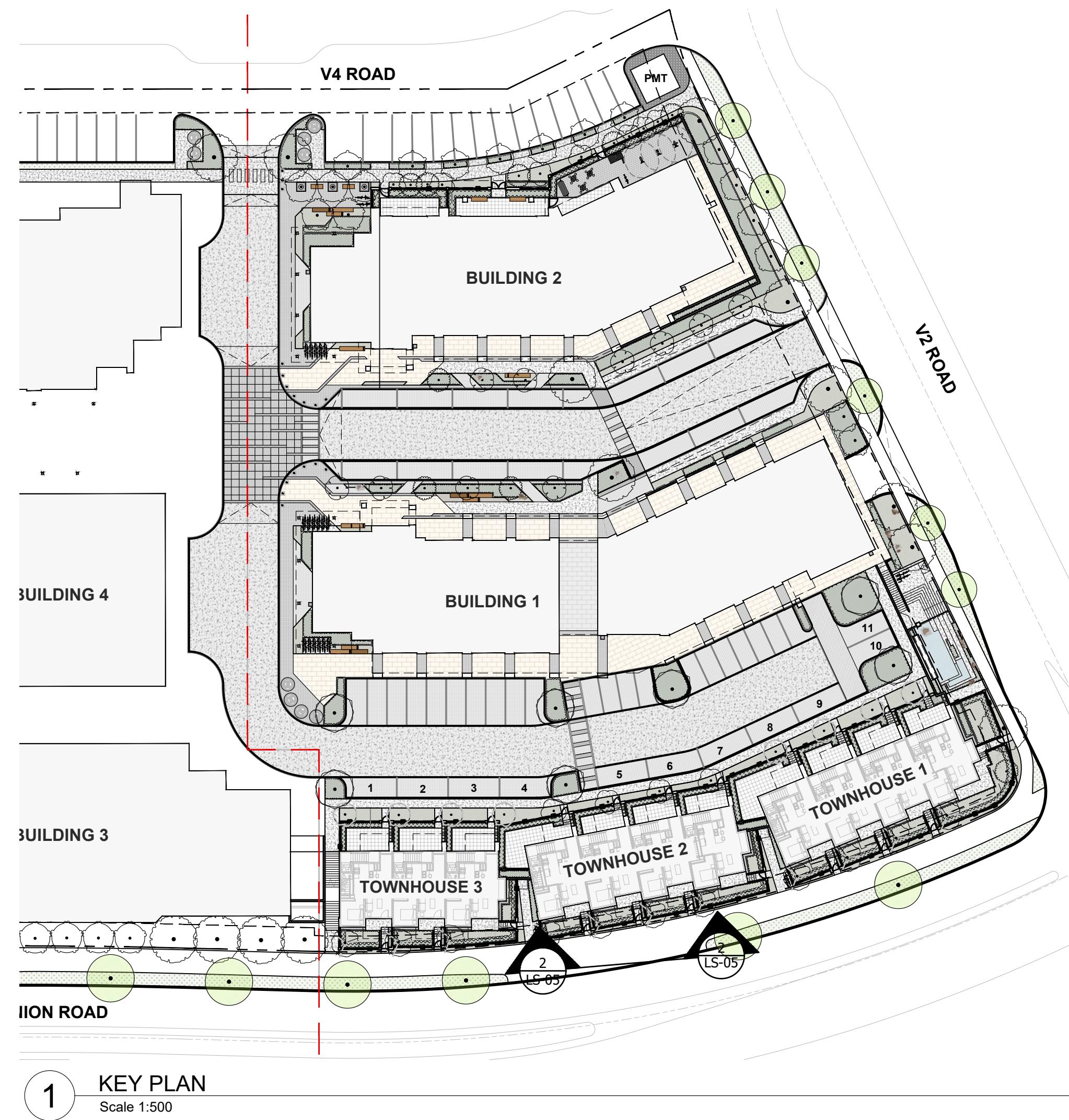
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Location: UNION ROAD KELOWNA, B.C.		
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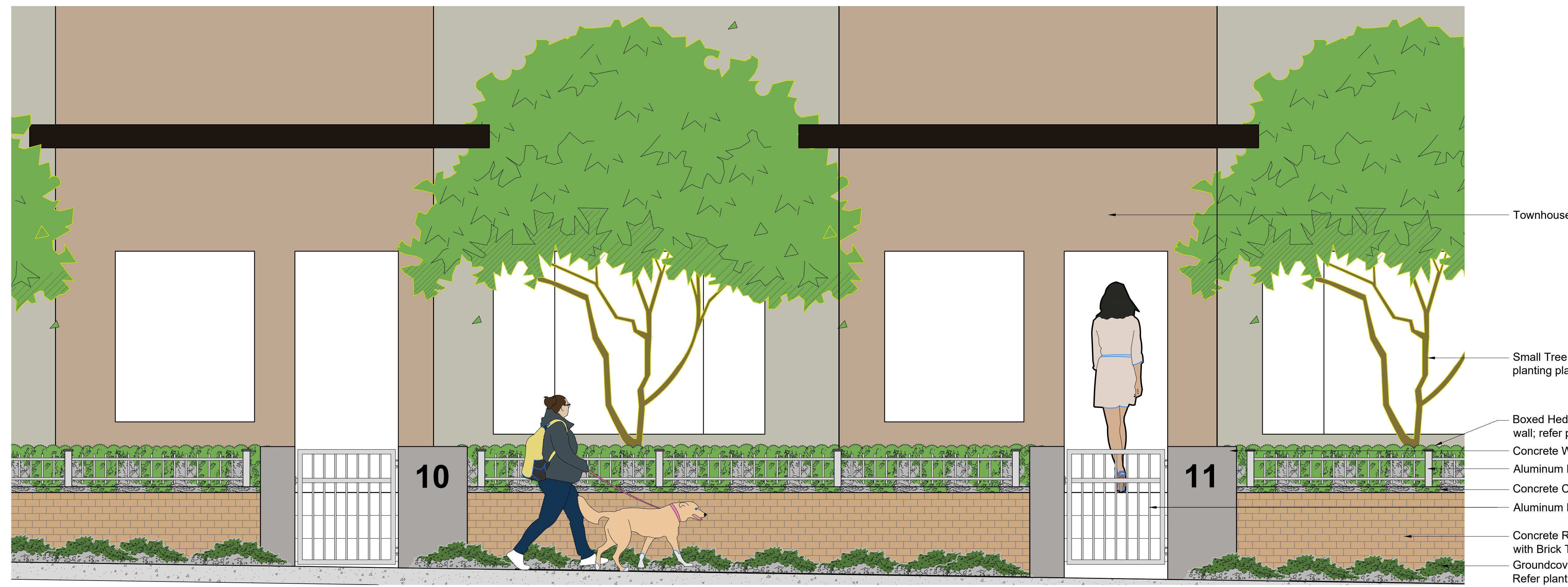
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DP2023-36

Drawing Title: SECTIONS - TOWNHOUSE



1 KEY PLAN  
Scale 1:500



2 ELEVATION OF TOWNHOME YARDS  
Scale 1:20

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1	IM	Issued for Development Permit 2024-09-06
REV. BY	DESCRIPTION	DATE

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1	IM	Issued for Development Permit 2024-09-06
REV. BY	DESCRIPTION	DATE

REVISIONS TABLE FOR SHEET

Project:  
WILDEN MARKET SQUARE - PHASE 1

Location:  
UNION ROAD  
KELOWNA, B.C.

