

SAUCIER AVENUE MULTIFAMILY

ISSUED FOR DEVELOPMENT PERMIT
JANUAR 24, 2024

CIVIC ADDRESS: 761, 771, 781, 791 AND 801/803 SAUCIER AVENUE, KELOWNA BC
LEGAL ADDRESS: LOTS 5-9 (INCLUSIVE), BLOCK 2, DL 138, ODYD, PLAN 7117



#100-1353 Ellis Street
Kelowna, BC V1Y 1Z9
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www.bluegreenarchitecture.com

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Client

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RECORD OF ISSUES

NO.	DATE	DESCRIPTION
A	2023.01.31	ISSUED FOR DEVELOPMENT PERMIT
B	2023.04.04	RE-ISSUED FOR DEVELOPMENT PERMIT
C	2024.02.20	RE-ISSUED FOR DEVELOPMENT PERMIT

RECORD OF REVISIONS

NO.	DATE	DESCRIPTION
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Project

SAUCIER AVENUE MULTIFAMILY

RESIDENTIAL DEVELOPMENT

761, 771, 781, 791 AND 801/803 SAUCIER AVE, KELOWNA, BC

Sheet Title
COVER

Job Number 22.1086

Date 24.02.21

Scale As indicated

Revision Number 0

Drawing Number

A0.0

2024.02.21 3:56:13 PM



SITE LOCATION PLAN
NTS



AXONOMETRIC VIEW OF PROPOSED SITE



AXONOMETRIC VIEW OF PROPOSED SITE



VIEW FROM SAUCIER AVE LOOKING FROM NORTH-WEST CORNER



VIEW FROM SAUCIER AVE LOOKING FROM NORTH-EAST CORNER

CLIENT CONTACT

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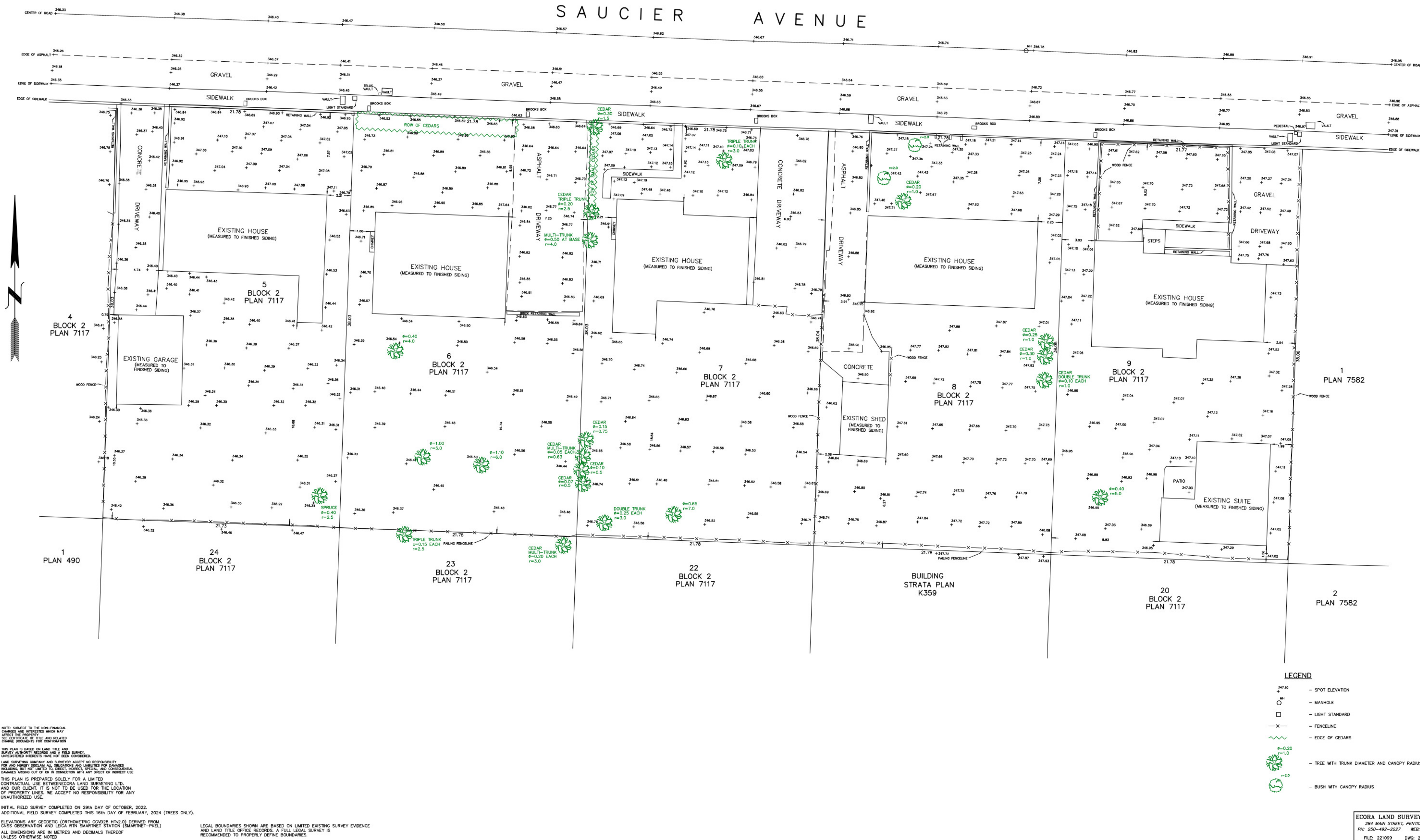
ARCHITECTURAL DRAWING LIST	
SHEET NUMBER	SHEET NAME
A0.0	COVER
A0.1	SURVEY
A1.0	SITE PLAN + ZONING
A2.0	FLOOR PLAN - LEVELS 0-1
A2.1	FLOOR PLAN - LEVELS 2-3
A2.2	FLOOR PLAN - LEVEL 4 - ROOF
A3.0	ENLARGED UNIT PLANS APARTMENT
A3.1	ENLARGED UNIT PLANS APARTMENT
A3.2	ENLARGED UNIT PLANS TOWNHOMES
A3.3	ENLARGED UNIT PLANS TOWNHOMES
A4.0	ELEVATIONS
A4.1	ELEVATIONS
A4.2	PERSPECTIVES
A4.3	MATERIAL BOARD
A5.0	BUILDING SECTIONS

SITE PLAN SHOWING CERTAIN FEATURES ON LOTS 5-9 (inclusive), BLOCK 2, DL 138, ODYD, PLAN 7117

CIVIC ADDRESS: 781, 771, 781, 791, AND 801/ 803 SAUCIER AVENUE, KELOWNA, B.C.
 PID: 010-012-541, 010-012-559, 010-012-567, 010-012-575, 010-012-583

SCALE 1:125

PLAN REVISED ON FEBRUARY 16, 2024 SHOWING TREES.



NOTE: SUBJECT TO THE SUB-PROVINCIAL, DISTRICT AND MUNICIPAL ZONING BY-LAWS WHICH MAY APPLY TO THE PROPERTY. SEE THE OFFICIAL COMMUNITY PLAN AND RELATED ZONING DOCUMENTS FOR CONFORMANCE.

THIS PLAN IS BASED ON LAND TITLE AND SURVEY RECORDS AND A FIELD SURVEY. MEASUREMENTS WERE MADE AND NOTED ON THE DATE OF SURVEY. THE SURVEYOR'S RESPONSIBILITY IS TO REPORT THE RESULTS OF THE SURVEY AND TO ADVISE THE CLIENT OF ANY DISCREPANCIES. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE SURVEYOR'S RESPONSIBILITY IS TO REPORT THE RESULTS OF THE SURVEY AND TO ADVISE THE CLIENT OF ANY DISCREPANCIES. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

THIS PLAN IS PREPARED SOLELY FOR A LIMITED CONTRACTUAL USE BETWEEN ECORA LAND SURVEYING LTD. AND OUR CLIENT. IT IS NOT TO BE USED FOR THE LOCATION OF PROPERTY LINES. WE ACCEPT NO RESPONSIBILITY FOR ANY UNAUTHORIZED USE.

INITIAL FIELD SURVEY COMPLETED ON 29th DAY OF OCTOBER, 2022.
 ADDITIONAL FIELD SURVEY COMPLETED THIS 16th DAY OF FEBRUARY, 2024 (TREES ONLY).
 ELEVATIONS ARE GEODETIC (ORTHOMETRIC CODED NAD83) DERIVED FROM GNSS OBSERVATION AND LEICA RIN SMARTREY STATION (SMARTNET-PIXL). ALL DIMENSIONS ARE IN METRES AND DECIMALS THEREOF UNLESS OTHERWISE NOTED.

LEGAL BOUNDARIES SHOWN ARE BASED ON LIMITED EXISTING SURVEY EVIDENCE AND LAND TITLE OFFICE RECORDS. A FULL LEGAL SURVEY IS RECOMMENDED TO PROPERLY DEFINE BOUNDARIES.

ECORA LAND SURVEYING LTD.
 284 MAIN STREET, PENTICTON, BC
 PH: 250-492-2227 NEW ECORA.CA
 FILE: 221099 DWG: 2400077



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SAUCIER AVENUE MULTIFAMILY

RESIDENTIAL DEVELOPMENT

781, 771, 781, 791 AND 801/803 SAUCIER AVE, KELOWNA, BC

Sheet Title

SURVEY

Job Number 22.1086

Date 24.01.24

Scale

Revision Number 0

Drawing Number

A0.1

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NO.	DATE	DESCRIPTION
2	24.02.20	Revision 2
1		ISP REV 1

RECORD OF REVISIONS

Project
SAUCIER AVENUE MULTIFAMILY
 RESIDENTIAL DEVELOPMENT

761, 771, 781, 791 AND 801/803 SAUCIER AVE, KELOWNA, BC

Sheet Title
SITE PLAN + ZONING

Job Number 22.1086

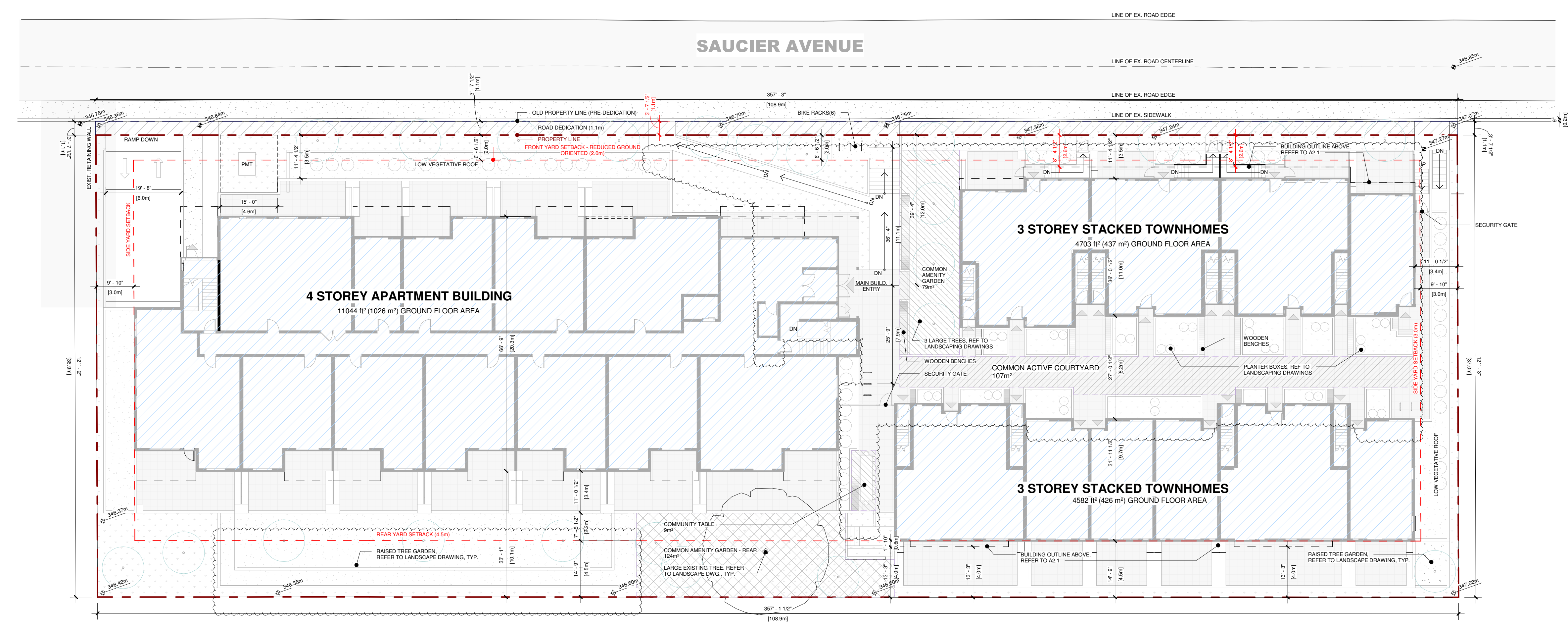
Date 24.01.24

Scale 1 : 200

Revision Number 0

Drawing Number

A1.0



① SITE PLAN
 1 : 200

SAUCIER TOWNHOMES		
	REQUIRED	PROVIDED
CURRENT ZONING: RU4		
PRINCIPLE USE	MF3	MF3
	(P) APARTMENT HOUSING	(P) APARTMENT HOUSING
	(S) STACKED TOWNHOUSES	(S) STACKED TOWNHOUSES
PARCEL SIZE	MINIMUM 1400 M ²	4141 M ²
LOT WIDTH	MINIMUM 30 M	108.9 m
LOT DEPTH	MINIMUM 30 M	38 m
NET FLOOR AREA	N/A	5219 m ²
GROSS FLOOR AREA	N/A	6056 m ²
PARKADE FLOORPLATE	N/A	3657 M ²
MAIN FLOOR FLOORPLATE	N/A	1949 M ²
FLOOR AREA RATIO	1.3	1.26
MAXIMUM LOT COVERAGE (BUILDINGS)	65%	47%
MAXIMUM LOT COVERAGE (BUILDINGS & IMPERMEABLE...)	85%	83%
MAXIMUM BUILDING HEIGHT	18M (4 STOREY)	14.7M (4 STOREYS)
NET FLOOR AREA FOR GROUND ORIENTED RESIDENTIAL UNITS ON THE FIRST FLOOR	MINIMUM 11 M ²	570 M ²
FIRST FLOOR HEIGHT ABOVE CURB LEVEL FOR GROUND ORIENTED RESIDENTIAL UNITS	MAXIMUM 1.2 M	1.2 m
SETBACKS (FRONT - GROUND ORIENTED)	FRONT - GROUND ORIENTED YARD (GROUND-ORIENTED HOUSING & LOBBY) - 3M - 9'-10 1/9"	FRONT - GROUND ORIENTED YARD - GROUND-ORIENTED HOUSING & LOBBY (NORTH) - 2M
SETBACKS (FRONT - GROUND ORIENTED REDUCED)	FRONT - GROUND ORIENTED REDUCED YARD (GROUND-ORIENTED HOUSING & LOBBY) - 2M - 6'-6 3/4"	FRONT - GROUND ORIENTED REDUCED YARD - GROUND-ORIENTED HOUSING & LOBBY (NORTH) - 2.3M
SETBACKS (FRONT)	FRONT YARD (NORTH) - 4.5M - 14'-9 1/6"	FRONT YARD - NORTH (NORTH) - 7.6M
SETBACKS (SIDE)	SIDE YARD (EAST) - 3M - 9'-10 1/9"	SIDE YARD - EAST (EAST) - 3.4M
SETBACKS (REAR)	REAR YARD (NO LANE) - 4.5M - 14'-9 1/6"	REAR YARD - NO LANE (SOUTH) - 4.5M
SETBACKS (SIDE)	SIDE YARD (WEST) - 3M - 9'-10 1/9"	4.50
BUILDING FRONTAGE	MAXIMUM 100M	56.4 m
BETWEEN DETACHED PRINCIPAL BUILDINGS	N/A	2.9 m
COMMON AMENITY	STUDIO - 7.5 M ²	SEE PRIVATE OPEN SPACE CALCS
	1 BEDROOM - 15 M ²	SEE PRIVATE OPEN SPACE CALCS
	MORE THAN 1 BEDROOM - 25 M ²	SEE PRIVATE OPEN SPACE CALCS
ON A TRANSIT SUPPORTIVE CORRIDOR?	NO	
WITHIN URBAN CORE / CORE AREA?	YES	
LANE ACCESS?	NO	
ABUTS AN RU1, RU2, RU3, RU4 OR RUS ZONE?	YES	
CANTERLEVERED PROJECTION 30% PER STOREE NO MORE THEN 4M, 1.5M APART.	YES	

