

THE HEIGHTS AT UPPER MISSION

949 HEWETSON CT, KELOWNA BC

UPPER MISSION DEVELOPMENT LP



SHEET LIST

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MQN
ARCHITECTS

THE HEIGHTS AT UPPER MISSION
PROJECT #: 23822

ARCHITECTURAL:
MQN ARCHITECTS
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CIVIL:
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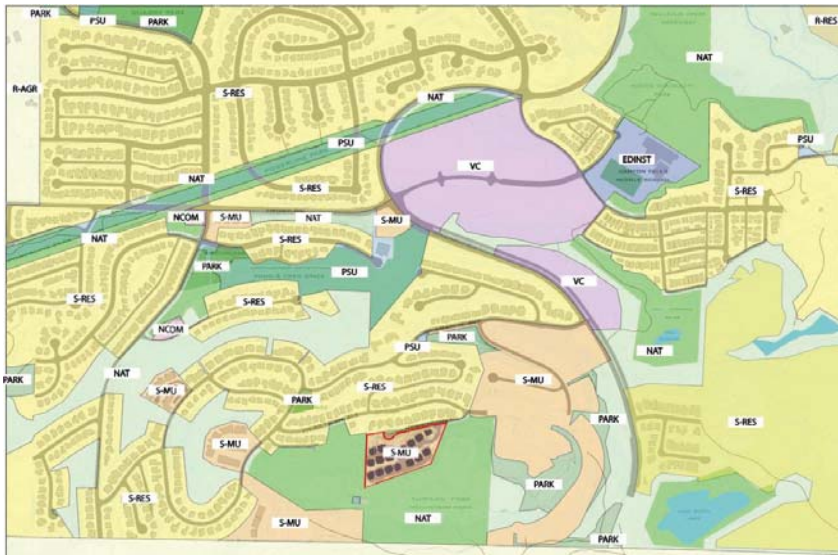
LANDSCAPE:
ECORA ENGINEERING LTD.
CONTACT: ACHIM MULLER
#200 - 2045 ENTERPRISE WAY
KELOWNA, BC V1Y 9T5
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CONTACT: PETE WITSTOCK
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pete.witstock@ecora.ca

ENVIRONMENTAL:
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CONTACT: SCOTT LAYHER
#200 - 2045 ENTERPRISE WAY
KELOWNA, BC V1Y 9T5
250 469 9757
scott.layher@ecora.ca



Property highlighted in blue



- EDNIT** = EDUCATION/INSTITUTIONAL
NAT = NATURAL AREA
NCOM = NEIGHBOURHOOD COMMERCIAL
PARK = PARK AND OPEN SPACE
PSU = PUBLIC SERVICE UTILITIES
S-MU = SUBURBAN MULTIPLE UNIT
S-RES = RURAL RESIDENTIAL
R-AGR = RURAL - AGRICULTURAL & RESOURCE
R-RES = RURAL RESIDENTIAL
VC = VILLAGE CENTRE
- LAND USE:**

SITE LEGEND

- BUILDING
- CONCRETE SIDE WALK
- LANDSCAPING
- ASPHALT PAVING
- ARCHITECTURAL LEVEL
- GEODETIC ELEVATION
- WORK POINT
- BOLLARD SEE DETAIL THIS SHEET

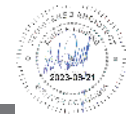
GENERAL NOTES

1. REFER TO CIVIL, MECHANICAL & ELECTRICAL DRAWINGS FOR SITE DETAILS. COORDINATE AS REQUIRED
2. CONFIRM ALL FINAL GRADES ON SITE. REFER TO CIVIL DRAWINGS.
3. PROVIDE IRRIGATION TO ALL LANDSCAPE AREAS. REFER TO MECHANICAL.
4. REFER TO LANDSCAPE DRAWINGS FOR LANDSCAPE DETAILS. COORDINATE AS REQUIRED.

CONSTRUCTION NOTES

- ① HOSE BIB. REFER TO MECHANICAL.
- ② GAS METER ON 2 BOLLARDS. REFER TO DETAIL 20A101. REFER TO MECHANICAL.
- ③ SIMMSE CONNECTION. REFER TO MECHANICAL.