Drawn:  
DC

Stamp:  
REGISTERED  
MEMPA  
Mark van der Zalm  
303  
LANDSCAPE ARCHITECT

Checked:  
IM

Approved:  
MVDZ

Original Sheet Size:  
24"x36"

Scale:  
AS SHOWN

Drawing Title:

DP2023-36

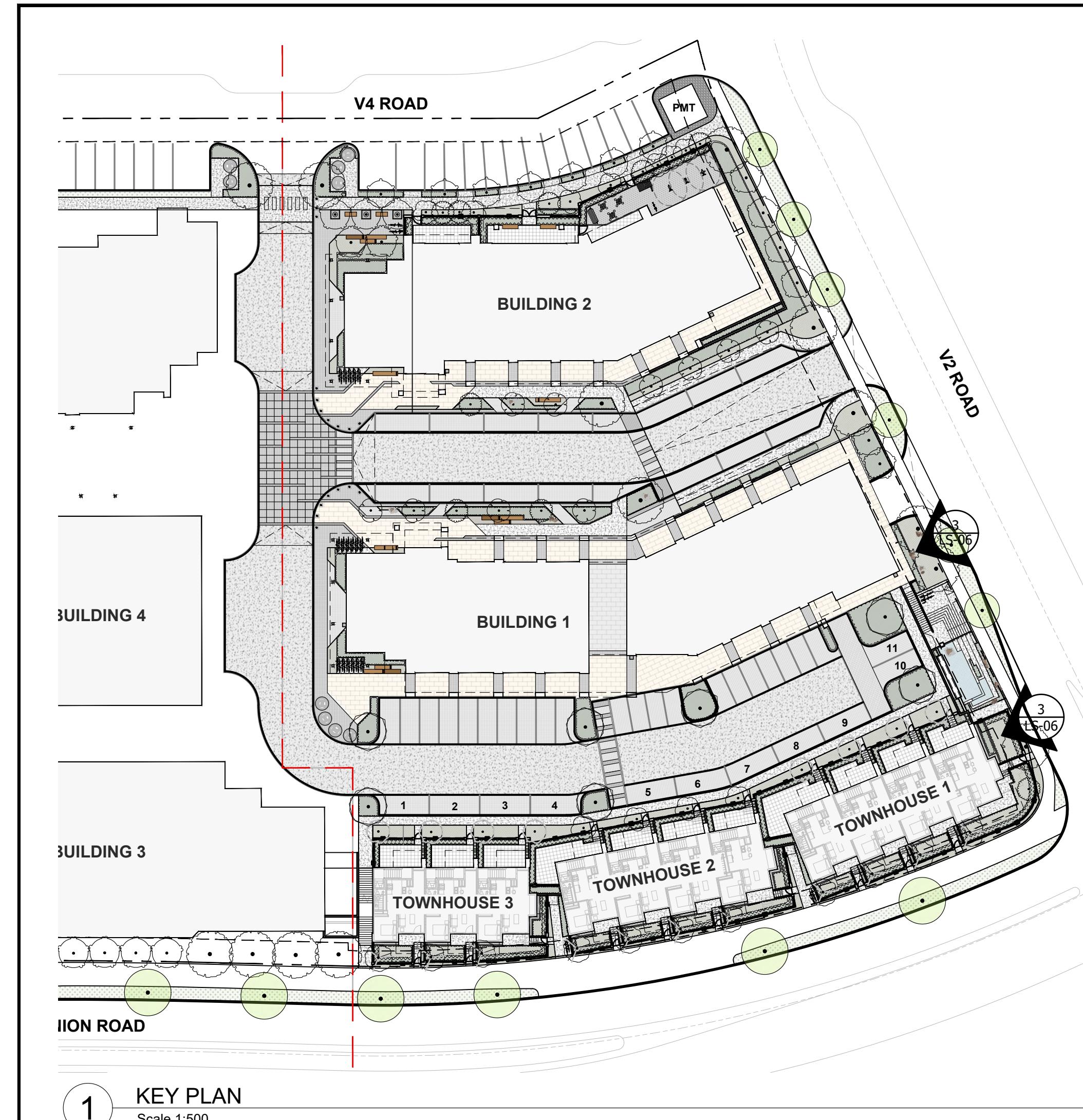
Drawing #:  
LS-05

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**VDZ+A**

VAN DER ZALM + ASSOCIATES

KELOWNA  
FORT Langley  
Vancouver  
604-882-0024  
www.vdz.ca



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1	IM	Issued for Development Permit	2024-09-06
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REV.	BY	DESCRIPTION	DATE
REVISIONS TABLE FOR SHEET			

Project:  
WILDEN MARKET SQUARE - PHASE 1

Location:  
UNION ROAD  
KELOWNA, B.C.

Drawn:	DC	Stamp:
Checked:	IM	
Approved:	MVDZ	Original Sheet Size: 24"x36"
		Scale: AS SHOWN

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DP2023-36

LS-06

Drawing Title:  
SECTIONS - WATER FEATURE - V2 ROAD ENTRANCE

VDZ Project #:

Drawing #:

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1	IM	Issued for Development Permit
	REV. BY	DESCRIPTION DATE

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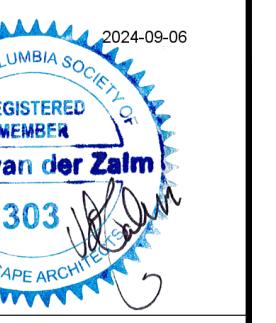
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	REV. BY	DESCRIPTION DATE

REVISIONS TABLE FOR SHEET

Project: WILDEN MARKET SQUARE - PHASE 1

Location: UNION ROAD KELOWNA, B.C.

Drawn: SS IM

Stamp:  303

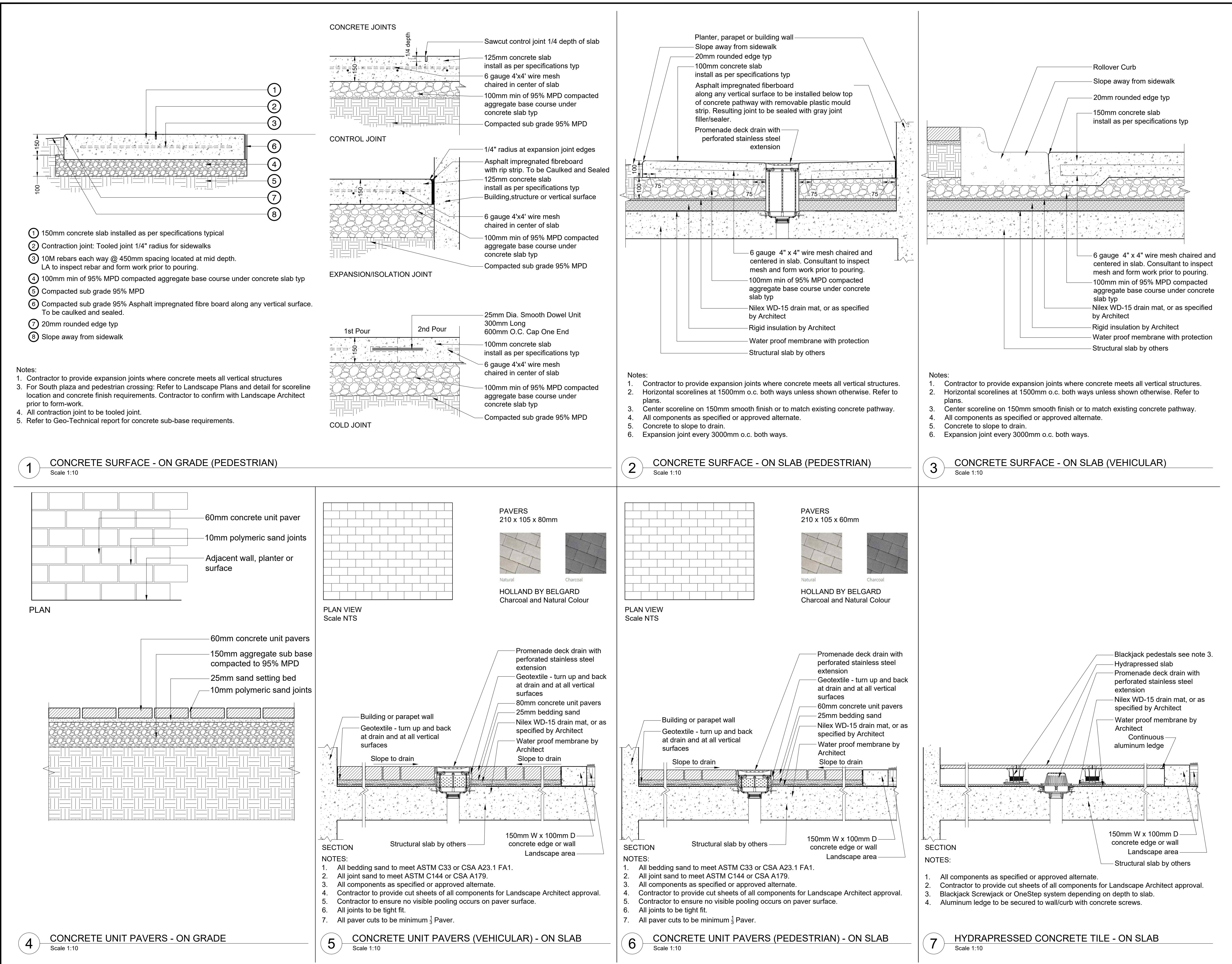
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Approved: MVDZ