AREA CALCULATIONS	NO.	SF	%	TOTAL SF	TOTAL SM
A - 1 BEDROOM + DEN	28	642	40%	17,976	1670.03
B - STUDIO	4	312	6%	1,248	115.94
C - 2 BEDROOM	4	980	6%	3,920	364.18
D - 2 BEDROOM	4	869	6%	3,476	322.93
E - 2 BEDROOM	4	887	6%	3,548	329.62
F - 2 BEDROOM	4	986	6%	3,944	366.41
G - 2 BEDROOM	2	934	3%	1,868	173.54
TH 1-A - 2 BEDROOM	1	1,057	1%	1,057	98
TH 1-B - 2 BEDROOM	2	1,025	3%	2,050	190
TH 1-C - 2 BEDROOM	2	1,028	3%	2,056	191.01
TH 2-A - 2 BEDROOM	5	1,002	7%	5,010	465.44
TH 2-B - 2 BEDROOM	10	1,002	14%	10,020	930.89
NET RESIDENTIAL	70		100%	56,173	5,219
SITE AREA	44,577		FAR =	1.26	

UNIT MIX	NO.	AVG SF	%	TOTAL SF	TOTAL SM
STUDIO	4	312	6%	1,248	115.94
1 BEDROOM	28	642	40%	17,976	1670.03
2 BEDROOM	38	977	54%	36,949	3432.67
3 BEDROOM	0	0	0%	0	0
TOTAL	70	802	100%	56,173	5,219

PRIVATE OPEN SPACE	REQ'D POS (SF)	REQ'D POS (SM)	PROVIDED POS (SF)	PROVIDED POS (SM)
A - 1 BEDROOM + DEN	4,521	420	4,172	388
B - STUDIO	323	30	495	46
C - 2 BEDROOM	1,076	100	658	61
D - 2 BEDROOM	1,076	100	565	52
E - 2 BEDROOM	1,076	100	779	72
F - 2 BEDROOM	1,076	100	790	73
G - 2 BEDROOM	538	50	262	24
TH 1-A - 2 BEDROOM	269	25	167	16
TH 1-B - 2 BEDROOM	538	50	374	35
TH 1-C - 2 BEDROOM	538	50	776	72
TH 2-A - 2 BEDROOM	1,345	125	970	90
TH 2-B - 2 BEDROOM	2,691	250	1,240	115
OTHER AMENITY			4,332	579
TOTALS	15,069	1,400	17,480	1,624

TOTAL COMMON / PRIVATE AMENITY PER DWELLING UNIT	TOTAL UNITS
DWELLING UNITS	70
REQUIRED - 4.0 m2 PER DWELLING	3,014
PROVIDED	280
COMMON GARDEN - REAR	1,337
COMMON GARDEN - FRONT	850
COMMUNITY TABLE	100
AMENITY ROOM - FIRST FLOOR	894
COMMON ACTIVE COURTYARD	1,151
TOTAL	4,332
	402

PARKING	TOTAL...	PARKING...	PARKING REQ'
TOTAL	4	1.0	4.00
STUDIO	28	1.2	33.60
1 BEDROOM	38	1.4	53.20
2 BEDROOM	0	1.6	0.00
3 BEDROOM		0.14	9.80
VISITOR SPACES			
SUB-TOTAL	70		100.60
BIKE PARKING INCENTIVE		5% REDUCTION	-5.00
TOTAL			96

SPACE REQUIREMENTS	REQ'D	PROVIDED
REGULAR SIZE PARKING FOR...	45 (47%)	48 (49%)
SMALL SIZE PARKING FOR...	48 (50%)	46 (47%)
ACCESSIBLE PARKING	2 (2%)	3 (3%)
VAN ACCESSIBLE PARKING	1 (1%)	1 (1%)
TOTAL	96	98

BIKES	NO.	RATIO	REQ'D
UNIT TYPE			
STUDIO	4	1.3	5
1 BEDROOM	28	1.5	42
2 BEDROOM	38	1.5	57
3 BEDROOM	0	2.0	0
TOTAL	70	0	104

TYPE REQUIREMENTS	REQ'D	PROVIDED
FLOOR MOUNTED	52 (50%)	98 (82%)
WALL MOUNTED	52 (50%)	21 (18%)
FLOOR MOUNTED (OPEN)		18
TOTAL	104	119

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NO.	DATE	DESCRIPTION
1	24.02.20	Revision 2
2	24.02.20	DP REV 1

Project

SAUCIER AVENUE MULTIFAMILY
 RESIDENTIAL DEVELOPMENT
 761, 771, 781, 791 AND 801/803 SAUCIER AVE, KELOWNA, BC

Sheet Title

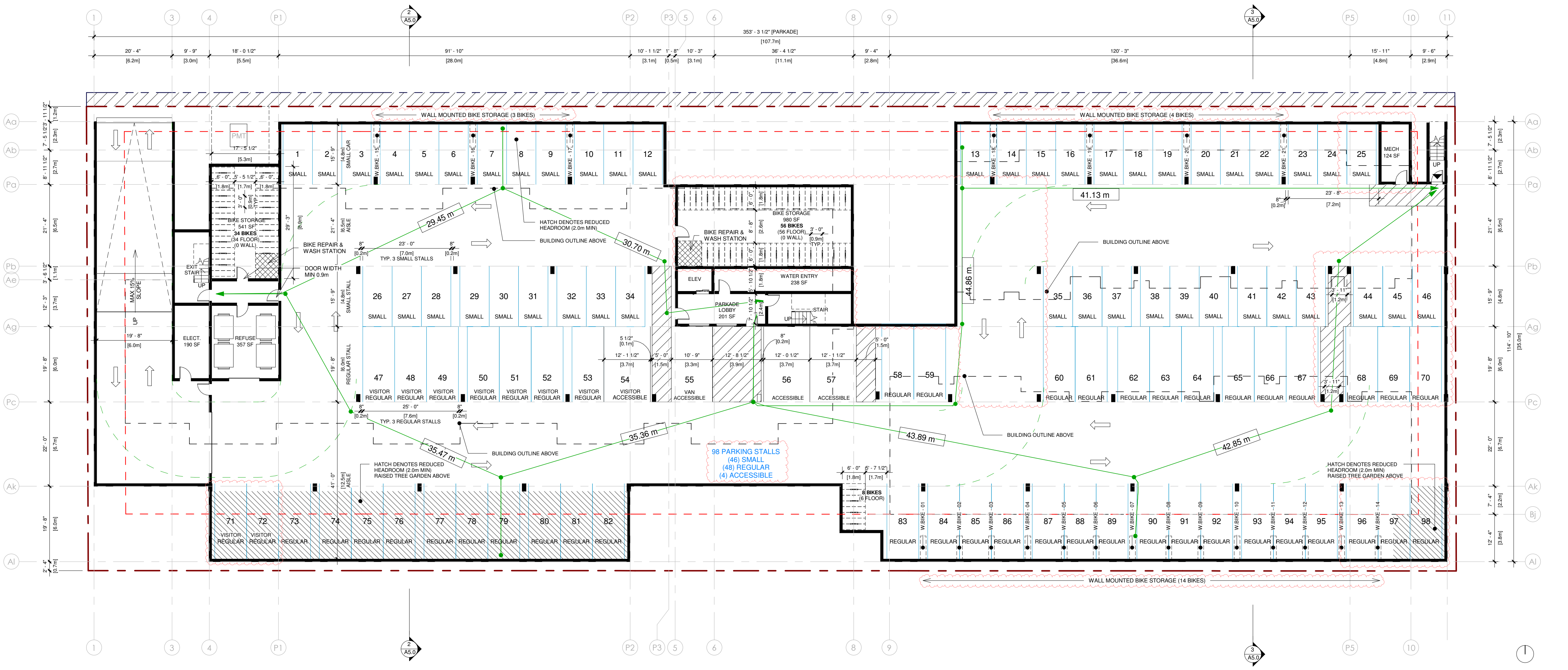
FLOOR PLAN - LEVELS 0-1

Job Number 22.1086
 Date 24.02.21
 Scale 1/16" = 1'-0"
 Revision Number 0
 Drawing Number

LEVEL 1	No.	SF	SM	Total SF	Total SM
A - 1 BEDROOM +...	7	642	59.64	4494	417.51
B - STUDIO	1	312	28.99	312	28.99
C - 2 BEDROOM	1	980	91.04	980	91.04
D - 2 BEDROOM	1	869	80.73	869	80.73
E - 2 BEDROOM	1	887	82.4	887	82.4
F - 2 BEDROOM	1	986	91.6	986	91.6
G - 2 BEDROOM	0	934	86.77		
TH 1-A - 2 BEDROOM	1	1057	98.2	1057	98.2
TH 1-B - 2 BEDROOM	2	1025	95.23	2050	190.45
TH 1-C - 2 BEDROOM	2	1028	95.5	2056	191.01
TH 2-A - 2 BEDROOM	5	1002	93.09	5010	465.44
TH 2-B - 2 BEDROOM	0	1002	93.09		
Total	22			18701	1737.38



2 LEVEL 1
 1/16" = 1'-0"



1 LEVEL 0
 1/16" = 1'-0"

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761, 771, 781, 791 AND 801/803 SAUCIER AVE, KELOWNA, BC

Sheet Title

FLOOR PLAN - LEVELS 2-3

Job Number 22.1086

Date 24.02.21

Scale 1/16" = 1'-0"

Revision Number 0

Drawing Number

LEVEL 3

No.	SF	SM	Total SF	Total SM
A - 1 BEDROOM +...	7	642	59.64	4494
B - STUDIO	1	312	28.99	312
C - 2 BEDROOM	1	980	91.04	980
D - 2 BEDROOM	1	869	80.73	869
E - 2 BEDROOM	1	887	82.4	887
F - 2 BEDROOM	1	986	91.6	986
G - 2 BEDROOM	1	934	86.77	934
TH 1-A - 2 BEDROOM	0	1057	98.2	
TH 1-B - 2 BEDROOM	0	1025	95.23	
TH 1-C - 2 BEDROOM	0	1028	95.5	
TH 2-A - 2 BEDROOM	0	1002	93.09	
TH 2-B - 2 BEDROOM	0	1002	93.09	
Total	13	9462	879.05	879.05



2 LEVEL 3
 1/16" = 1'-0"

LEVEL 2

No.	SF	SM	Total SF	Total SM
A - 1 BEDROOM +...	7	642	59.64	4494
B - STUDIO	1	312	28.99	312
C - 2 BEDROOM	1	980	91.04	980
D - 2 BEDROOM	1	869	80.73	869
E - 2 BEDROOM	1	887	82.4	887
F - 2 BEDROOM	1	986	91.6	986
G - 2 BEDROOM	0	934	86.77	
TH 1-A - 2 BEDROOM	0	1057	98.2	
TH 1-B - 2 BEDROOM	0	1025	95.23	
TH 1-C - 2 BEDROOM	0	1028	95.5	
TH 2-A - 2 BEDROOM	0	1002	93.09	
TH 2-B - 2 BEDROOM	10	1002	93.09	10020
Total	22	18548	1723.17	1723.17



1 LEVEL 2
 1/16" = 1'-0"

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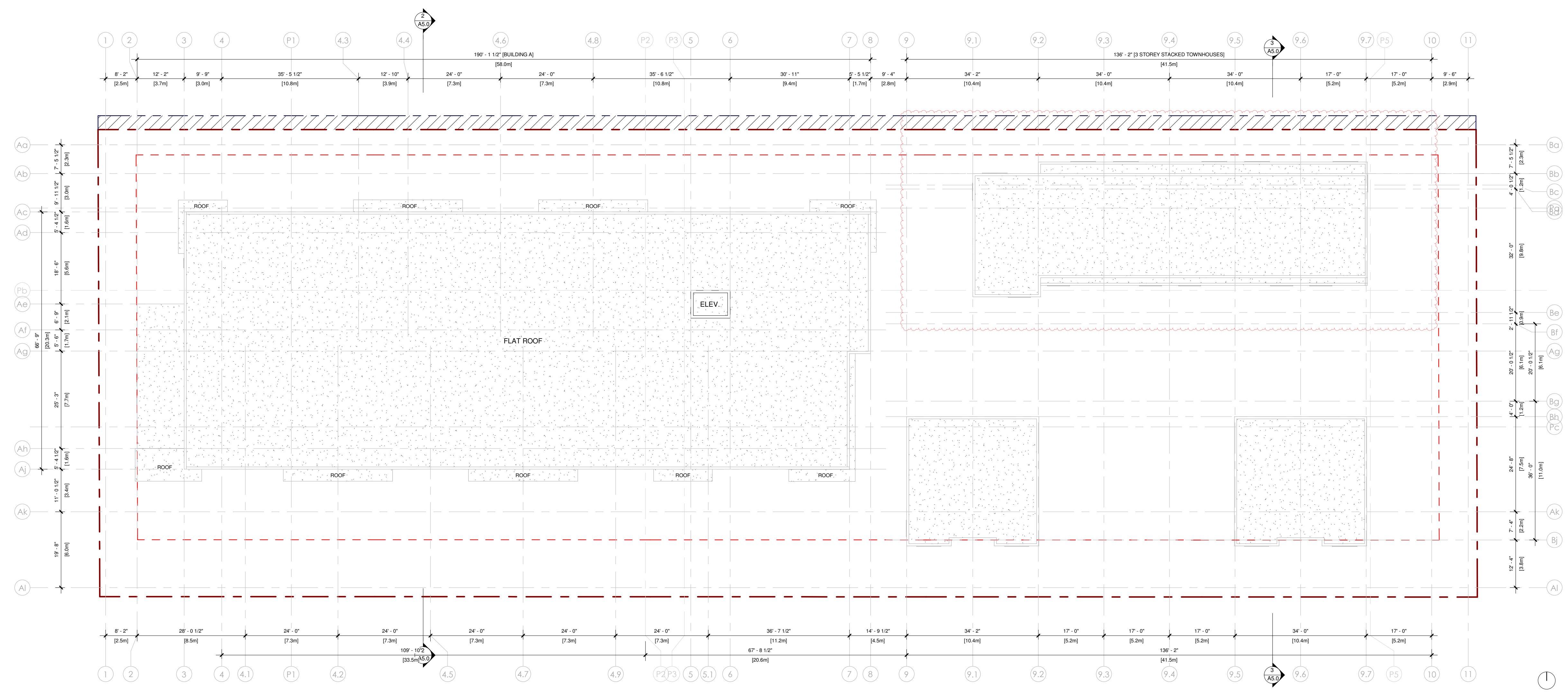
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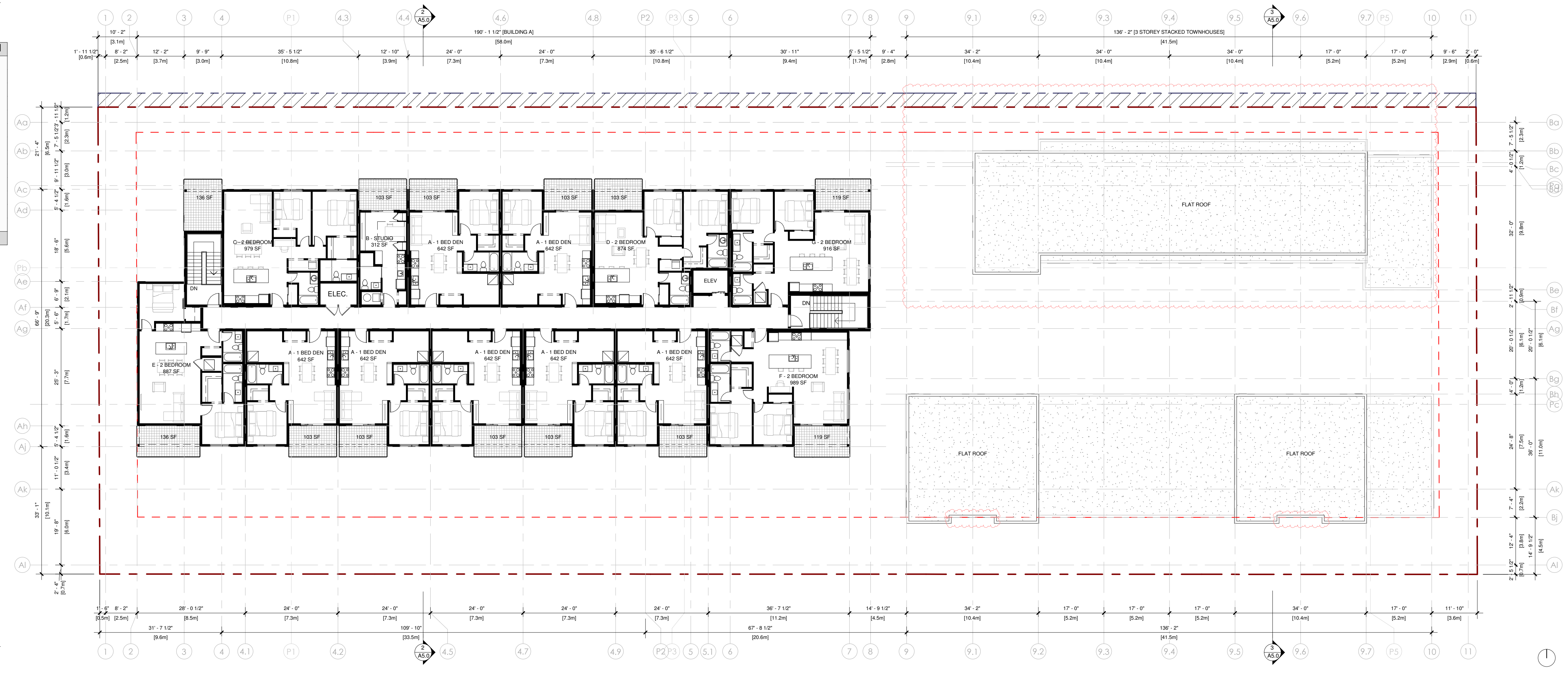
Sheet Title
FLOOR PLAN - LEVEL 4 - ROOF