PROPERTY INFORMATION						
CIVIL ADDRESS:	949 HEWETSON COURT, KELOWNA, BC V1W 4L6					
LEGAL ADDRESS:	LOT 1, PLAN EPP07794, DISTRICT LOT 579, SMIKAMEN DIV. OF TALE LAND DISTRICT					
CURRENT ZONING:	N/A (LAST PROPOSED ZONE: RM4H)					
PROPOSED ZONING:	M2					
LOT AREA:	18,260.2 m ² (8ac)	796,551 ft ² (8ac)				
BUILDING INFORMATION						
NUMBER OF NEW BUILDINGS:	14					
BUILDING FOOTPRINT (ALL BUILDINGS):	4,271.0 m ² (9Ac)	47,049 ft ² (10Ac)				
TOTAL NET FLOOR AREA (NFA):	7,273.0 m ² (8Ac)	78,266 ft ² (8Ac)				
TOTAL GROSS FLOOR AREA (GFA):	9,191.0 m ² (8Ac)	98,931 ft ² (8Ac)				
NUMBER OF STOREYS:	3					
DRIVEWAYS AND PARKING AREAS:	3,270 m ² (8Ac)	35,190 ft ² (8Ac)				
BUILDING AREAS:	REFER TO TABLE ON SHEET A-101					
ZONING ANALYSIS						
ZONING BYLAW:	CD KELOWNA, ZONING BYLAW NO 12375					
PRINCIPLE USES:	TOWNHOUSES					
ACCESSORY USES:	N/A					
SUBDIVISION REGULATIONS:	REQUIRED	PROVIDED				
MIN. SITE WIDTH:	20.0 m	250 m				
MIN. SITE DEPTH:	30.0 m	195 m				
MIN. SITE AREA:	900 m ²	18,360 m ²				
DEVELOPMENT REGULATIONS:	REQUIRED	PROVIDED				
MAX SITE COVERAGE:	50%	REFER TO SHEET A-101				
MAX IMPERMEABLE SITE COVERAGE:	80%	REFER TO SHEET A-101				
MAX BUILDING HEIGHT:	3 STOREYS/12.0m	3 STOREYS OR 11m				
SETBACKS:	REQUIRED	PROVIDED				
FRONT YARD (NORTH):	3.0 m	5.9 m TO BLDG 9				
REAR YARD (SOUTH):	3.0 m	11.4 m TO BLDG 14				
SIDE YARD (EAST):	3.0 m	4.3 m TO BLDG 2				
SIDE YARD (WEST):	3.0 m	3.7 m TO BLDG 10				
LANDSCAPE BUFFERS:	REQUIRED	PROVIDED				
FRONT YARD (NORTH):	N/A	N/A				
REAR YARD (SOUTH):	N/A	N/A				
SIDE YARD (EAST):	N/A	N/A				
SIDE YARD (WEST):	N/A	N/A				
FLOOR AREA RATIO (FAR):	1.0	1.0				
DENSITY (DWELLINGS / ha):	N/A	N/A				
OTHER REGULATIONS:	REQUIRED	PROVIDED				
MIN. COMMON AMENITY SPACE:	124 m ² OF PUBLIC AMENITY SPACE REQUIRED ON SITE	124 m ² OF PUBLIC GARDEN AND LOOKOUT AREA				
PARKING CALCULATION						
	WIDTH	LENGTH	HEIGHT	REQUIRED	PROPOSED	%
REGULAR STALLS	2.5 m	6.0 m	2.0 m	56	62	
SMALL STALLS	2.3 m	4.8 m	2.0 m	0	0	
*80% OF STALLS MAY BE SMALL SIZE						
HANDICAP STALLS	3.9 m	6.0 m	2.3 m	0	0	
NO REQUIREMENT (SEE VISITOR PARKING)						
VISITOR STALLS	REQUIRED			PROVIDED		
LOADING STALLS	N/A			N/A		
BIKE STALLS	0			#		