Original Sheet Size: 24"x36"

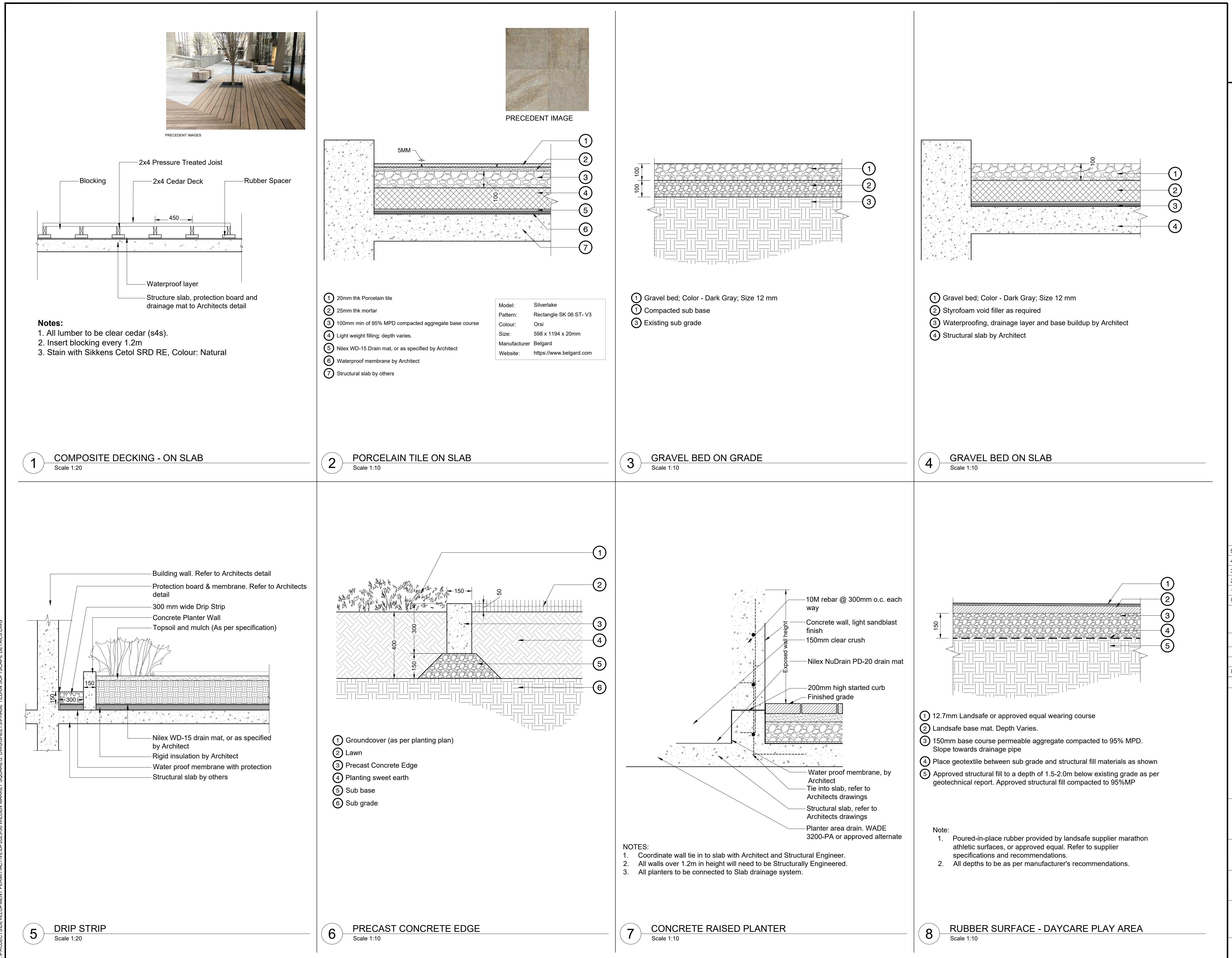
Scale: AS SHOWN

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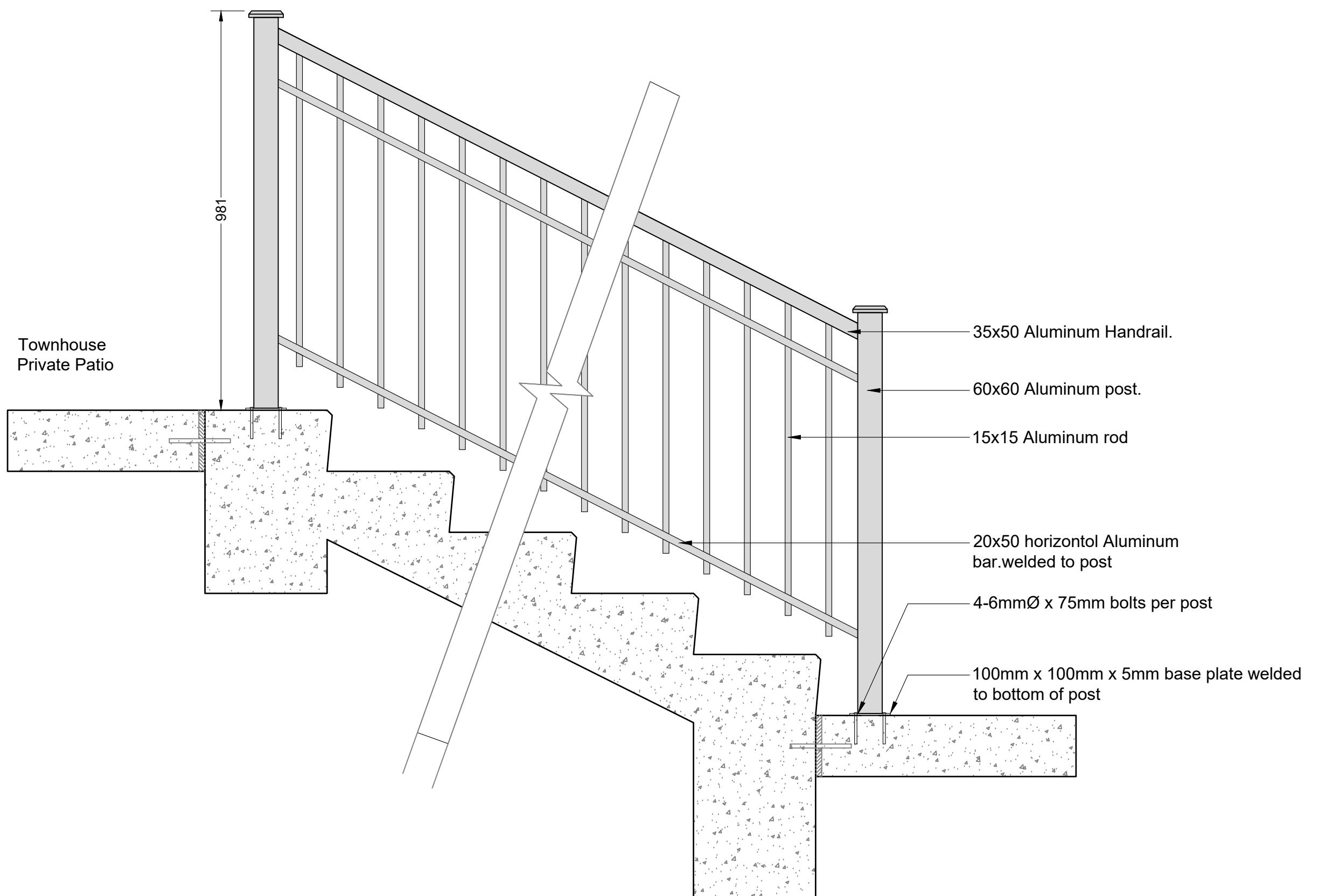
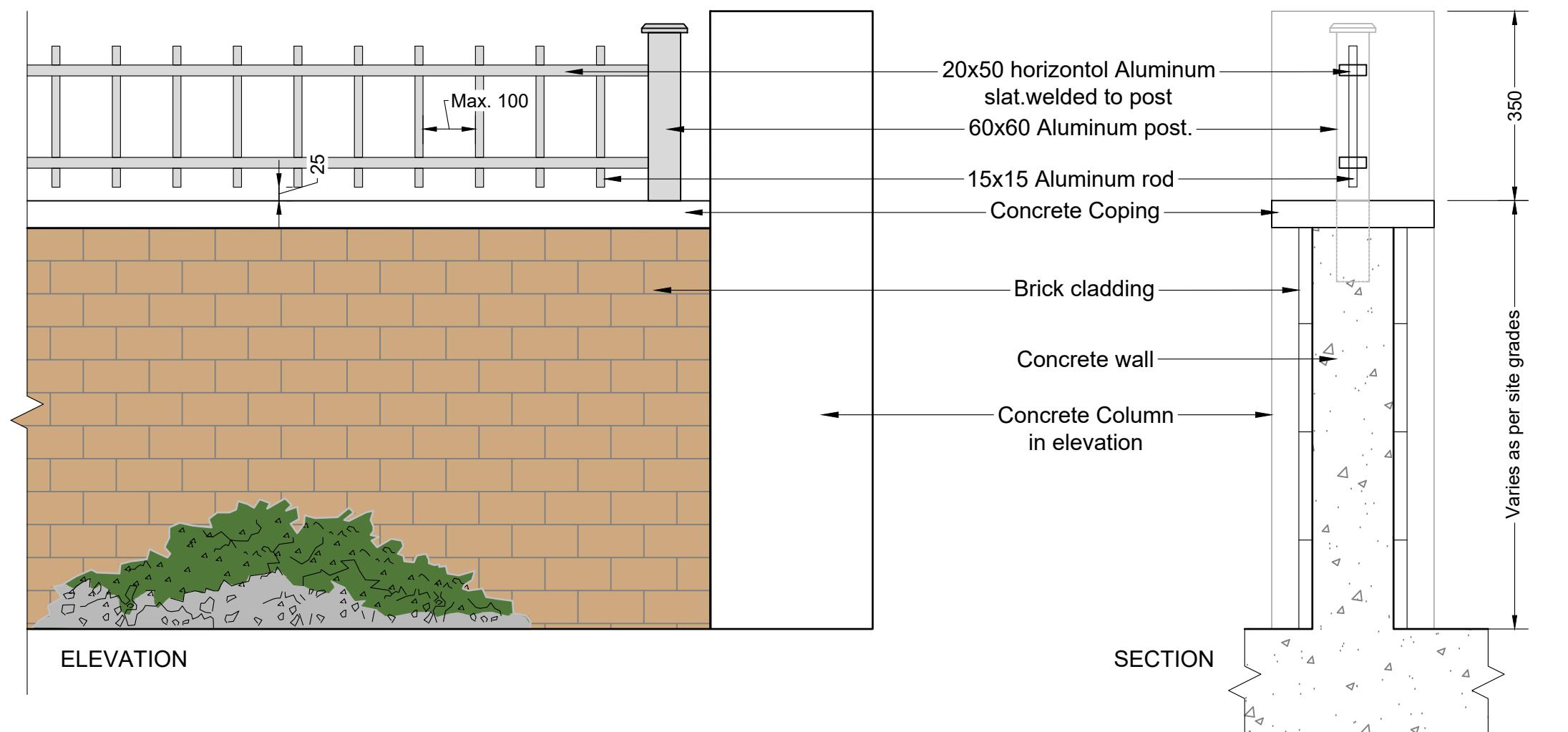
# HARDSCAPE DETAILS