Job Number 22.1086
 Date 24.02.21
 Scale 1/16" = 1'-0"
 Revision Number 0
 Drawing Number



2 TOP OF ROOF
 1/16" = 1'-0"

LEVEL 4	No.	SF	SM	Total SF	Total SM
A - 1 BEDROOM +...	7	642	59.64	4494	417.51
B - STUDIO	1	312	28.99	312	28.99
C - 2 BEDROOM	1	980	91.04	980	91.04
D - 2 BEDROOM	1	869	80.73	869	80.73
E - 2 BEDROOM	1	887	82.4	887	82.4
F - 2 BEDROOM	1	986	91.6	986	91.6
G - 2 BEDROOM	1	934	86.77	934	86.77
TH 1-A - 2 BEDROOM	0	1057	98.2		
TH 1-B - 2 BEDROOM	0	1025	95.23		
TH 1-C - 2 BEDROOM	0	1028	95.5		
TH 2-A - 2 BEDROOM	0	1002	93.09		
TH 2-B - 2 BEDROOM	0	1002	93.09		
Total	13			9462	879.05



1 LEVEL 4
 1/16" = 1'-0"

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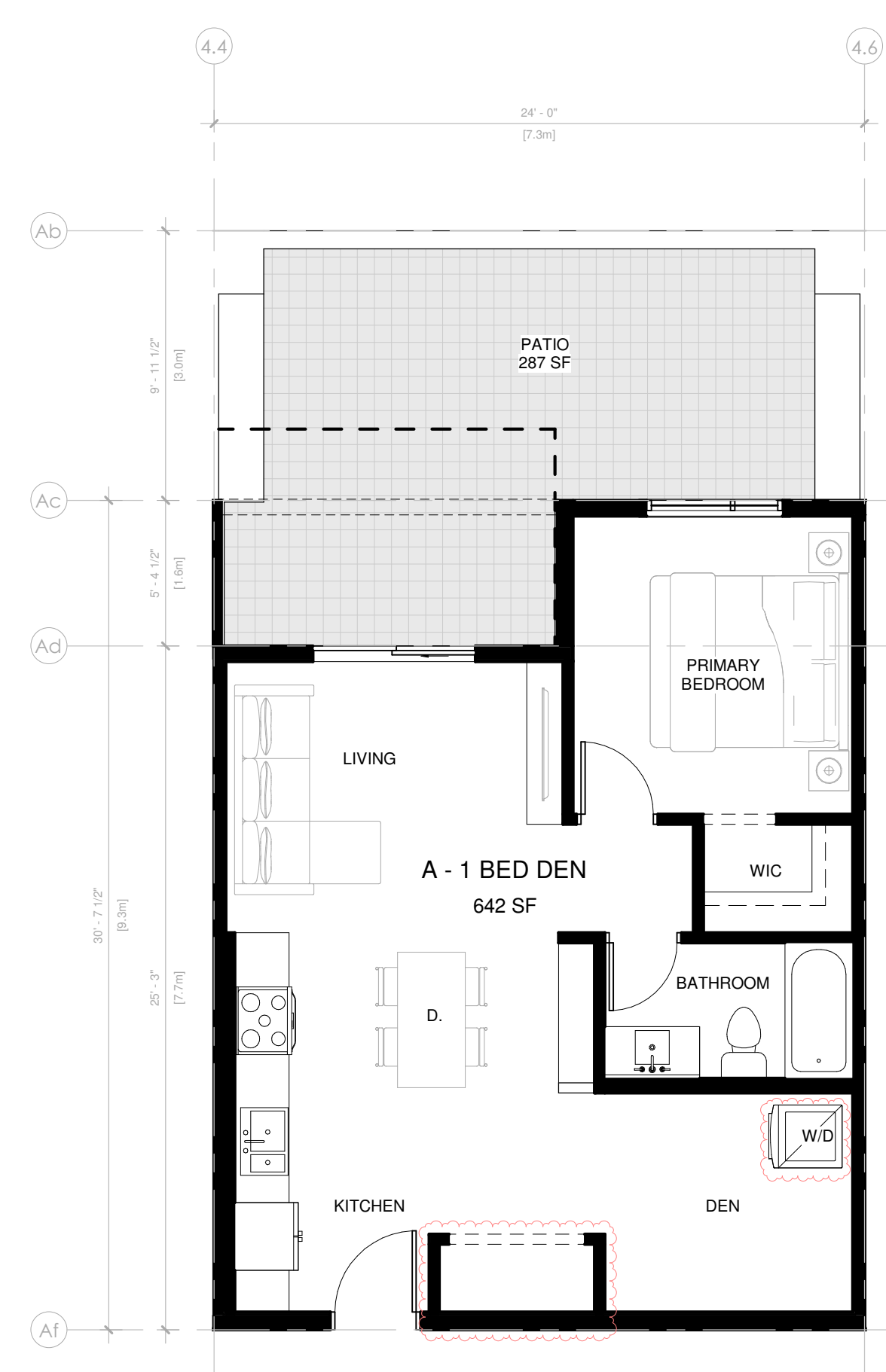
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1	24.02.20	Revision 2

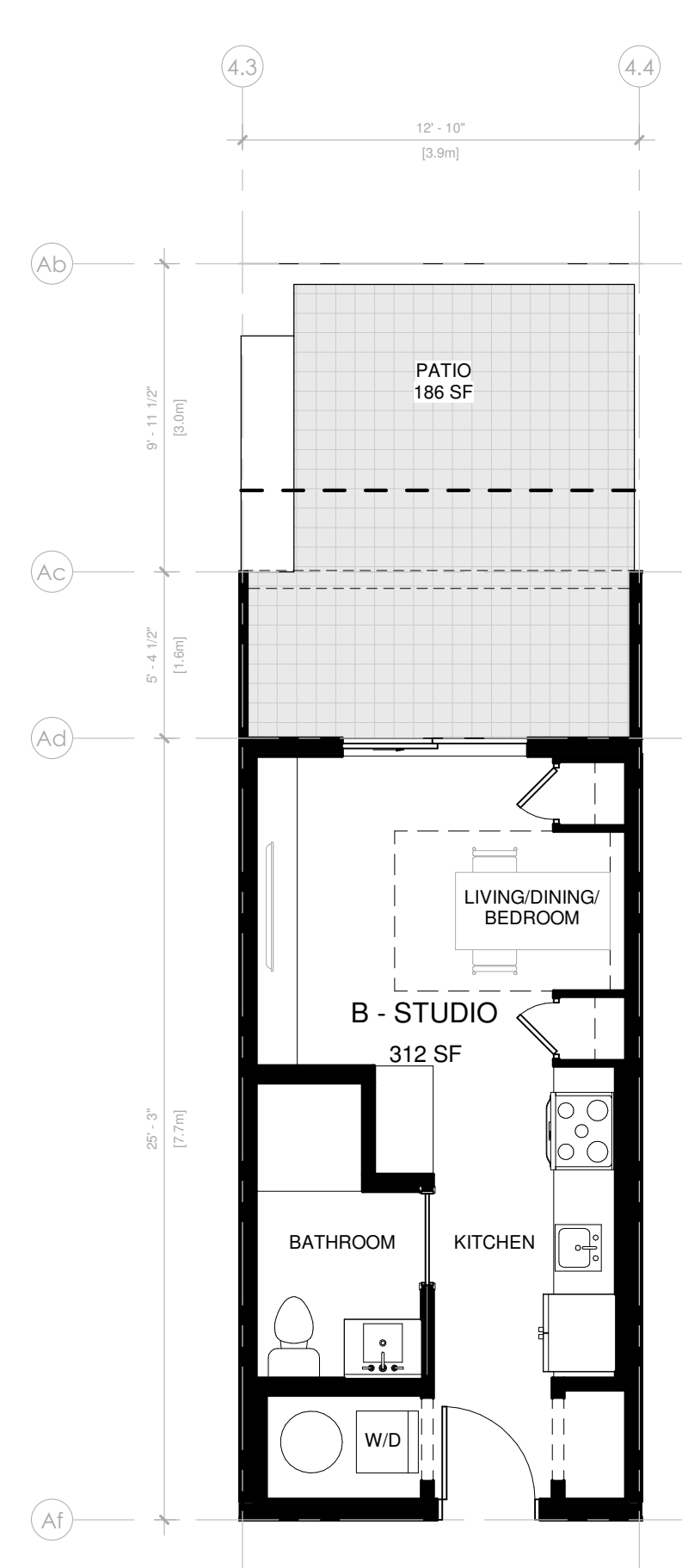
Project
SAUCIER AVENUE MULTIFAMILY
 RESIDENTIAL DEVELOPMENT
 761, 771, 781, 791 AND 801/803 SAUCIER AVE, KELOWNA, BC

Sheet Title
ENLARGED UNIT PLANS APARTMENT

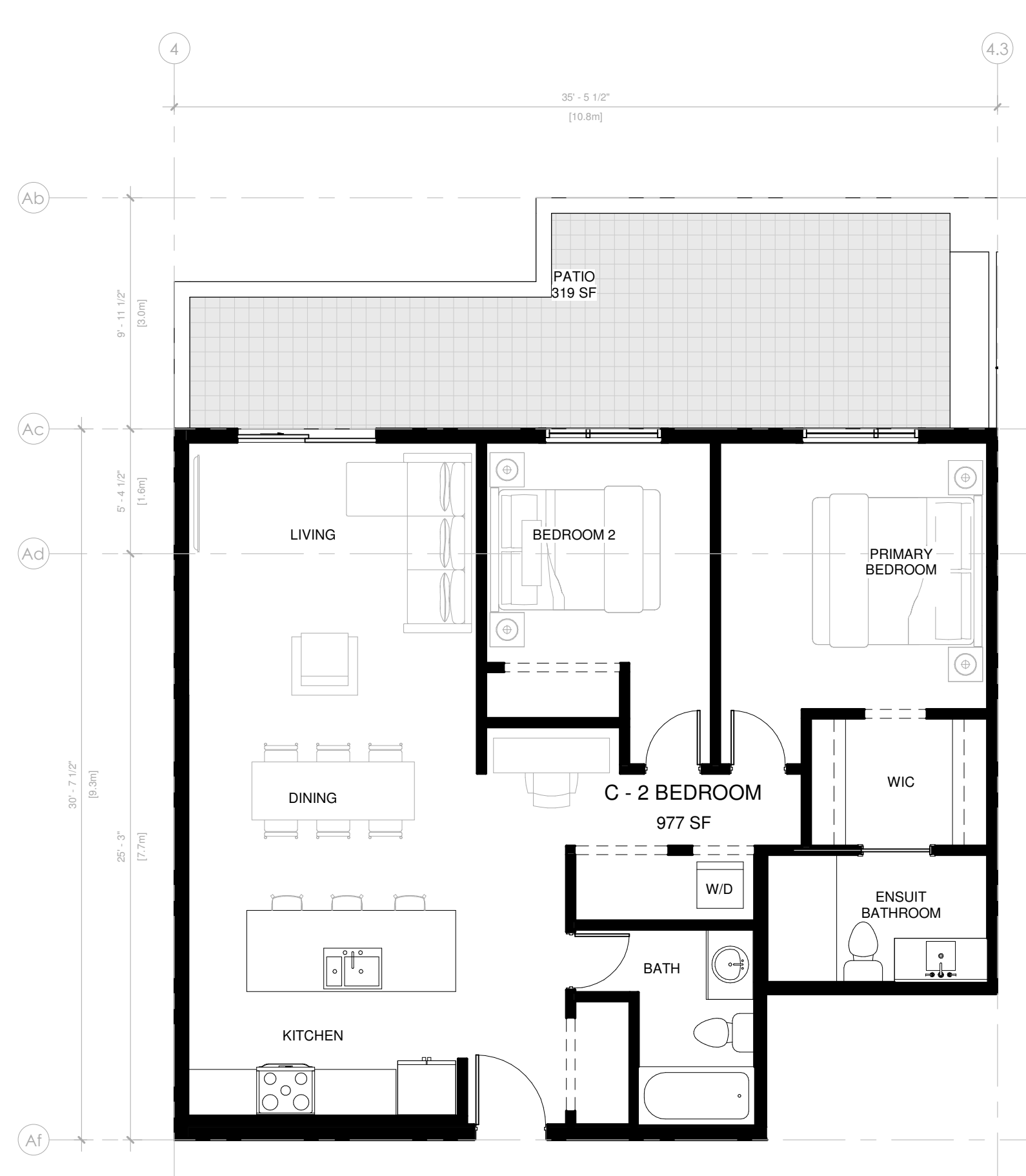
Job Number 22.1066
 Date 24.01.24
 Scale 3/16" = 1'-0"
 Revision Number 0
 Drawing Number



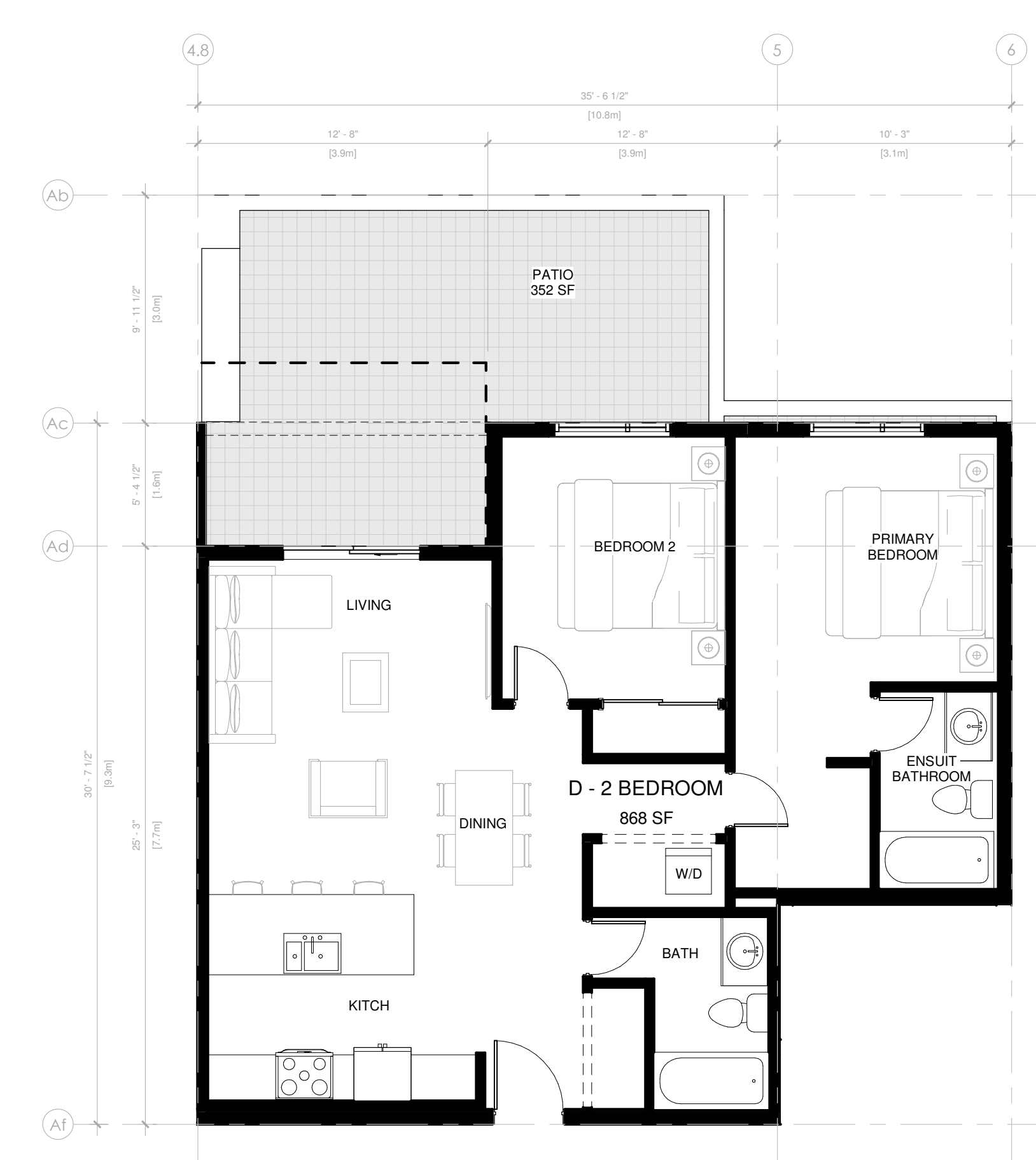
① A - 1 BEDROOM + DEN - LEVEL 1
 3/16" = 1'-0"