PANORAMIC VIEW LOOKING NORTH FROM
LOCATION ON SITE BETWEEN BUILDING 3 AND 7



VIEW LOOKING NORTH WEST FROM
LOCATION ON SITE NEAR BUILDING 14



SATELLITE IMAGE OF SITE LOOKING NORTH



VIEW LOOKING NORTH FROM
LOCATION ON SITE NEAR BUILDING 7



PANORAMIC VIEW LOOKING NORTH FROM
LOCATION ON SITE NEAR BUILDING 14





VIEW LOOKING SOUTH FROM HEWESTON COURT



VIEW LOOKING NORTH FROM ROAD 3



VIEW LOOKING SOUTH WEST FROM ROAD 1



VIEW LOOKING SOUTH EAST FROM ROAD 2



VIEW LOOKING SOUTH FROM HEWESTON COURT



VIEW LOOKING SOUTH TOWARDS KUIPERS PEAK



VIEW LOOKING SOUTH WEST FROM ROAD 1

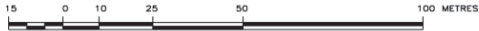


VIEW LOOKING WEST FROM ROAD 2

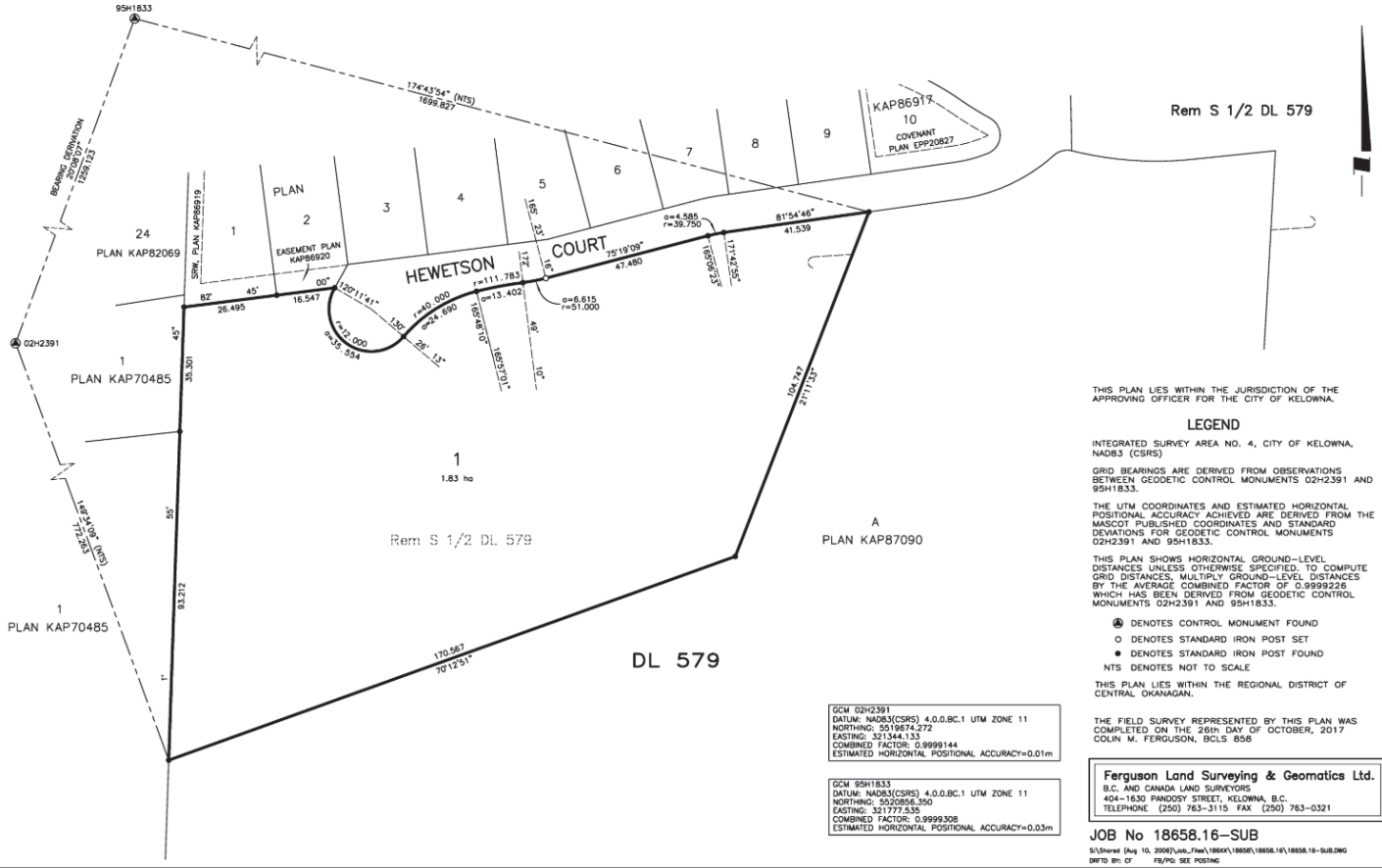
SUBDIVISION PLAN OF PART OF THE SOUTH 1/2 DISTRICT LOT 579 SDYD EXCEPT PLANS KAP77336, KAP86178, KAP86917, KAP87090, KAP87918, EPP9619, EPP9638, EPP12863, EPP15721, EPP18670, EPP22118, EPP55798, EPP45189, EPP72926, AND EPP74481

PLAN EPP77194

BCGS 82E.073



THE INTENDED PLOT SIZE OF THIS PLAN IS 560mm IN WIDTH BY 432mm IN HEIGHT (C SIZE) WHEN PLOTTED AT A SCALE OF 1:750



THIS PLAN LIES WITHIN THE JURISDICTION OF THE APPROVING OFFICER FOR THE CITY OF KELOWNA.

LEGEND

INTEGRATED SURVEY AREA NO. 4, CITY OF KELOWNA, NAD83 (CSRS)

GRID BEARINGS ARE DERIVED FROM OBSERVATIONS BETWEEN GEODETIC CONTROL MONUMENTS 02H2391 AND 95H1833.

THE UTM COORDINATES AND ESTIMATED HORIZONTAL POSITIONAL ACCURACY ACHIEVED ARE DERIVED FROM THE MASCOT PUBLISHED COORDINATES AND STANDARD DEVIATIONS FOR GEODETIC CONTROL MONUMENTS 02H2391 AND 95H1833.