**LD-02**





PRECEDENT IMAGES



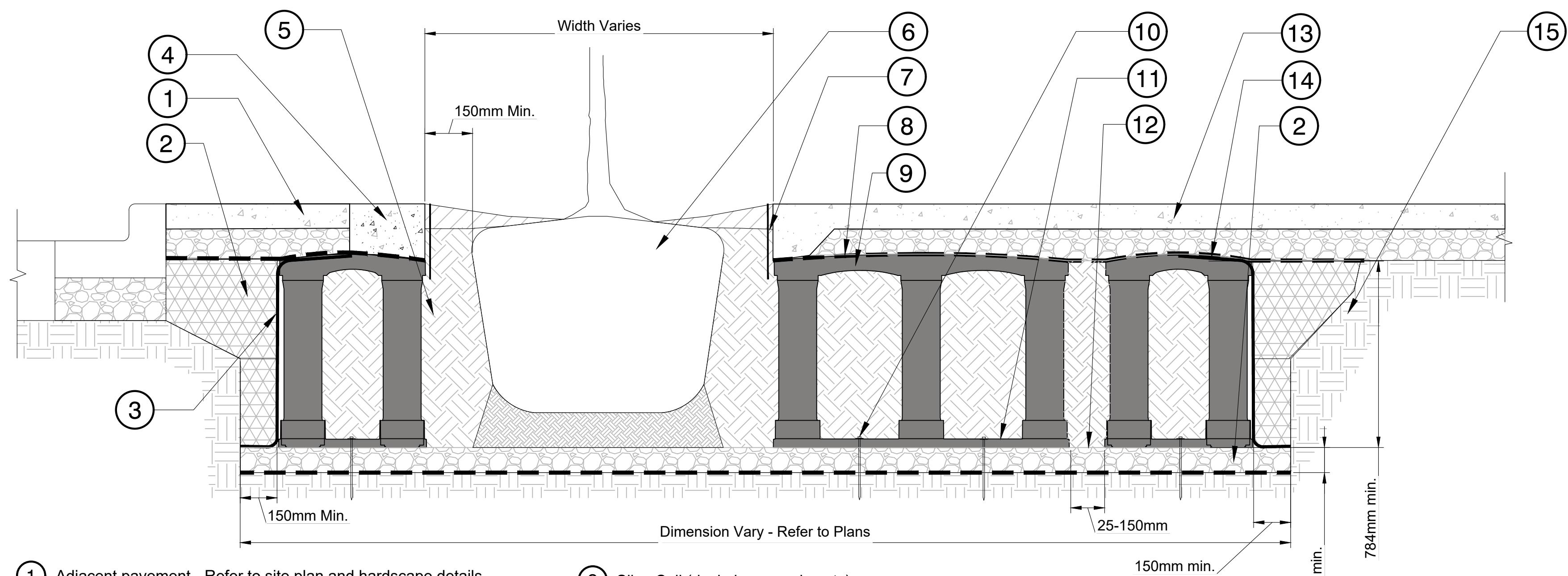
Note:  
 1. Contractor to provide shop drawings.  
 2. Ensure all fasteners exposed to weather are hot-dipped galvanized to prevent staining.  
 3. All exposed aluminum to be powder coated Black with matte finish.  
 4. Fence and wall to have combined guardrail height of 1067mm adjacent to drops greater than 600mm.

### 1 METAL PICKET FENCE

Scale 1:10

### 2 CONCRETE STEPS AND HANDRAIL

Scale 1:10



- (1) Adjacent pavement - Refer to site plan and hardscape details
- (2) 100mm granular base (19mm minus) compacted to 95% MPD
- (3) Geogrid, wrapped around perimeter of system, with 150mm toe (outward from base) and 300mm excess (over top of deck)
- (4) Ribbon curb at tree opening (to be used with pavers or asphalt)
- (5) Planting soil below root ball. Compacted well to prevent settling.
- (6) Install tree as per Tree Planting - Deciduous Tree detail
- (7) Install approved root barrier system - 'Deeproot' model UB 18-2; 'Vespro' model RS-18; or 'NDS' model
- (8) Geotextile fabric to edge of excavation
- (9) Silva Cell (deck, base, and posts)
- (10) Anchoring spikes
- (11) Silva cell base slope 10% Max.
- (12) 25 to 150 mm spacing between Silva Cell bases
- (13) Adjacent surface - Refer to plans
- (14) Cable tie, attaching geogrid to Silva Cell at base of upper leg flare, as needed.
- (15) Silva cell depth based on model and number of stacked units. Refer to plans for layout and depth.

### 3 SILVA CELL PIT

Scale 1:20



### 4 RUBBER SURFACE - DAYCARE PLAY AREA

N.T.S

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1	IM	Issued for Development Permit	2024-09-06
REV. BY	DESCRIPTION	DATE	

REVISIONS TABLE FOR SHEET

Project:  
WILDEN MARKET SQUARE - PHASE 1

Location:  
UNION ROAD  
KELOWNA, B.C.