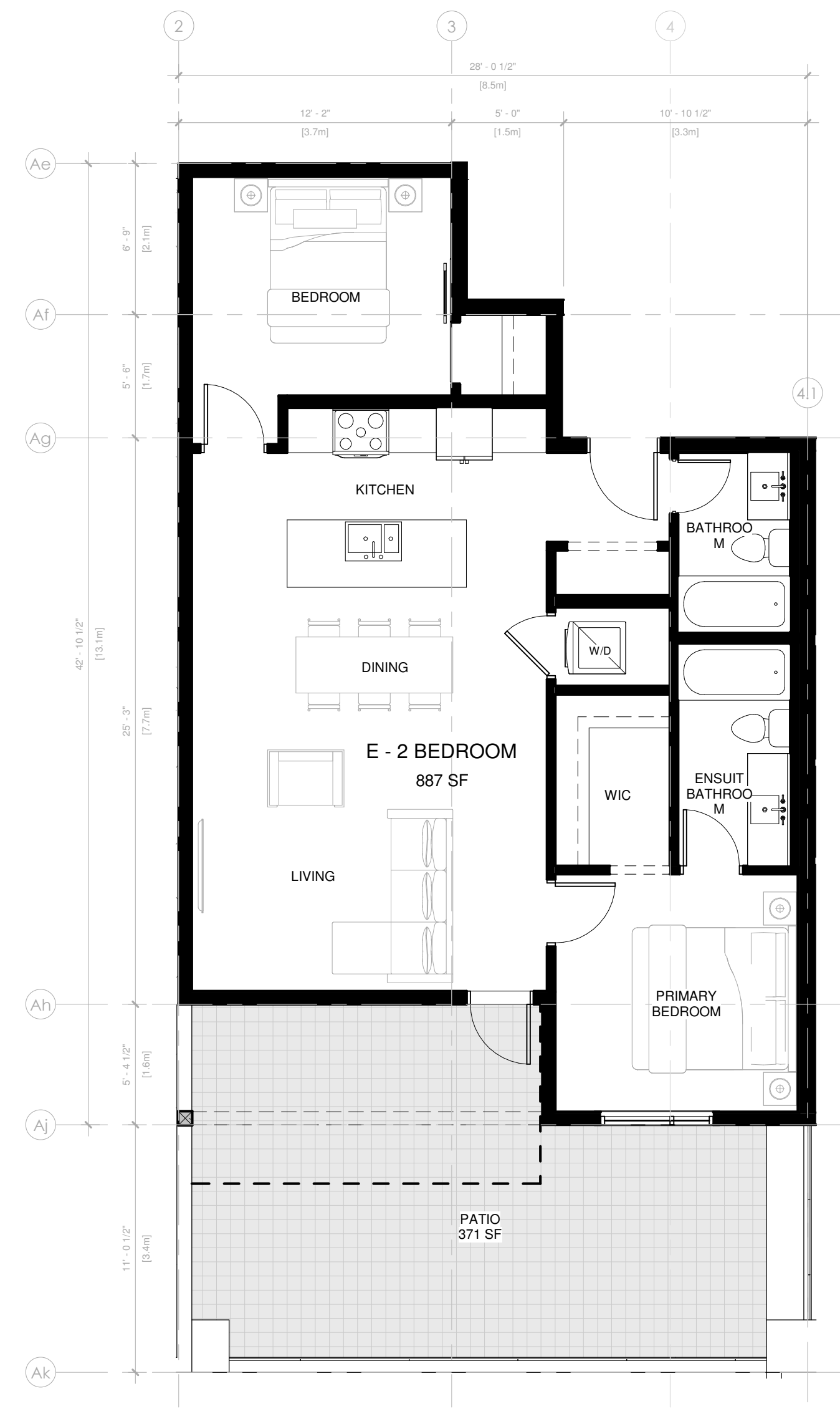
② B - STUDIO - LEVEL 1
 3/16" = 1'-0"



③ C - 2 BEDROOM - LEVEL 1
 3/16" = 1'-0"



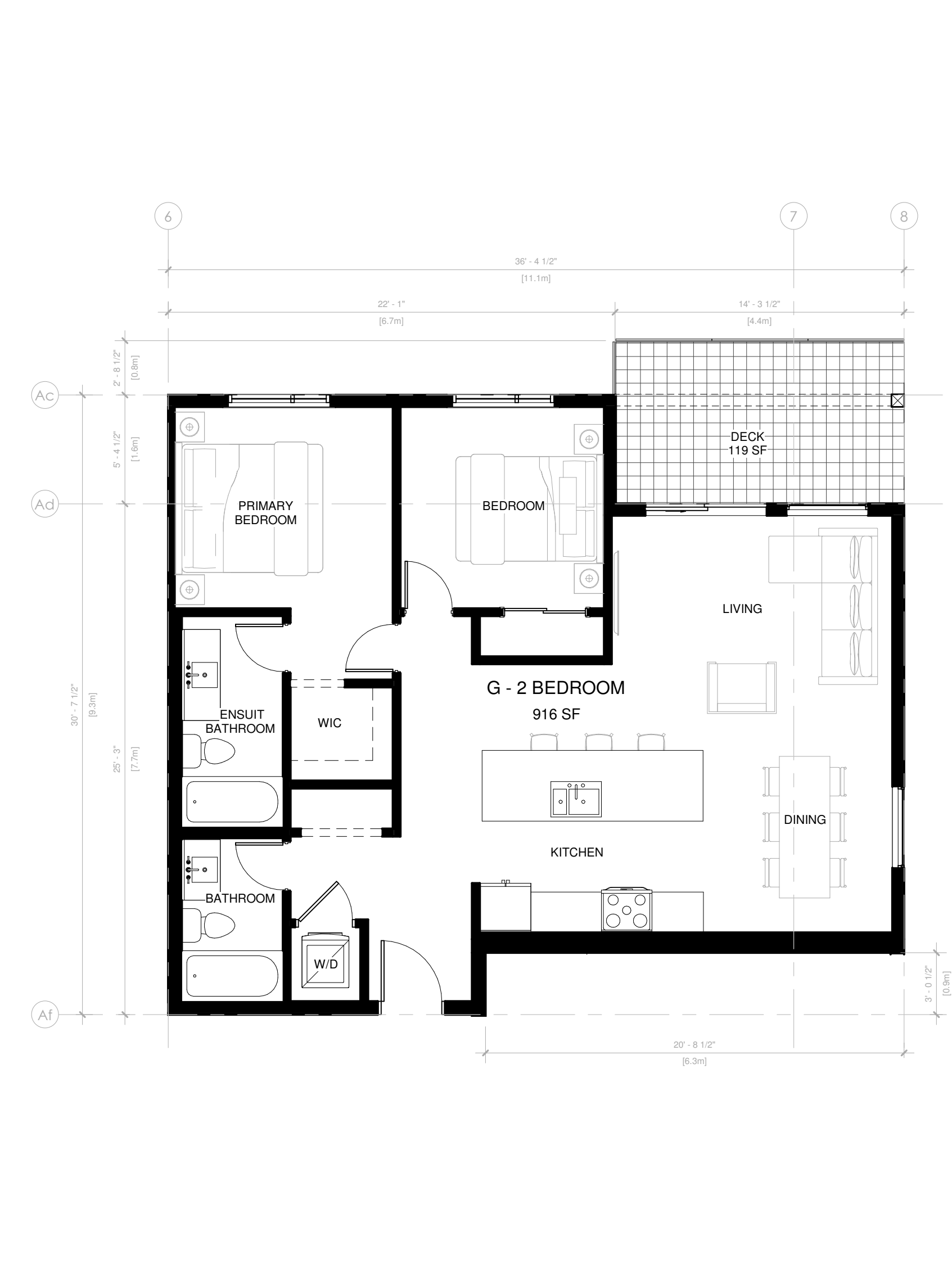
④ D - 2 BEDROOM - LEVEL 1
 3/16" = 1'-0"



⑤ E - 2 BEDROOM - LEVEL 1
 3/16" = 1'-0"



⑥ F - 2 BEDROOM - LEVEL 1
 3/16" = 1'-0"



⑦ G - 2 BEDROOM - LEVEL 3-4
 3/16" = 1'-0"

DEVELOPMENT PERMIT

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Client

Seal

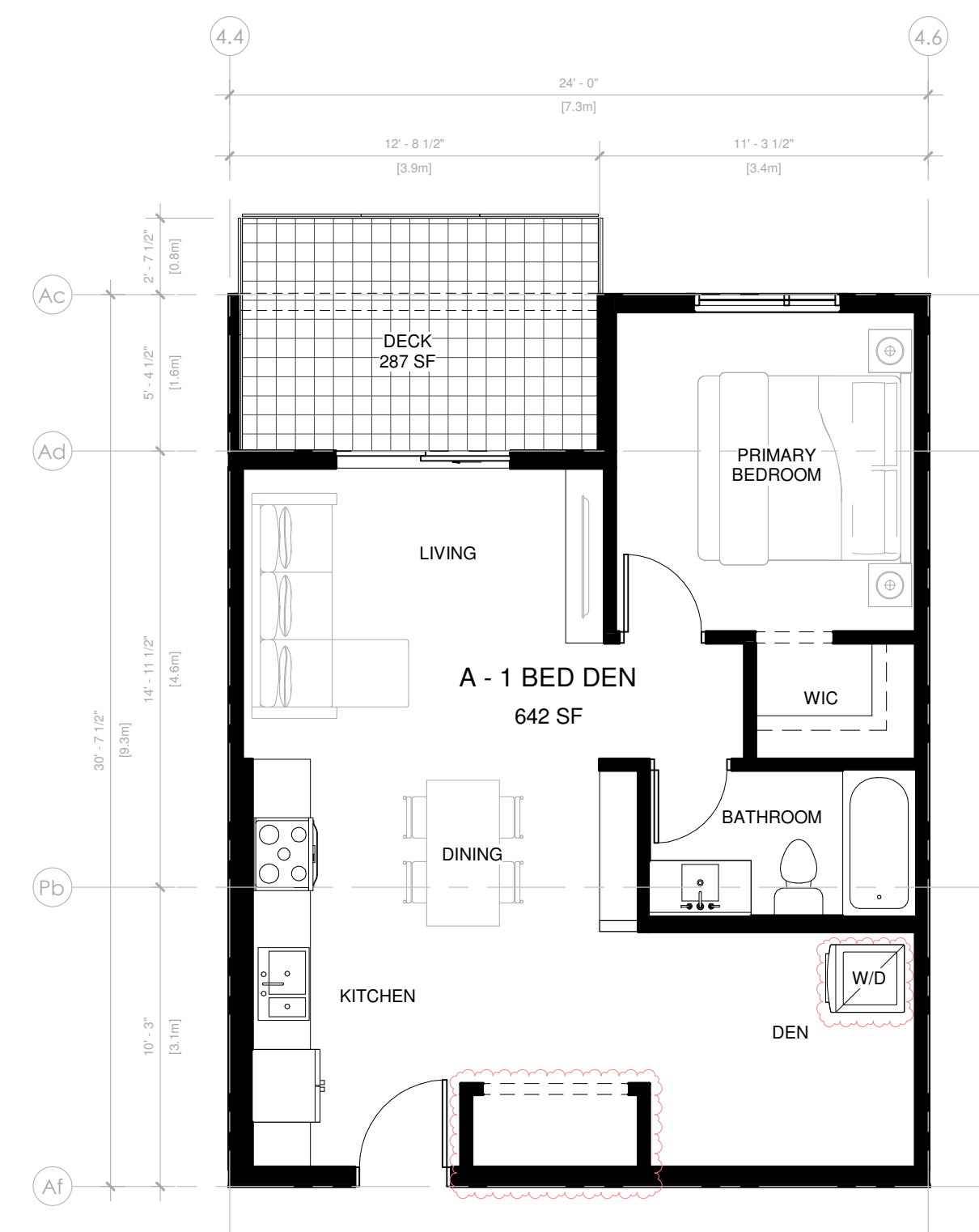
RECORD OF ISSUES		
NO.	DATE	DESCRIPTION
A	2023.01.31	ISSUED FOR DEVELOPMENT PERMIT
B	2023.04.04	RE-ISSUED FOR DEVELOPMENT PERMIT
C	2024.02.20	RE-ISSUED FOR DEVELOPMENT PERMIT

RECORD OF REVISIONS		
NO.	DATE	DESCRIPTION
1	24.02.20	Revision 2

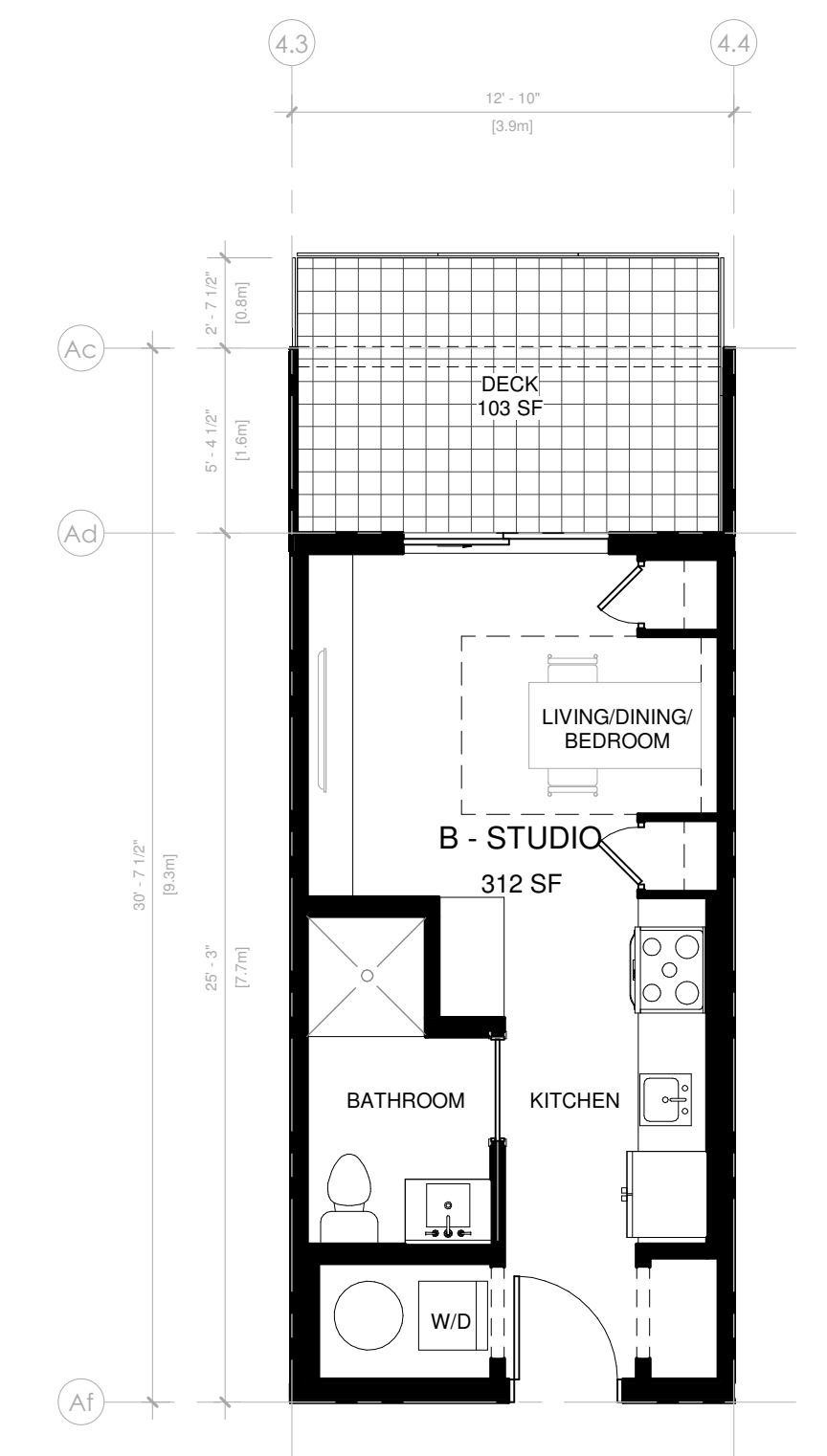
Project
SAUCIER AVENUE MULTIFAMILY
 RESIDENTIAL DEVELOPMENT
 761, 771, 781, 791 AND 801/803 SAUCIER AVE, KELOWNA, BC