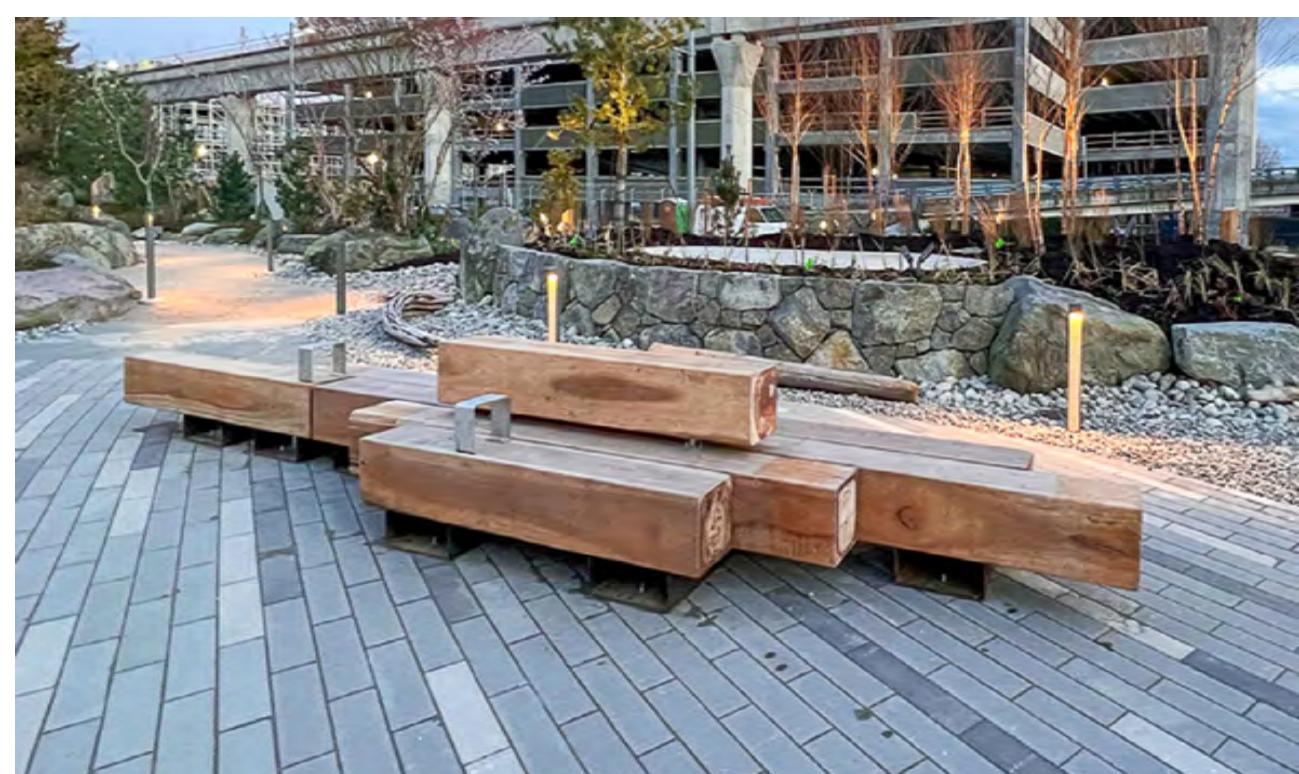
Drawn: SS IM	Stamp: BRITISH COLUMBIA SOCIETY OF REGISTERED LANDSCAPE ARCHITECTS Mark van der Zalm 303 LANDSCAPE ARCHITECT
Checked: IM	
Approved: MVDZ	Original Sheet Size: 24"x36"
	Scale: AS SHOWN





Bench 1:  
Model #: Milenario Bench  
Style: Backless bench, straight, angled right/left or free standing.  
Type: Surface Mount  
Material: Reinforced Cast Stone  
Colour & Finish: Natural grey/beige with acid-etched/waterproof  
Dimensions: Right angled - 5.38 X 0.81 X 0.68m (LxWxH)  
Manufacturer: Landscape Forms  
<https://www.landscapeforms.com>  
1-800-521-2546

Or approved equal



Bench 2:  
Model #: Drifter linear structures  
Style: up to three seating levels  
Type: Surface Mount  
Material: Multibrown rough FSC Hardwood upcycled, Powdercoated galvanized steel smooth texture  
Colour: Multibrown rough FSC Hardwood upcycled, Powdercoated galvanized steel smooth texture  
Dimensions: Drifter 12"x12", Max. length of a beam - 118"  
Manufacturer: Streetlife:Street furniture  
<https://www.streetlife.nl/us>  
FR (QC) T +1 (0)438 228 1339 (Until 11 EST)

Or approved equal



Bike Rack:  
Model #: MultiCITY Bike Rack  
Type: Surface Mount  
Material: Ipe, Aluminum Clear Anodized  
Length: 24"  
Width: 6"  
Height: 36"  
Manufacturer: Landscape Forms  
<https://www.landscapeforms.com>  
1-800-521-2546

Or approved equal



Bin /Trash Receptacle:  
Model #: Generation 50 Side Open  
Style: Wood panel sides  
Type: Capacity 30 gallon; Top and side open, freestanding or surface mounted  
Colour: IPE premium wood panel sides; Dusk color - powdercoated carbon steel panels+inner carbon steel frame with black polyethylene base  
Dimensions: 590.55X1041.4 mm (LxWxH)  
Manufacturer: Landscape Forms  
<https://www.landscapeforms.com>  
1-800-521-2546

Or approved equal

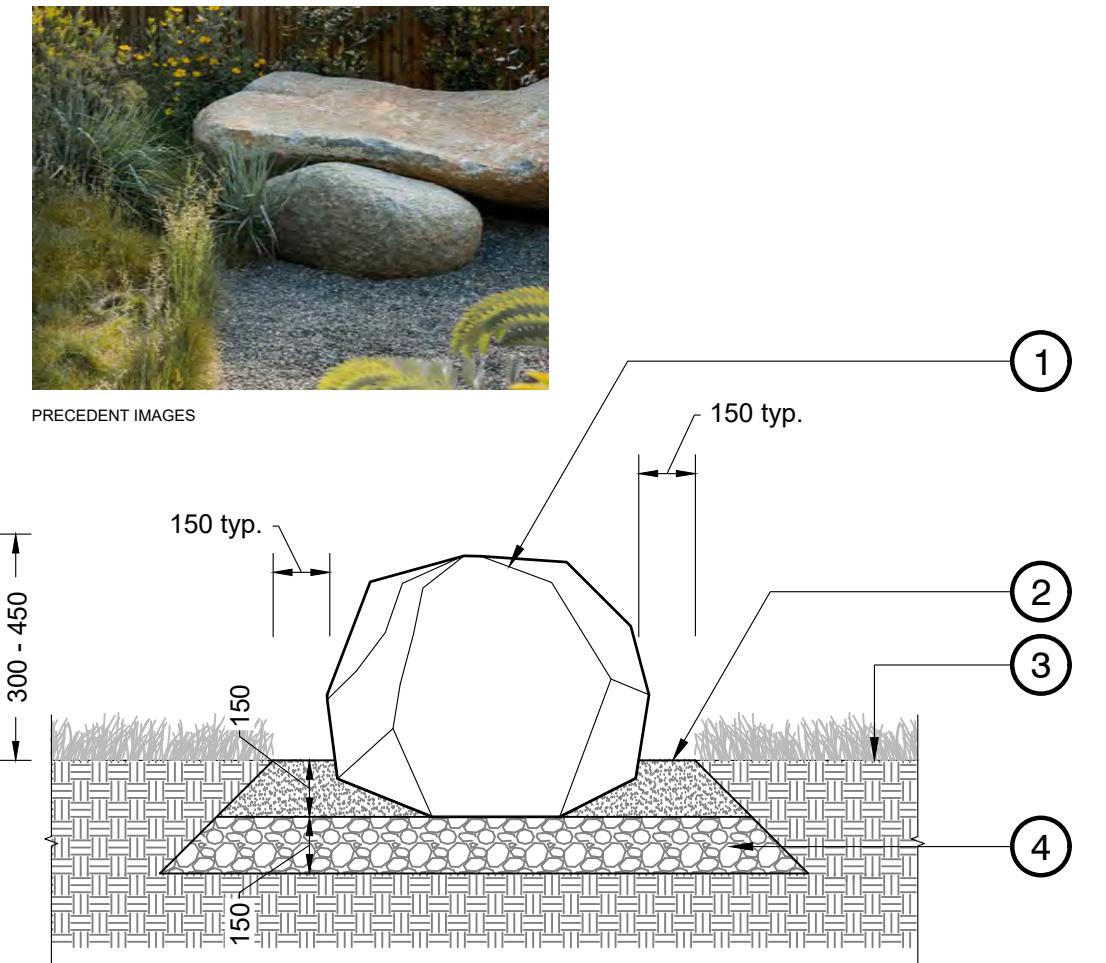
### 1 BENCH 01 Scale N.T.S



Bollard with light  
Model #: Typology path light  
Style: Traditional Backed  
Type: Surface Mount; Option of single or double path design; surface mount; type 3 and 5 distribution; replaceable led cartridge.  
Colour: Natural smooth concrete porous finish  
Dimensions: 190.5 X 133.35 X 1041.4mm (LxWxH)  
Manufacturer: Landscape Forms  
<https://www.landscapeforms.com>  
1-800-521-2546

Or approved equal

### 2 BENCH 02 Scale N.T.S

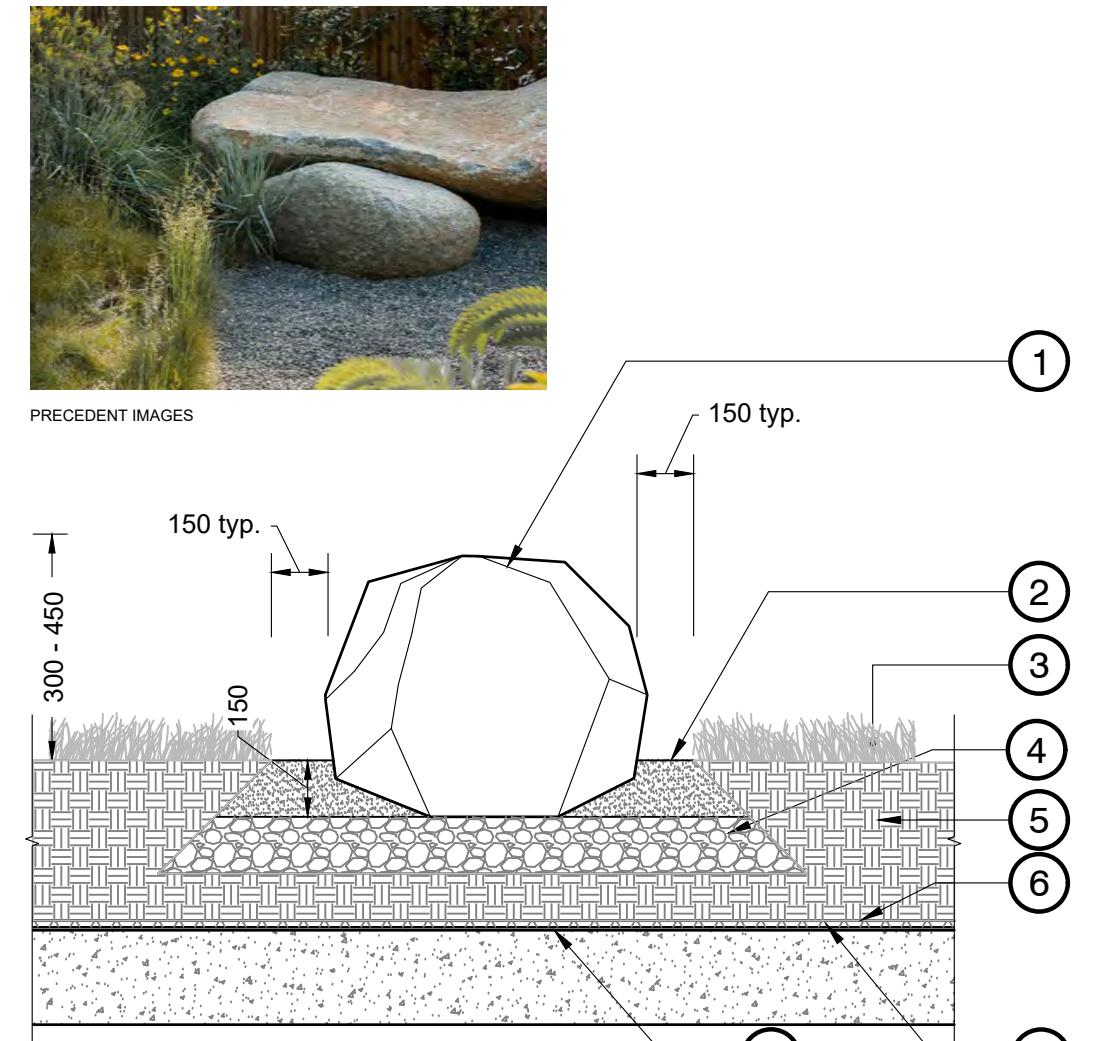


① Basalt Boulder by Northwest Landscape & Stone Supply. Refer to plan for Sizing  
② Decorative gravel strip, 150mm offset from boulder edge  
③ Adjacent lawn, refer to plan  
④ 150mm granular base (19mm minus) compacted to 95% MPD

Notes:

1. Boulders to be installed by the Contractor.
2. Set boulders min. 150mm below grade.
3. No cracked or broken edges shall be exposed above finish grade.
4. Mortar between consecutive boulders. Minimize acute upward facing angles to ensure no entrapment. Landscape architect to review and approve boulder placement prior to application of mortar.
5. Refer to plans and sections for size and location of boulders.
6. Boulders may require stacking to meet depth requirements.