Sheet Title
ENLARGED UNIT PLANS APARTMENT

Job Number 22.1086
 Date 24.01.24
 Scale 3/16" = 1'-0"
 Revision Number 0
 Drawing Number



① A - 1 BEDROOM + DEN - LEVEL 2-4
 3/16" = 1'-0"



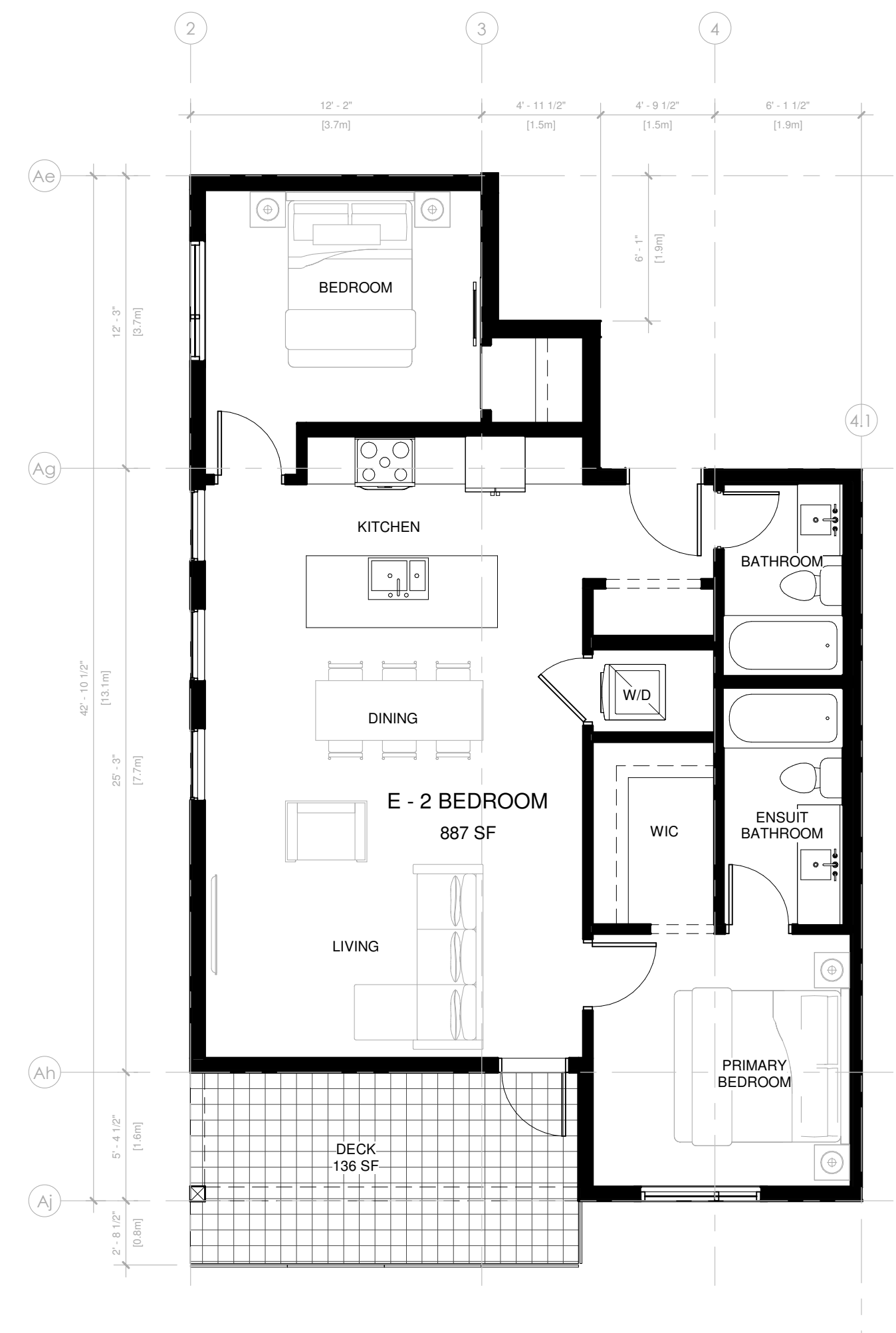
② B - STUDIO - LEVEL 2-4
 3/16" = 1'-0"



③ C - 2 BEDROOM - LEVEL 2-4
 3/16" = 1'-0"



④ D - 2 BEDROOM - LEVEL 2-4
 3/16" = 1'-0"



⑤ E - 2 BEDROOM - LEVEL 2-4
 3/16" = 1'-0"



⑥ F - 2 BEDROOM - LEVEL 2-4
 3/16" = 1'-0"

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C	2024.02.20	RE-ISSUED FOR DEVELOPMENT PERMIT

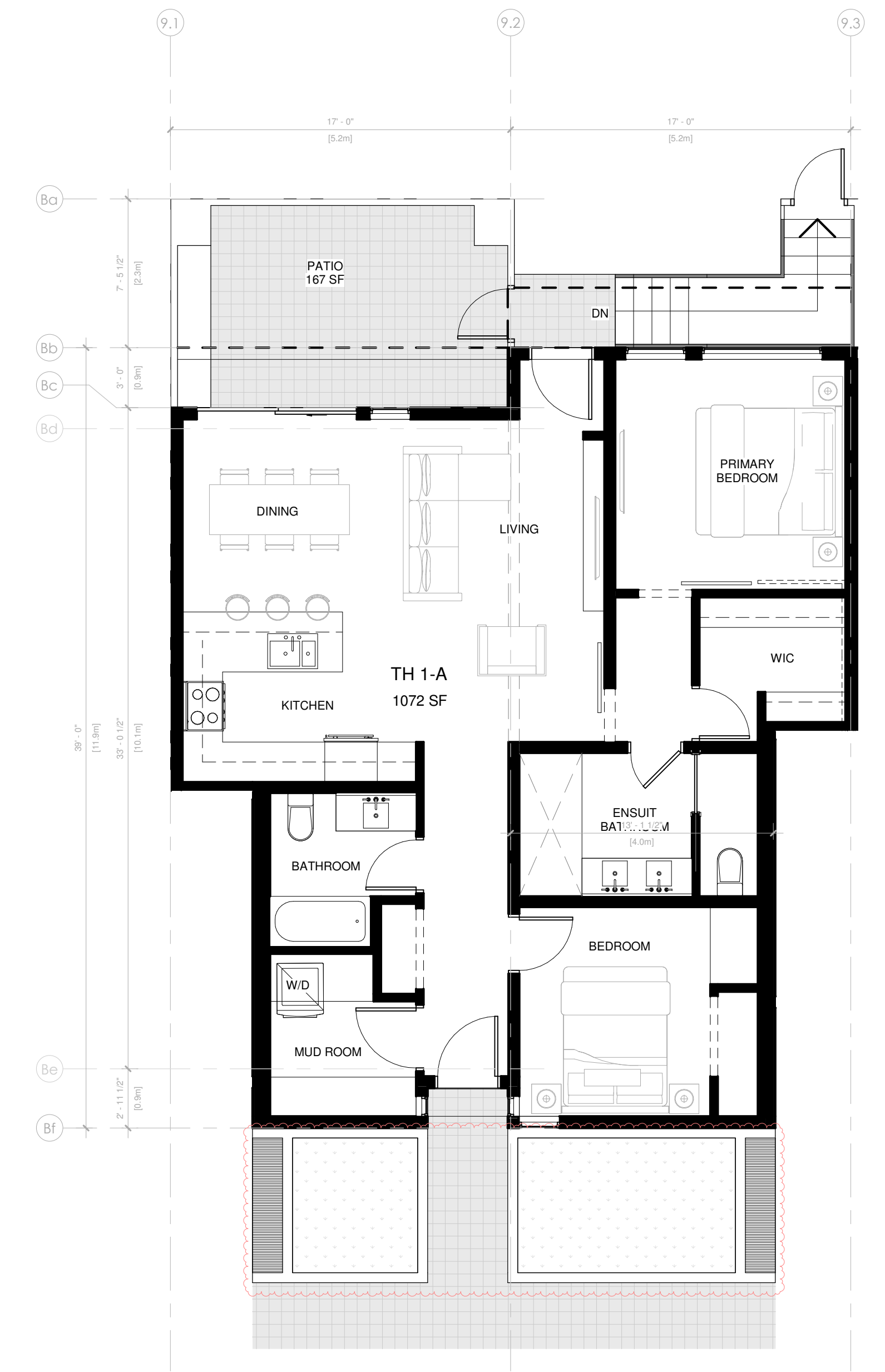
RECORD OF REVISIONS		
NO.	DATE	DESCRIPTION
1	24.02.20	Revision 2

Project
SAUCIER AVENUE MULTIFAMILY
 RESIDENTIAL DEVELOPMENT
 761, 771, 781, 791 AND 801/803 SAUCIER AVE, KELOWNA, BC

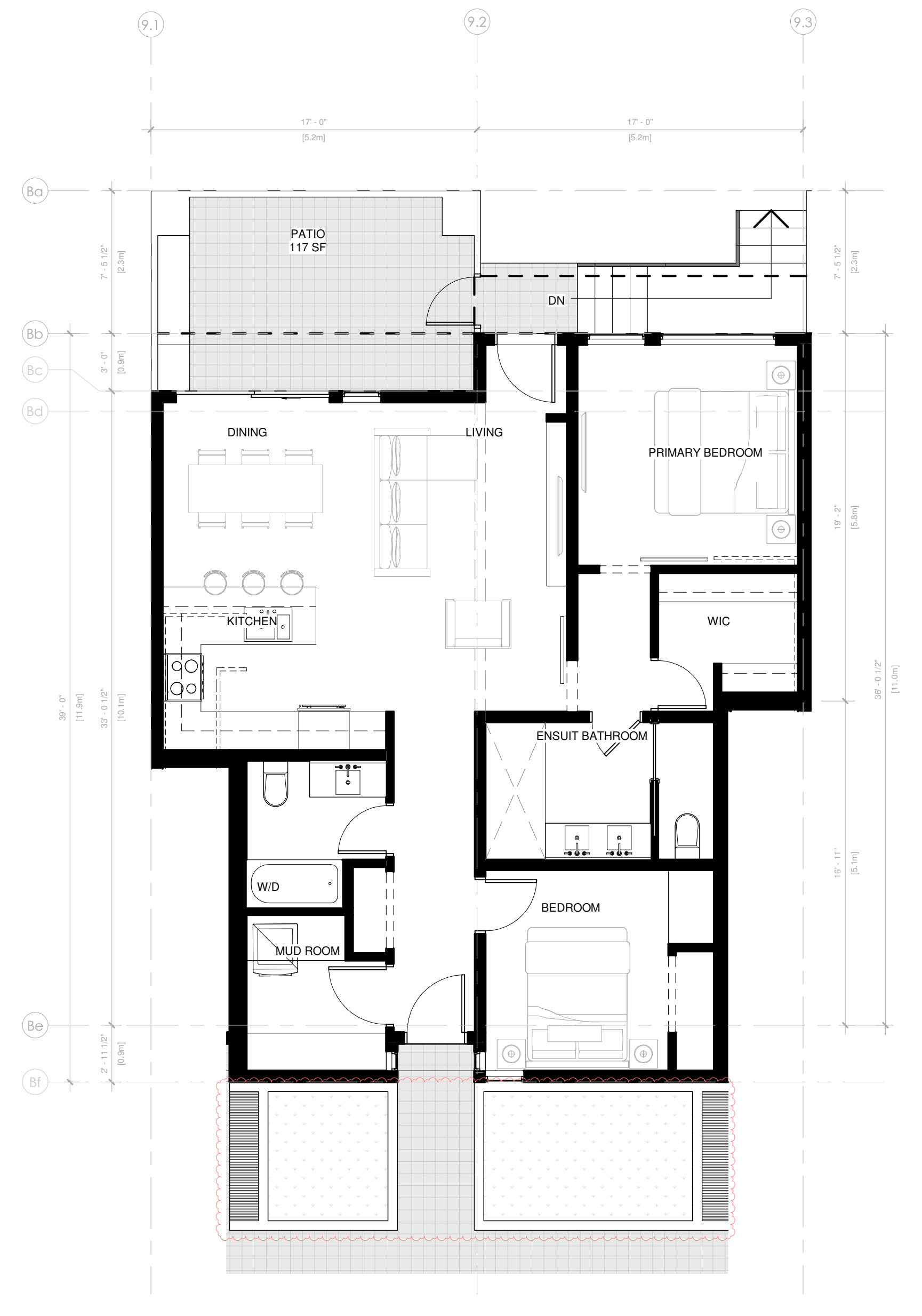
Sheet Title
ENLARGED UNIT PLANS TOWNHOMES

Job Number 22.1086
 Date 24.01.24
 Scale 3/16" = 1'-0"
 Revision Number 0
 Drawing Number

A3.2



① TH 1-A - LEVEL 1
 3/16" = 1'-0"



② TH 1-B LEVEL 1
 3/16" = 1'-0"



③ TH 1-C LEVEL 1
 3/16" = 1'-0"

DEVELOPMENT PERMIT

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RECORD OF REVISIONS		
NO.	DATE	DESCRIPTION
1	24.02.20	Revision 2

Project
SAUCIER AVENUE MULTIFAMILY
 RESIDENTIAL DEVELOPMENT
 761, 771, 781, 791 AND 801/803 SAUCIER AVE, KELOWNA, BC

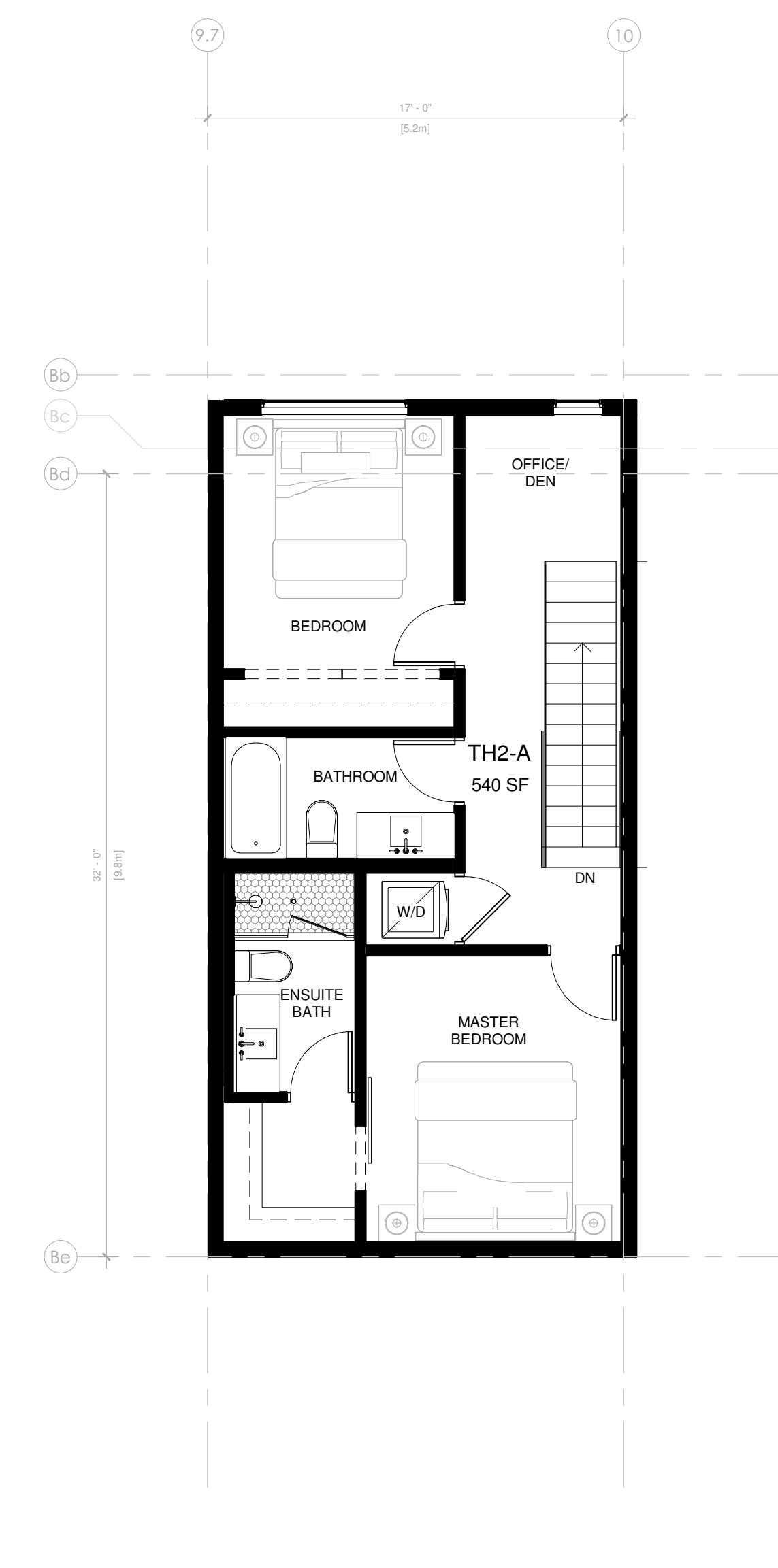
Sheet Title
ENLARGED UNIT PLANS TOWNHOMES