### 3 BIKE RACK Scale N.T.S

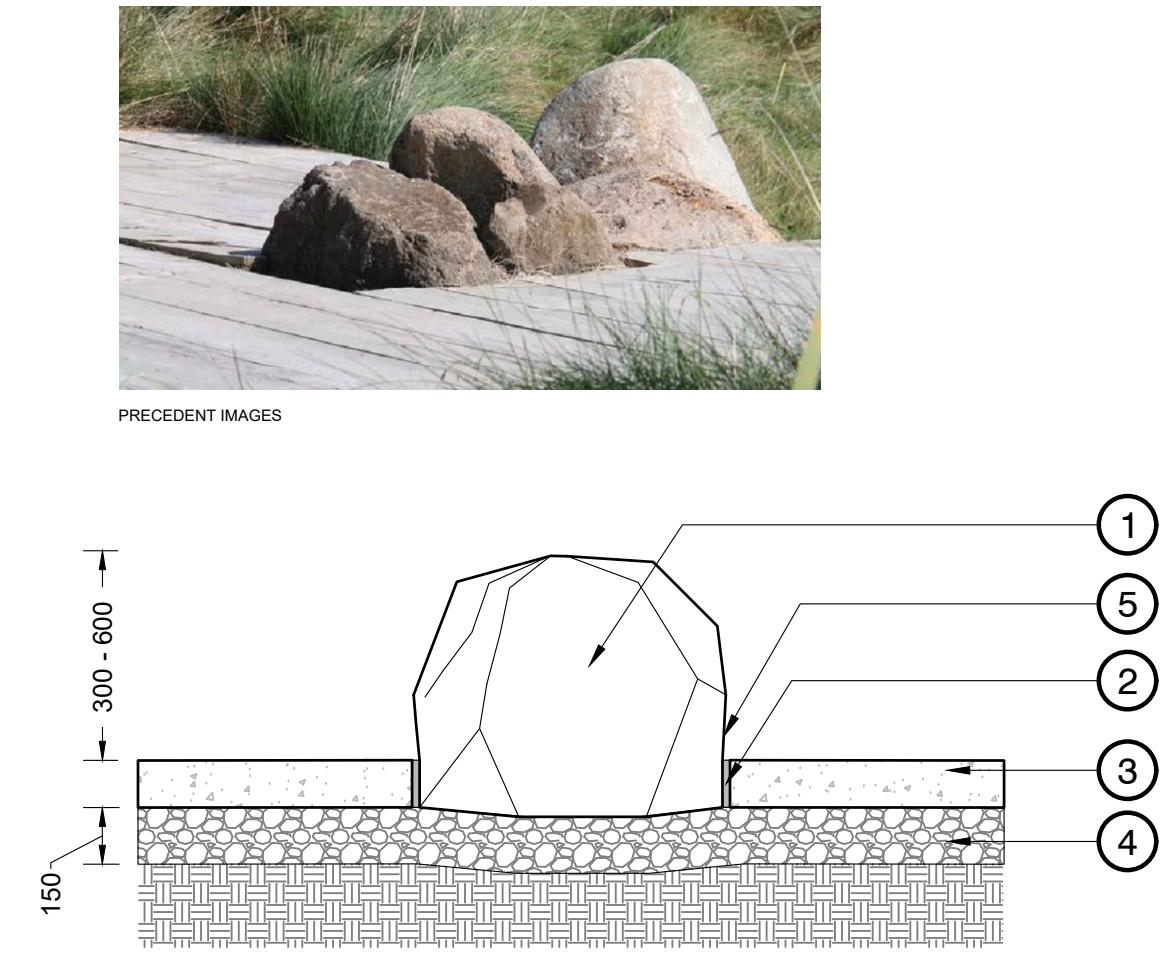


① Basalt Boulder by Northwest Landscape & Stone Supply. Refer to plan for Sizing  
② Decorative gravel strip, 150mm offset from boulder edge  
③ Adjacent lawn, refer to plan  
④ 150mm granular base (19mm minus) compacted to 95% MPD  
⑤ 450mm deep Gently Compacted Topsoil Mixture to Canadian Landscape Standard: "Well Groomed" soil  
⑥ Filter fabric  
⑦ Drainage layer  
⑧ Architecture waterproof membrane on top of Structural slab (by others).

Notes:

1. Boulders to be installed by the Contractor.
2. Set boulders min. 150mm below grade.
3. No cracked or broken edges shall be exposed above finish grade.
4. Refer to plans and sections for size and location of boulders.
5. Ensure vertical interface on all sides between boulder and face of concrete slab.

### 6 LANDSCAPE BOULDERS - ON GRADE Scale 1:10



① Basalt Boulder by Northwest Landscape & Stone Supply. Refer to plan for Sizing  
② 10mm Foam Expansion Joint to wrap around boulder, top to be sealed with Sikkaflex Concrete Fix  
③ Adjacent concrete surface  
④ 150mm granular base (19mm minus) compacted to 95% MPD  
⑤ Ensure vertical interface between boulder and face of concrete slab

Notes:

1. Boulders to be installed by the Contractor.
2. Set boulders min. 150mm below grade.
3. No cracked or broken edges shall be exposed above finish grade.
4. Refer to plans and sections for size and location of boulders.
5. Ensure vertical interface on all sides between boulder and face of concrete slab.

Foam Expansion Joint:  
Product: SAKRETE® Foam Expansion Joint  
Supplier: Basalte  
p. 604-596-3844  
w. [www.basalte.ca](http://www.basalte.ca)

### 7 LANDSCAPE BOULDERS - ON SLAB Scale 1:10

### 8 LANDSCAPE BOULDERS WITH PAVED SURFACE Scale 1:10

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1	IM	Issued for Development Permit
	REV. BY	DESCRIPTION DATE

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#### REVISIONS TABLE FOR SHEET

Project: WILDEN MARKET SQUARE - PHASE 1

Location: UNION ROAD KELOWNA, B.C.

Drawn: SS Stamp: 2024-09-06  
Mark van der Zalm  
REGISTERED MEMBER  
303  
LANDSCAPE ARCHITECT

Checked: CHECKED  
Approved: APPROVED Original Sheet Size: 24"x36"

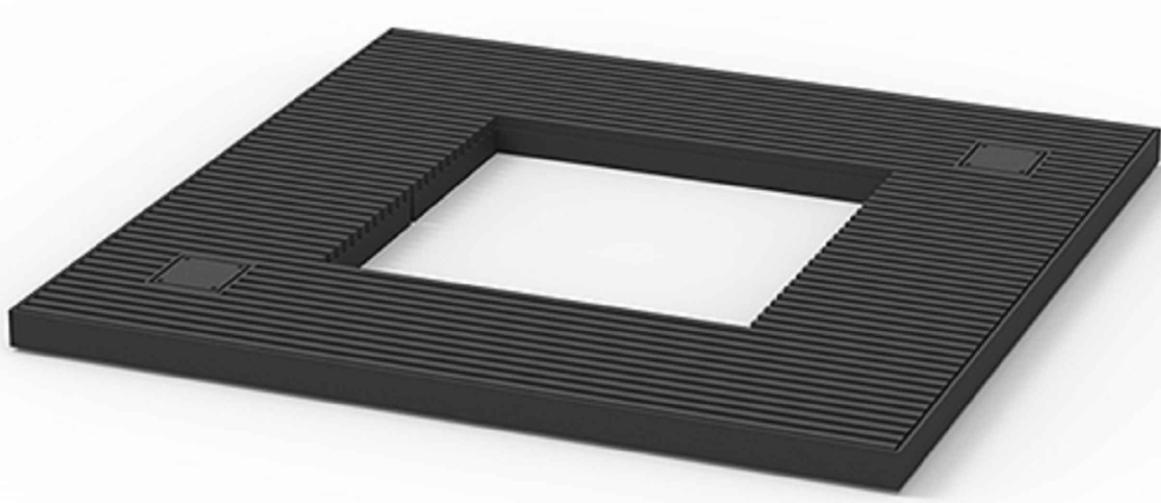
Scale: AS SHOWN  
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## FURNITURE DETAILS

Drawing #: DP2023-36

Drawing #: LD-06

Drawing Title:



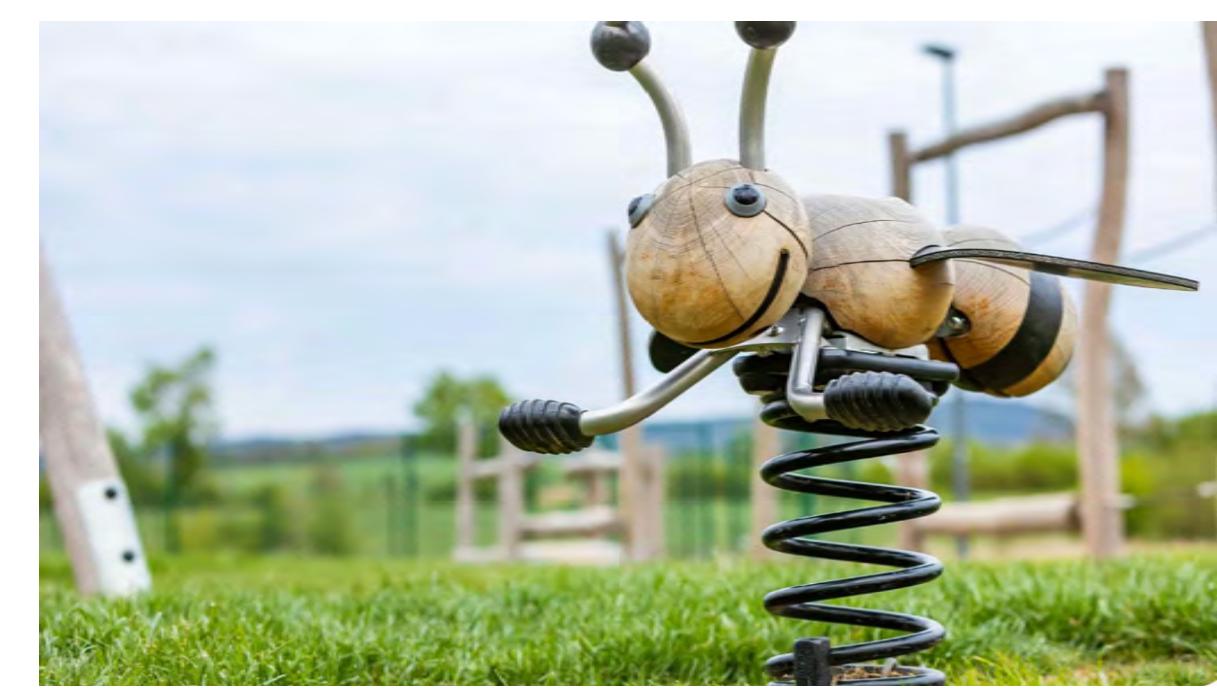
Clyde Tree Grate  
Product Category: Square Tree Grate  
Product No.: GR-CLD-1.2-60DR  
Dimensions: 1200 X 1200 X 50.8 (LWXH)  
Manufacturer: Green Blue Urban  
<https://www.greenseat.com/>  
866-353-2072, 866-282-2743

Or approved equal



Forest Ant Springer:  
Product line: Robinia Springers  
Product No.: NR0119  
Dimensions: 76X69X73 (LWXH)  
Manufacturer: Kompan  
<https://www.kompan.com/>  
1-800-426-9788

Or approved equal



Bee Springer:  
Product line: Robinia Springers  
Product No.: NR0118  
Dimensions: 76X69X73 (LWXH)  
Manufacturer: Kompan  
<https://www.kompan.com/>  
1-800-426-9788

Or approved equal



Snail Springer:  
Product line: Robinia Springers  
Product No.: NR0115  
Dimensions: 73X48X70 (LWXH)  
Manufacturer: Kompan  
<https://www.kompan.com/>  
1-800-426-9788

Or approved equal

1 TREE GRATE

Scale N.T.S

2 SPRINGER 01

Scale N.T.S

3 SPRINGER 02

Scale N.T.S

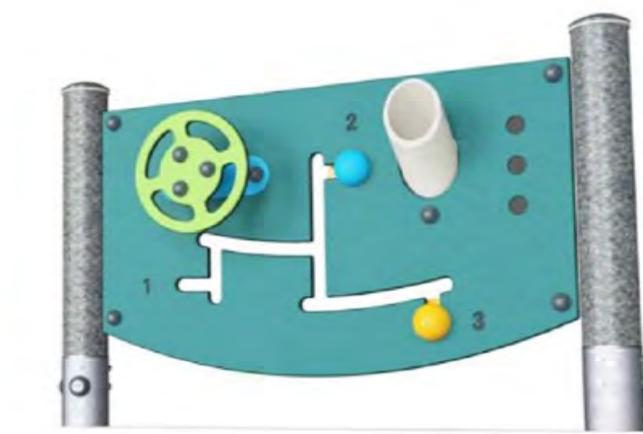
4 SPRINGER 03

Scale N.T.S



Blackboard:  
Product line: Robinia Play, Act & Learn  
Product No.: NR0610  
Dimensions: 225X74X178 (LWXH)  
Manufacturer: Kompan  
<https://www.kompan.com/>  
1-800-426-9788

Or approved equal



Play Panel:  
Product No.: PCM000621  
Dimensions: 121X28X75 (LWXH)  
Manufacturer: Kompan  
<https://www.kompan.com/>  
1-800-426-9788

Or approved equal



Play Hut:  
Product Category: Nature Play  
Product No.: NR0413  
Dimensions: 180X163X158 (LWXH)  
Manufacturer: Kompan  
<https://www.kompan.com/>  
1-800-426-9788

Or approved equal



Kids Table with 4 Sitting Poles:  
Product Category: Nature Play  
Product No.: NR0212  
Dimensions: 145X125X50 (LWXH)  
Manufacturer: Kompan  
<https://www.kompan.com/>  
1-800-426-9788

Or approved equal

5 BLACKBOARD

Scale N.T.S

6 PLAY PANEL

Scale N.T.S.

7 PLAY HUT

Scale N.T.S.

8 KIDS TABLE WITH 4 SITTING POLES

Scale N.T.S

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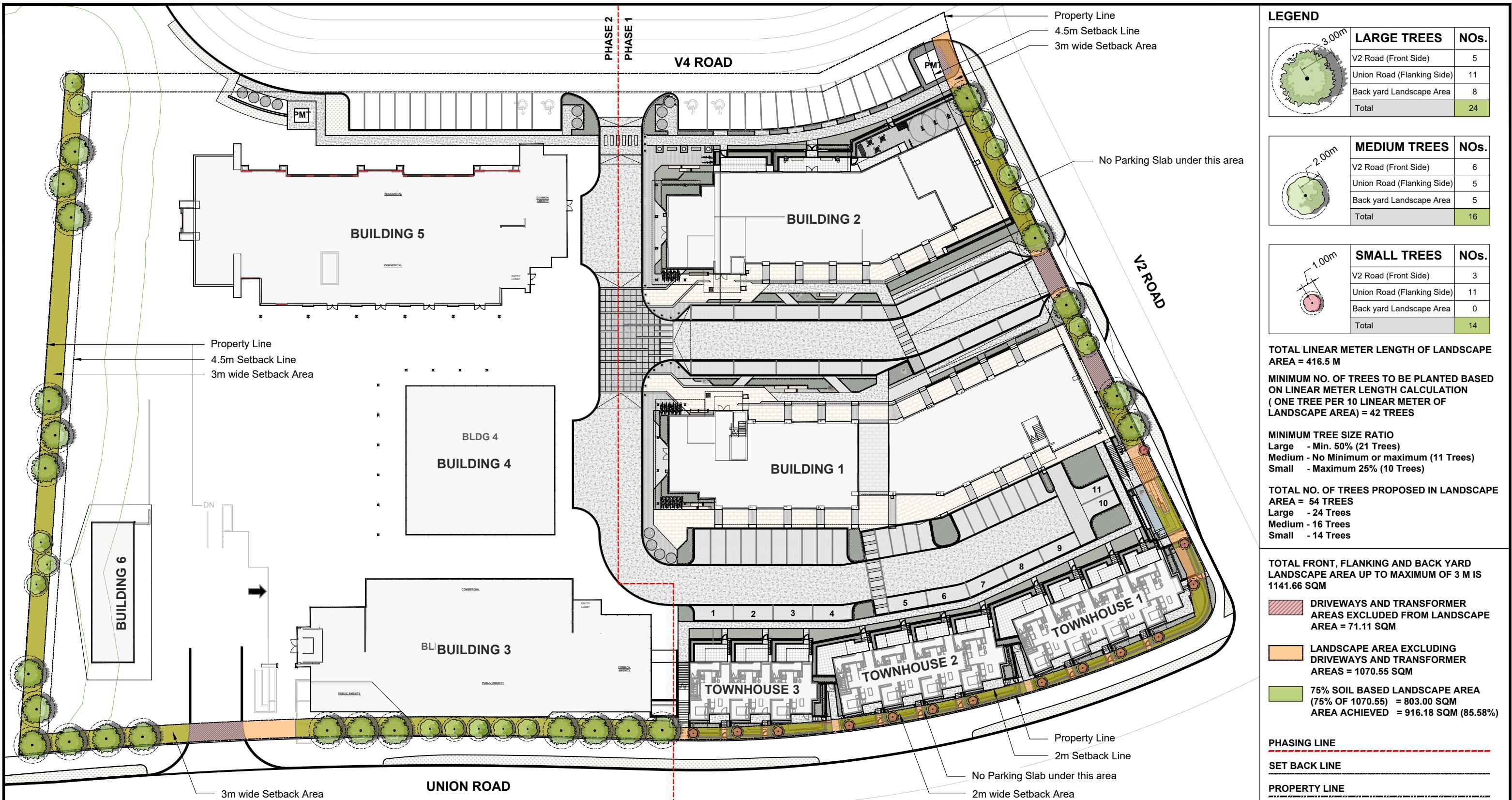
REV.	BY	DESCRIPTION	DATE
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## REVISIONS TABLE FOR SHEET

Project:	WILDEN MARKET SQUARE - PHASE 1
Location:	UNION ROAD KELOWNA, B.C.

Drawn:	SS	Stamp:	Mark van der Zalm 303 LANDSCAPE ARCHITECT REGISTERED MEMBER BRITISH COLUMBIA SOCIETY OF LANDSCAPE ARCHITECTS 324-09-06
Checked:	CHECKED		
Approved:	APPROVED	Original Sheet Size: 24"x36"	
		Scale: AS SHOWN	

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# VDZ + A

**FORT LANGLEY STUDIO** | 101-9181 Church St  
Fort Langley, BC V1M 1A0  
[www.vdz.ca](http://www.vdz.ca)

**MOUNT PLEASANT STUDIO** | 102-355 Kingsway  
Vancouver, BC V5T 3J7  
604-882-0024

DRAWING TITLE **LANDSCAPE PLAN - SETBACK LANDSCAPE AREA**

PROJECT NO.  
**DP 2023-36**

PROJECT  
**WILDEN MARKET SQUARE**

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SCALE BA

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