Job Number 22.1086
 Date 24.01.24
 Scale 3/16" = 1'-0"
 Revision Number 0
 Drawing Number

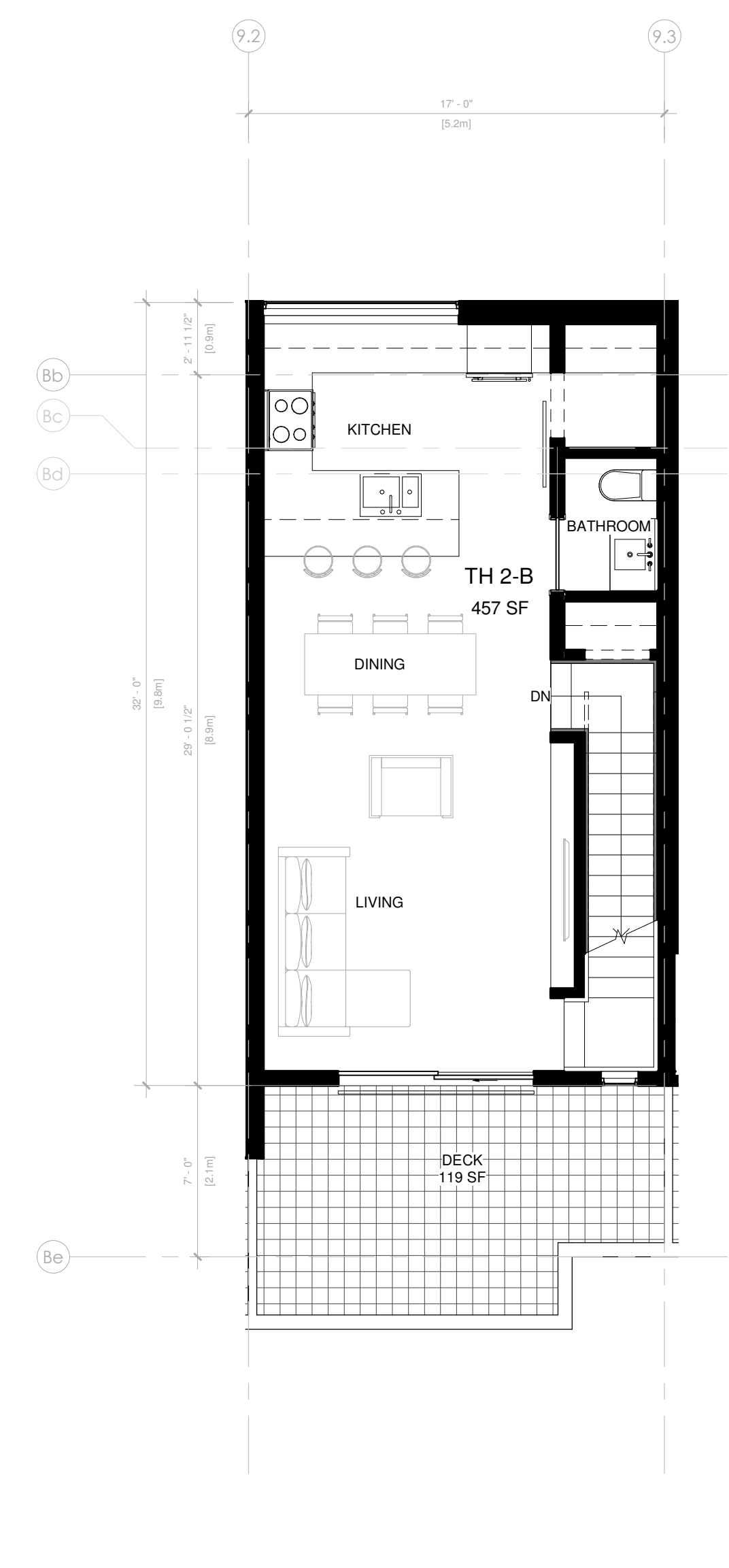
A3.3



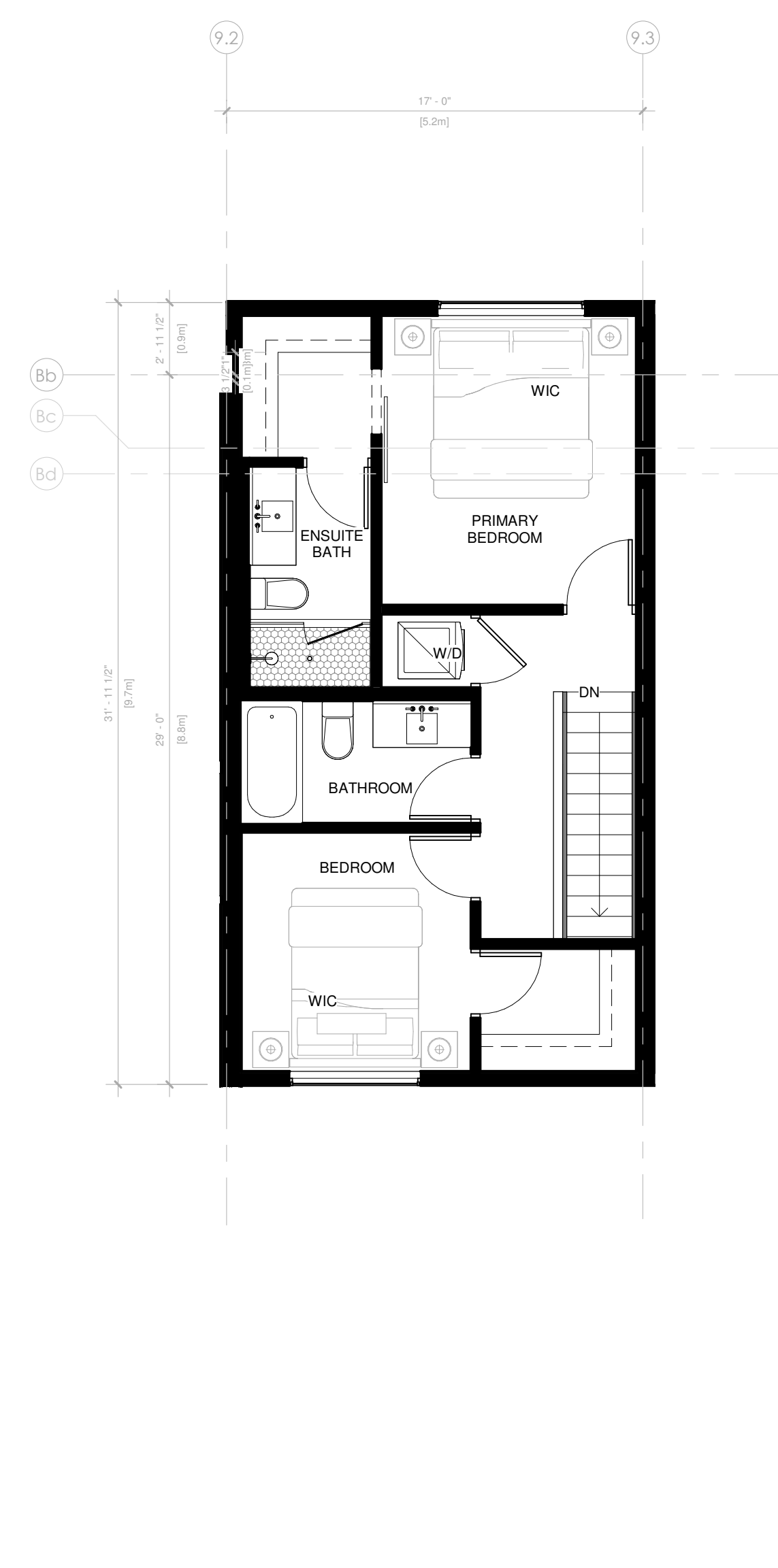
① TH 2-A - LEVEL 1
 3/16" = 1'-0"



② TH 2-A - LEVEL 2
 3/16" = 1'-0"



③ TH 2-B - LEVEL 2
 3/16" = 1'-0"



④ TH 2-B - LEVEL 3
 3/16" = 1'-0"

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C	2024.02.20	RE-ISSUED FOR DEVELOPMENT PERMIT

RECORD OF REVISIONS		
NO.	DATE	DESCRIPTION
1	24.02.20	Revision 2 [DP] REV 1

Project
SAUCIER AVENUE MULTIFAMILY
 RESIDENTIAL DEVELOPMENT
 761, 771, 781, 791 AND 801/803 SAUCIER AVE, KELOWNA, BC

Sheet Title
ELEVATIONS

Job Number	22.1086
Date	24.02.21
Scale	As indicated
Revision Number	0
Drawing Number	

EXTERIOR FINISH SCHEDULE

- # MATERIAL TYPE
- COLOUR SELECTION

NOTES:

1. COLOUR/FINISH SWATCHES PROVIDED ARE APPROXIMATE REPRESENTATIONS FOR THE INTENDED COLOUR SCHEME. CONTRACTOR TO SUBMIT COMPLETE FINAL COLOUR/FINISH SWATCHES FOR OWNER/ARCHITECT APPROVAL PRIOR TO PRODUCT PROCUREMENT & PLACEMENT.
2. PROVIDE COLOUR/FINISH MOCK-UPS FOR ARCHITECT'S REVIEW.
3. ALL PRODUCTS SPECIFIED ARE PER THE FOLLOWING OR 'APPROVED EQUAL'.
4. ALL PRE-FINISHED METAL FLASHING TO MATCH OR BE OF A SIMILAR COLOUR TO THE FINISH MATERIAL COLOUR THAT IT SERVES OR IS ADJACENT TO, INCLUDING BUT NOT LIMITED TO DRIP FLASHING AROUND FIBRE CEMENT WINDOW/DOOR TRIMS.
5. ALL WOOD, FIBRE CEMENT ETC. CLADDING SHALL BE TRIMMED (IE. CORNER, TERMINATION, TRANSITION ETC.) USING 'LIGHT TRIM' EXTRUDED ALUMINUM TRIM (OR EQUAL). TRIM PROFILE TO SUIT THE APPROPRIATE APPLICATION. TRIM TO BE COLOUR MATCH TO FIELD COLOUR WHICH IT SERVES, OR THE DOMINANT FINISH WHERE SERVING MORE THAN ONE. PROVIDE MOCK-UP FOR ARCHITECT'S REVIEW.

ELEVATION LEGEND:

- 1A BRICK CLADDING, RUNNING BOND
COLOUR: MANGANESE BRONSPOT
MORTAR COLOR: NATURAL/UNMODIFIED
MANUF.STYLE: ENDICOTT
- 1B BRICK CLADDING, SOLDIER COURSES
COLOUR: MANGANESE BRONSPOT
MORTAR COLOR: NATURAL/UNMODIFIED
MANUF.STYLE: ENDICOTT
- 2A FIBRE CEMENT SIDING, HORIZONTAL
COLOUR: CEDAR
REVEALS: EASY TRIM, PAINTED TO MATCH
MANUF.STYLE: NICHIA, VINTAGEWOOD
- 2B FIBRE CEMENT SIDING, VERTICAL
COLOUR: CEDAR
REVEALS: EASY TRIM, PAINTED TO MATCH
MANUF.STYLE: NICHIA, VINTAGEWOOD
- 3 FIBRE CEMENT PANEL
COLOUR: BENJAMIN MOORE - SWISS COFFEE
MANUF.STYLE: HARDIE, REVEAL 2.0 VERTICAL SIDING
- 4 FIBRE CEMENT SIDING
COLOUR: BENJAMIN MOORE - STORMY SKY
MANUF.STYLE: HARDIE (OR EQUAL), LAP SIDING, SMOOTH
- 5 PRE-FINISHED METAL AWNING/INFILL PANEL
COLOUR: SILVER
MANUF.STYLE: VICWEST
- 6 ARCHITECTURAL EXPOSED CONCRETE (AEC)
COLOUR: TINTED LIGHT GRAY
STYLE: SACK-FINISH
- 7 BUILT UP COLUMN AND BEAM
COLOUR: SUMMER WHEAT
MANUF.STYLE: WOODTONE, RUSTIC SERIES, MITRE JOINTS
- 8 METAL PICKET GUARD RAIL, FASCIA MOUNTED
COLOUR: SILVER
- 9 METAL CLAD VINYL WINDOW
FRAME COLOUR: GALVANIZED (COLOUR)
MANUF.STYLE: EUROCLAD ALUMINUM HYBRID, LOW E
- 10 PRE-FINISHED VENTED ALUMINUM SOFFIT
COLOUR: SIENNA TAN
MANUF.STYLE: CASCADIA METALS



1 NORTH ELEVATION
 1/16" = 1'-0"



2 WEST ELEVATION
 1/16" = 1'-0"



3 EAST ELEVATION
 1/16" = 1'-0"



4 SOUTH ELEVATION
 1/16" = 1'-0"

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Client

Seal

RECORD OF ISSUES		
NO.	DATE	DESCRIPTION
A	2023.01.31	ISSUED FOR DEVELOPMENT PERMIT
B	2023.04.04	RE-ISSUED FOR DEVELOPMENT PERMIT
C	2024.02.20	RE-ISSUED FOR DEVELOPMENT PERMIT

NO.	DATE	DESCRIPTION
2	24.02.20	Revision 2
1		DP REV 1

RECORD OF REVISIONS		
NO.	DATE	DESCRIPTION
Project		

SAUCIER AVENUE MULTIFAMILY
 RESIDENTIAL DEVELOPMENT
 761, 771, 781, 791 AND 801/803 SAUCIER AVE, KELOWNA, BC

Sheet Title
ELEVATIONS

Job Number 22.1086
 Date 24.01.24
 Scale As indicated
 Revision Number 0
 Drawing Number

EXTERIOR FINISH SCHEDULE

1 MATERIAL TYPE
 2 COLOUR SELECTION

NOTES:

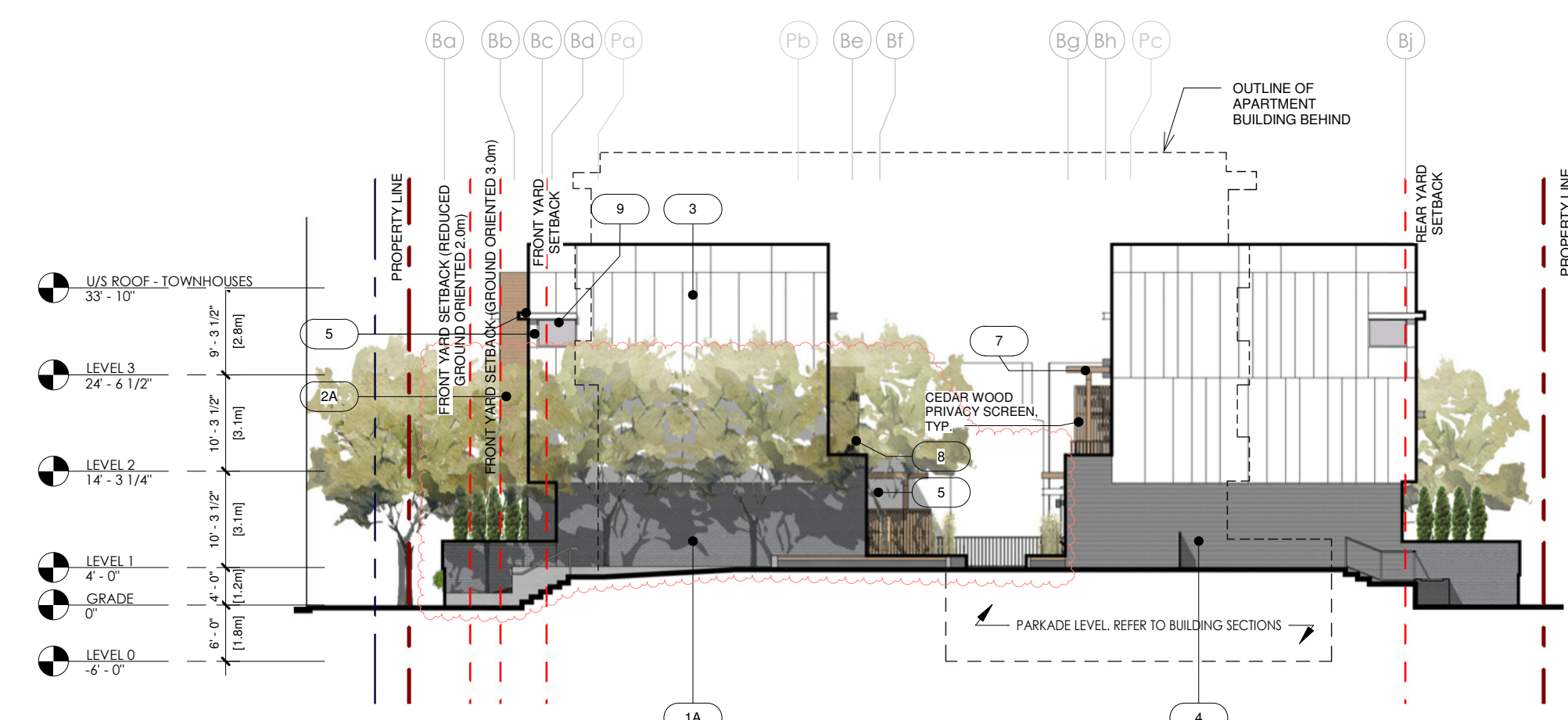
1. COLOUR/FINISH SWATCHES PROVIDED ARE APPROXIMATE REPRESENTATIONS FOR THE INTENDED COLOUR SCHEME. CONTRACTOR TO SUBMIT COMPLETE FINAL COLOUR/FINISH SWATCHES FOR OWNER/ARCHITECT APPROVAL PRIOR TO PRODUCT PROCUREMENT & PLACEMENT.
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5. ALL WOOD, FIBRE CEMENT ETC. CLADDING SHALL BE TRIMMED (IE. CORNER, TERMINATION, TRANSITION ETC.) USING "LIGHT TRIM" EXTRUDED ALUMINUM TRIM (OR EQUAL); TRIM PROFILE TO SUIT THE APPROPRIATE APPLICATION. TRIM TO BE COLOUR MATCH TO FIELD COLOUR WHICH IT SERVES, OR THE DOMINANT FINISH WHERE SERVING MORE THAN ONE. PROVIDE MOCK-UP FOR ARCHITECT'S REVIEW.

ELEVATION LEGEND:

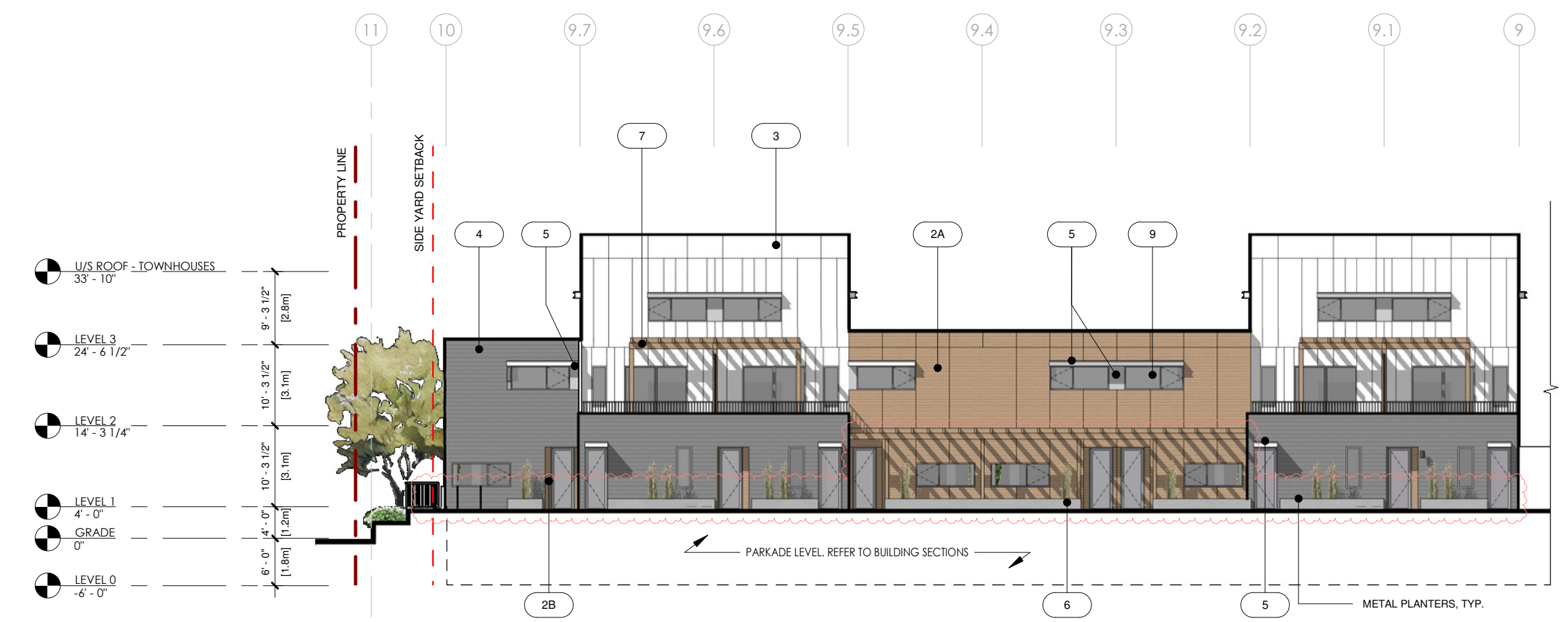
- 1A BRICK CLADDING, RUNNING BOND
 COLOUR: MANGANESE IRONSPOT
 MORTAR COLOR: NATURAL/UNMODIFIED
 ENDICOTT
- 1B BRICK CLADDING, SOLDIER COURSES
 COLOUR: MANGANESE IRONSPOT
 MORTAR COLOR: NATURAL/UNMODIFIED
 ENDICOTT
- 2A FIBRE CEMENT SIDING, HORIZONTAL
 COLOUR: CEDAR
 REVEALS: EASY TRIM, PAINTED TO MATCH
 MANUF STYLE: NICHIA, VINTAGEWOOD
- 2B FIBRE CEMENT SIDING, VERTICAL
 COLOUR: CEDAR
 REVEALS: EASY TRIM, PAINTED TO MATCH
 MANUF STYLE: NICHIA, VINTAGEWOOD
- 3 FIBRE CEMENT PANEL
 COLOUR: BENJAMIN MOORE - SWISS COFFEE
 MANUF STYLE: HARDIE, REVEAL 2.0 VERTICAL SIDING
- 4 FIBRE CEMENT SIDING
 COLOUR: BENJAMIN MOORE - STORMY SKY
 MANUF STYLE: HARDIE (OR EQUAL), LAP SIDING, SMOOTH
- 5 PRE-FINISHED METAL AWNING/FILL PANEL
 COLOUR: SILVER
 MANUF STYLE: VICWEST
- 6 ARCHITECTURAL EXPOSED CONCRETE (AEC)
 COLOUR: TINTED LIGHT GRAY
 STYLE: SACK-FINISH
- 7 BUILT UP COLUMN AND BEAM
 COLOUR: SUMMER WHEAT
 MANUF STYLE: WOODTONE, RUSTIC SERIES, MITRE JOINTS
- 8 METAL PICKET GUARD RAIL, FASCIA MOUNTED
 COLOUR: SILVER
- 9 METAL CLAD VINYL WINDOW
 FRAME COLOUR: GALVANIZED (COLOUR)
 MANUF STYLE: EUROCLAD ALUMINUM HYBRID, LOW E
- 10 PRE-FINISHED VENTED ALUMINUM SOFFIT
 COLOUR: SIENNA TAN
 MANUF STYLE: CASCADIA METALS



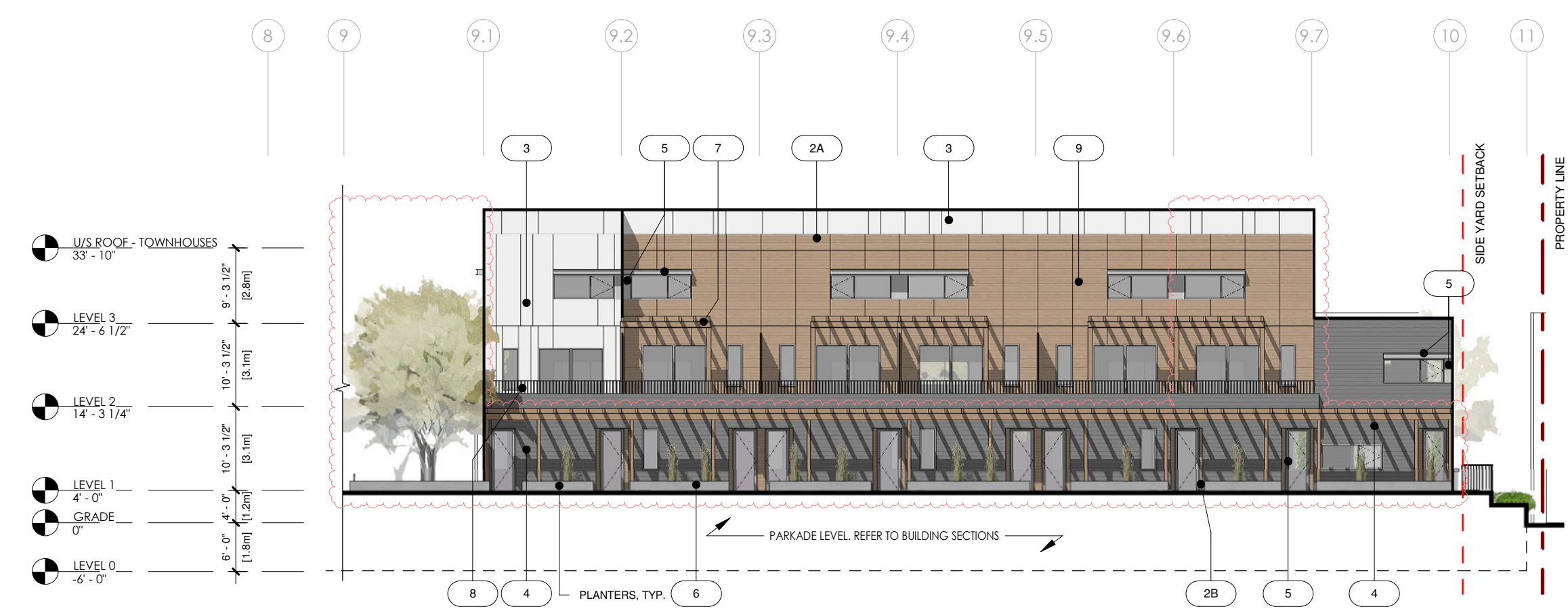
1 EAST ELEVATION - APARTMENT
 1/16" = 1'-0"



4 WEST COURTYARD ELEVATION
 1/16" = 1'-0"



2 NORTH COURTYARD ELEVATION
 1/16" = 1'-0"



3 SOUTH COURTYARD ELEVATION
 1/16" = 1'-0"

DEVELOPMENT PERMIT

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RECORD OF REVISIONS		
NO.	DATE	DESCRIPTION

Project

SAUCIER AVENUE MULTIFAMILY
 RESIDENTIAL DEVELOPMENT
 761, 771, 781, 791 AND 801/803 SAUCIER AVE, KELOWNA, BC

Sheet Title
PERSPECTIVES

Job Number	22.1086
Date	24.01.24
Scale	As indicated
Revision Number	0
Drawing Number	



01 - ENTRANCE PERSPECTIVE



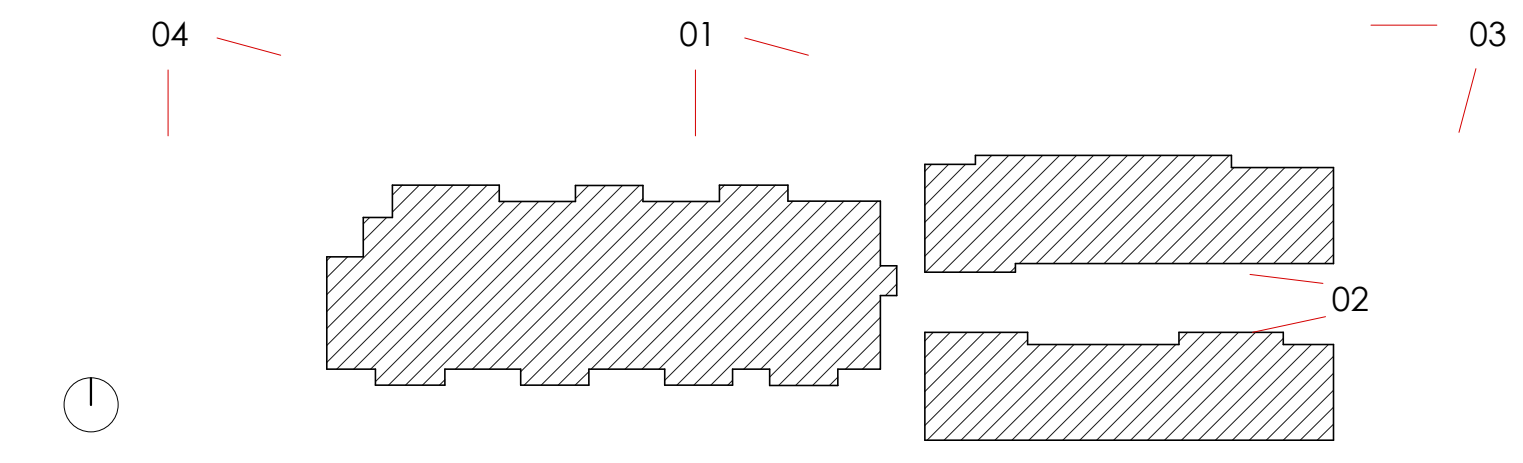
02 - COURTYARD PERSPECTIVE



03 - TOWNHOUSE PERSPECTIVE



04 - APARTMENT PERSPECTIVE



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Project
SAUCIER AVENUE MULTIFAMILY
 RESIDENTIAL DEVELOPMENT
 761, 771, 781, 791 AND 801/803 SAUCIER AVE, KELOWNA, BC

Sheet Title
MATERIAL BOARD

Job Number 22.1066
 Date 24.01.24
 Scale 12" = 1'-0"
 Revision Number 0
 Drawing Number

EXTERIOR FINISH SCHEDULE

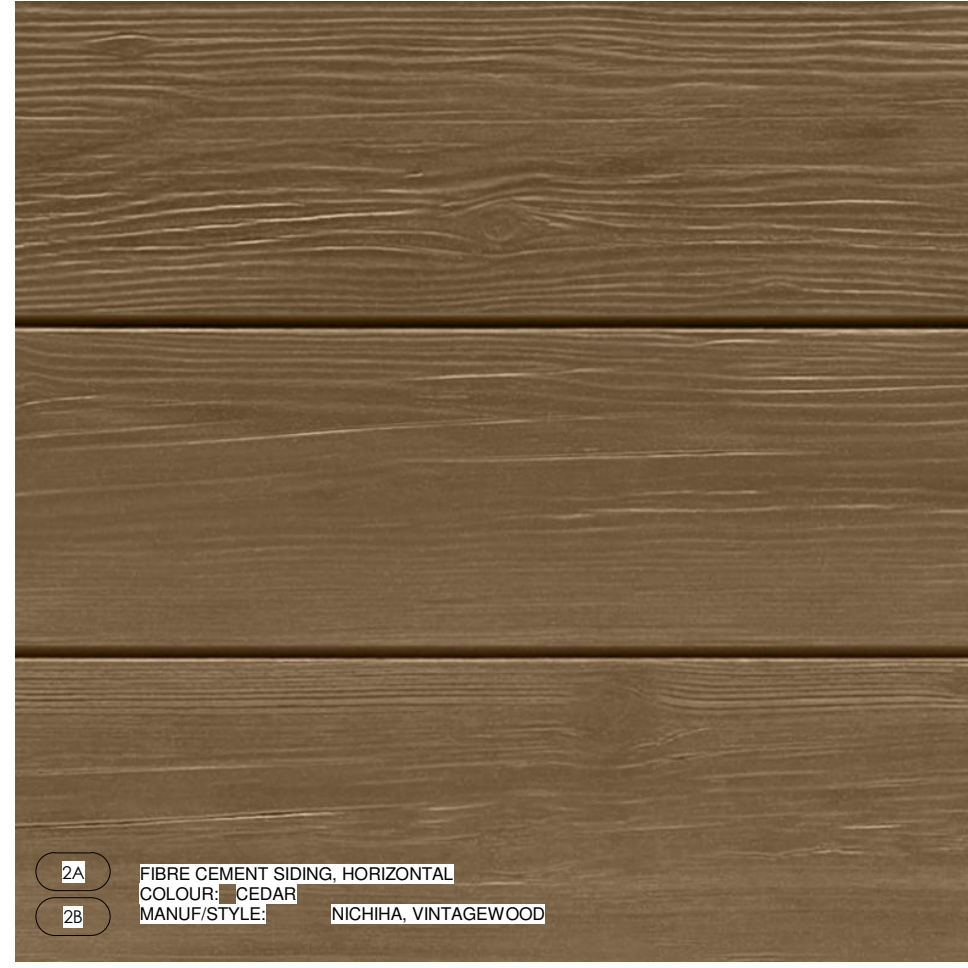
MATERIAL TYPE
 COLOUR SELECTION

NOTES:

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ELEVATION LEGEND:

- 1A BRICK CLADDING, RUNNING BOND
 COLOUR: MANGANESE IRONSPOT
 MORTAR COLOR: NATURAL/UNMODIFIED
 MANUF/STYLE: ENDICOTT
- 1B BRICK CLADDING, SOLDIER COURSES
 COLOUR: MANGANESE IRONSPOT
 MORTAR COLOR: NATURAL/UNMODIFIED
 MANUF/STYLE: ENDICOTT
- 2A FIBRE CEMENT SIDING, HORIZONTAL
 COLOUR: CEDAR
 REVEALS: EASY TRIM, PAINTED TO MATCH
 MANUF/STYLE: NICHHA, VINTAGEWOOD
- 2B FIBRE CEMENT SIDING, VERTICAL
 COLOUR: CEDAR
 REVEALS: EASY TRIM, PAINTED TO MATCH
 MANUF/STYLE: NICHHA, VINTAGEWOOD
- 3 FIBRE CEMENT PANEL
 COLOUR: BENJAMIN MOORE - SWISS COFFEE
 MANUF/STYLE: HARDIE, REVEAL 2.0 VERTICAL SIDING
- 4 FIBRE CEMENT SIDING
 COLOUR: BENJAMIN MOORE - STORMY SKY
 MANUF/STYLE: HARDIE (OR EQUAL), LAP SIDING, SMOOTH
- 5 PRE-FINISHED METAL AWNING/FILL PANEL
 COLOUR: SILVER
 MANUF/STYLE: VICWEST
- 6 ARCHITECTURAL EXPOSED CONCRETE (AEC)
 COLOUR: TINTED LIGHT GRAY
 STYLE: SACK-FINISH
- 7 BUILT UP COLUMN AND BEAM
 COLOUR: SUMMER WHEAT
 MANUF/STYLE: WOODTONE, RUSTIC SERIES, MITRE JOINTS
- 8 METAL PICKET GUARD RAIL, FASCIA MOUNTED
 COLOUR: SILVER
- 9 METAL CLAD VINYL WINDOW
 FRAME COLOUR: GALVANIZED (COLOUR)
 MANUF/STYLE: EUROCLAD ALUMINUM HYBRID, LOW E
- 10 PRE-FINISHED VENTED ALUMINUM SOFFIT
 COLOUR: SIENNA TAN
 MANUF/STYLE: CASCADIA METALS



2A FIBRE CEMENT SIDING, HORIZONTAL
 COLOUR: CEDAR
 MANUF/STYLE: NICHHA, VINTAGEWOOD



3 FIBRE CEMENT PANEL
 COLOUR: ARCTIC WHITE
 MANUF/STYLE: HARDIE, REVEAL 2.0 VERTICAL SIDING



5 PRE-FINISHED METAL AWNING/FILL PANEL
 COLOUR: SILVER
 MANUF/STYLE: VICWEST



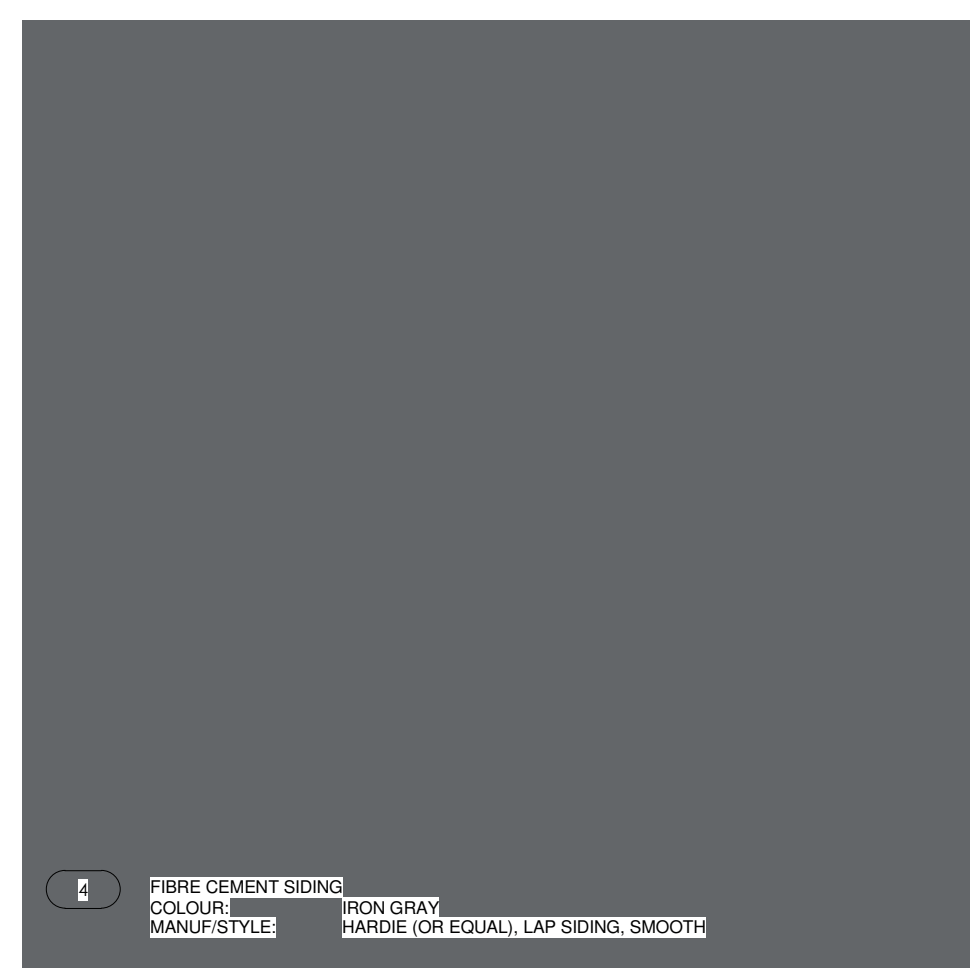
6 ARCHITECTURAL EXPOSED CONCRETE (AEC)
 COLOUR: TINTED LIGHT GRAY
 STYLE: SACK-FINISH



9 METAL CLAD VINYL WINDOW
 FRAME COLOUR: GRAY
 MANUF/STYLE: EUROCLAD ALUMINUM HYBRID, LOW E



1A BRICK CLADDING, RUNNING BOND STRETCHER COURSES
 COLOUR: MANGANESE IRONSPOT
 MORTAR COLOR: NATURAL/UNMODIFIED
 MANUF/STYLE: ENDICOTT



2 FIBRE CEMENT SIDING
 COLOUR: IRON GRAY
 MANUF/STYLE: HARDIE (OR EQUAL), LAP SIDING, SMOOTH

DEVELOPMENT PERMIT

- THIS DRAWING MUST NOT BE SCALED.
 - VERIFY ALL DIMENSIONS AND DATUMS PRIOR TO COMMENCEMENT OF WORK. REPORT ALL ERRORS AND OMISSIONS TO THE ARCHITECT.
 - VARIATIONS AND MODIFICATIONS ARE NOT ALLOWED WITHOUT WRITTEN PERMISSION FROM THE ARCHITECT.
 - THIS DRAWING IS THE EXCLUSIVE PROPERTY OF THE ARCHITECT.
 - ANY REPRODUCTION MUST BEAR THEIR NAME AS ARCHITECT.

Client

Seal

RECORD OF ISSUES		
NO.	DATE	DESCRIPTION
A	2023.01.31	ISSUED FOR DEVELOPMENT PERMIT
B	2023.04.04	RE-ISSUED FOR DEVELOPMENT PERMIT
C	2024.02.20	RE-ISSUED FOR DEVELOPMENT PERMIT

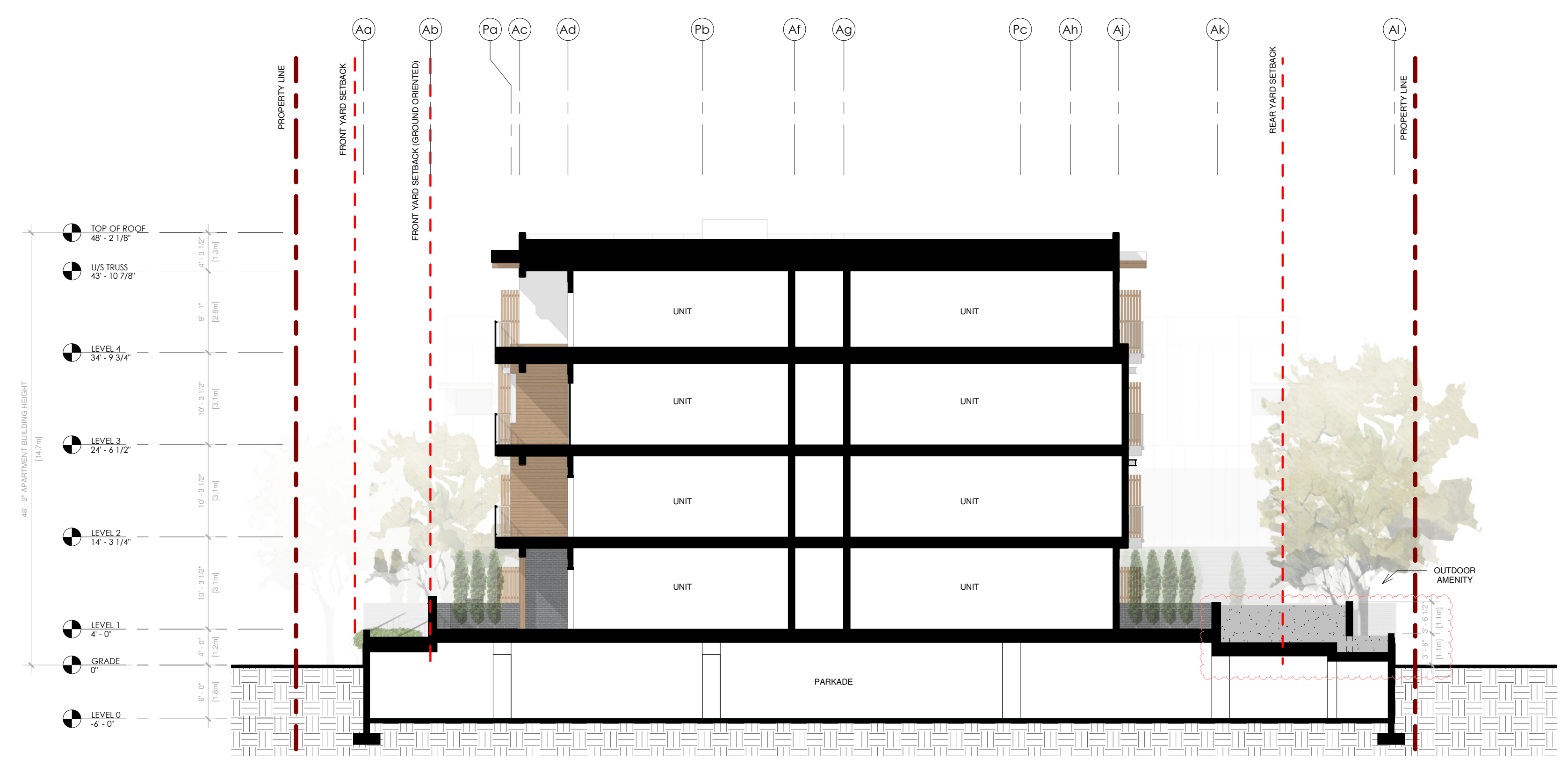
RECORD OF REVISIONS		
NO.	DATE	DESCRIPTION
2	24.02.20	Revision 2
1		DP REV 1

Project
SAUCIER AVENUE MULTIFAMILY
 RESIDENTIAL DEVELOPMENT
 761, 771, 781, 791 AND 801/803 SAUCIER AVE, KELOWNA, BC

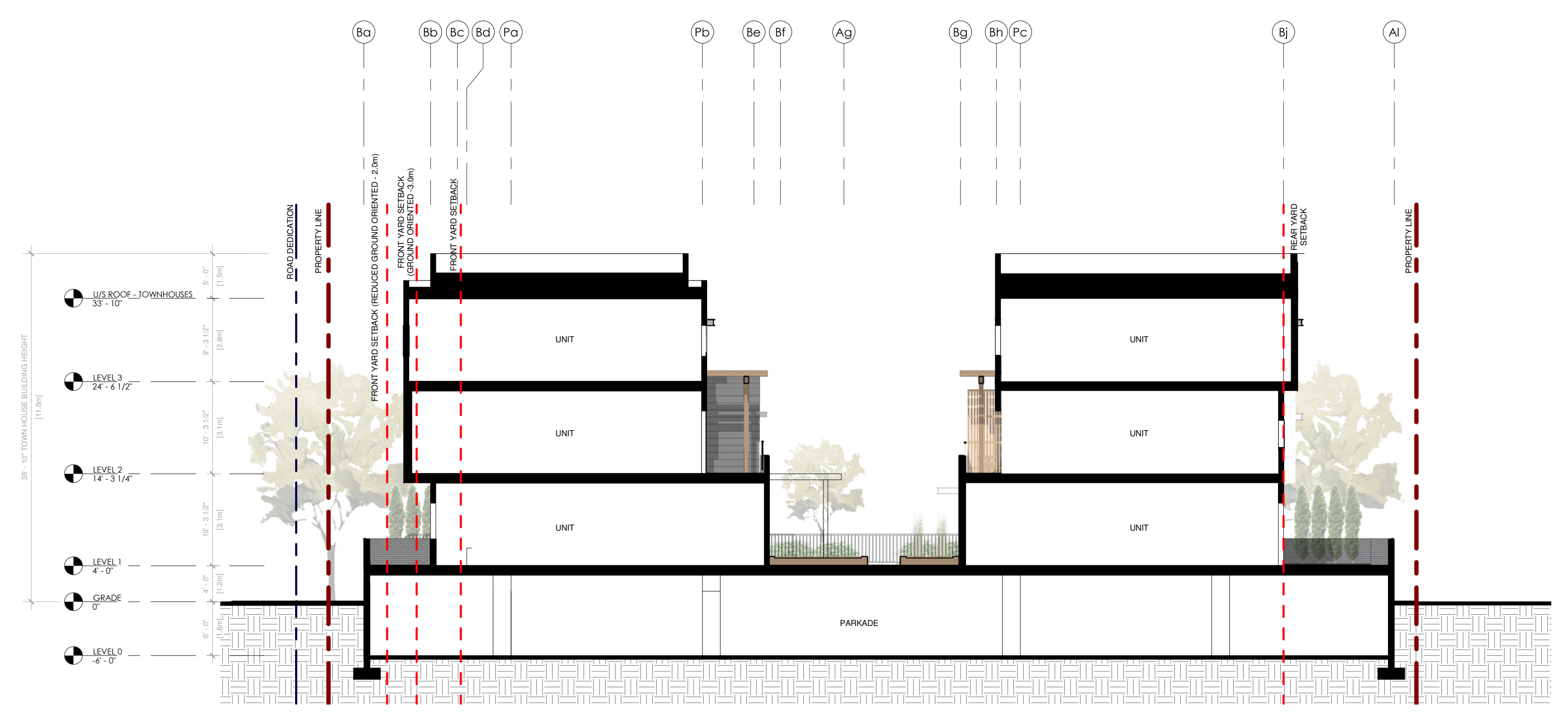
Sheet Title
BUILDING SECTIONS

Job Number 22.1086
 Date 24.02.21
 Scale 1" = 10'-0"
 Revision Number 0
 Drawing Number

A5.0



② APARTMENT BUILDING SECTION
 1" = 10'-0"



③ Section 4
 1" = 10'-0"