THIS PLAN SHOWS HORIZONTAL GROUND-LEVEL DISTANCES UNLESS OTHERWISE SPECIFIED. TO COMPUTE GRID DISTANCES, MULTIPLY GROUND-LEVEL DISTANCES BY THE AVERAGE COMBINED FACTOR OF 0.9993226 WHICH HAS BEEN DERIVED FROM GEODETIC CONTROL MONUMENTS 02H2391 AND 95H1833.

⊙ DENOTES CONTROL MONUMENT FOUND

○ DENOTES STANDARD IRON POST SET

● DENOTES STANDARD IRON POST FOUND

NTS DENOTES NOT TO SCALE

THIS PLAN LIES WITHIN THE REGIONAL DISTRICT OF CENTRAL OKANAGAN.

THE FIELD SURVEY REPRESENTED BY THIS PLAN WAS COMPLETED ON THE 26th DAY OF OCTOBER, 2017 COLIN M. FERGUSON, BCLS 858

Ferguson Land Surveying & Geomatics Ltd. B.C. AND CANADA LAND SURVEYORS 404-1630 PANDOSY STREET, KELOWNA, B.C. TELEPHONE: (250) 763-3115 FAX: (250) 763-0321

JOB No 18658.16-SUB

S:\Shorel (Aug 10, 2008)\job_files\18658\18658\18658.16\18658.16-SUB.DWG D:\D:\DWG\18658.16-SUB.DWG

GCM 02H2391 DATUM: NAD83(CSRS) 4.0.0.BC.1 UTM ZONE 11 NORTHING: 5519874.272 EASTING: 321344.133 COMBINED FACTOR: 0.9999144 ESTIMATED HORIZONTAL POSITIONAL ACCURACY=0.01m

GCM 95H1833 DATUM: NAD83(CSRS) 4.0.0.BC.1 UTM ZONE 11 NORTHING: 6520856.300 EASTING: 321777.535 COMBINED FACTOR: 0.9999308 ESTIMATED HORIZONTAL POSITIONAL ACCURACY=0.03m



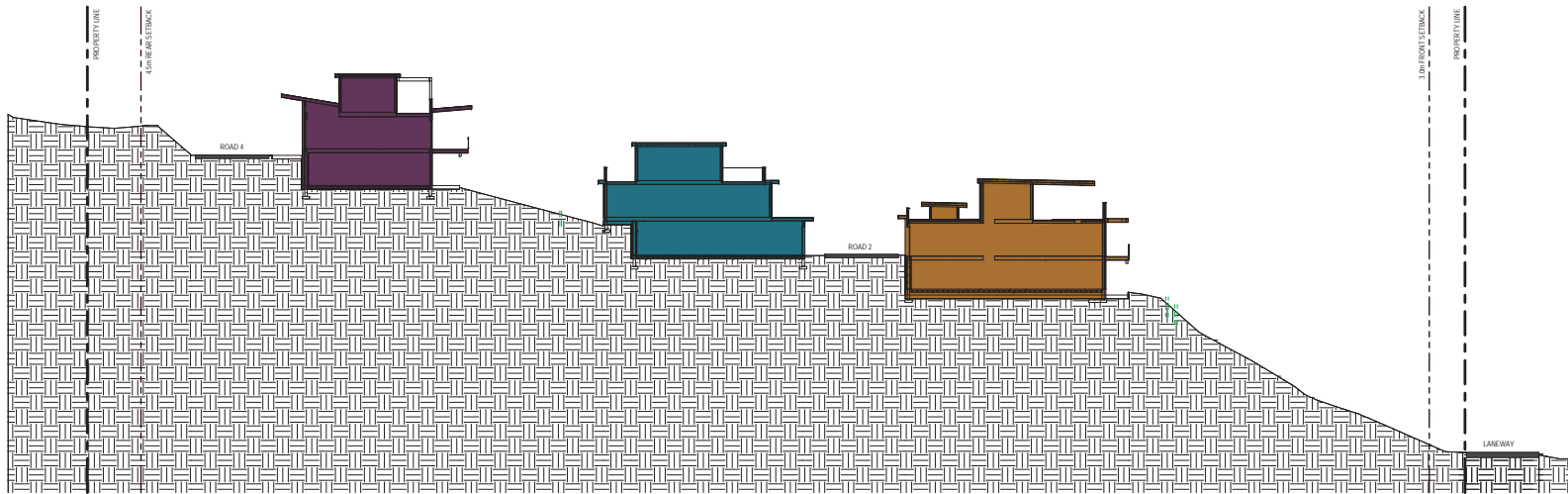
SITE LEGAL SURVEY

THE HEIGHTS AT UPPER MISSION 949 HEWETSON CT, KELOWNA BC

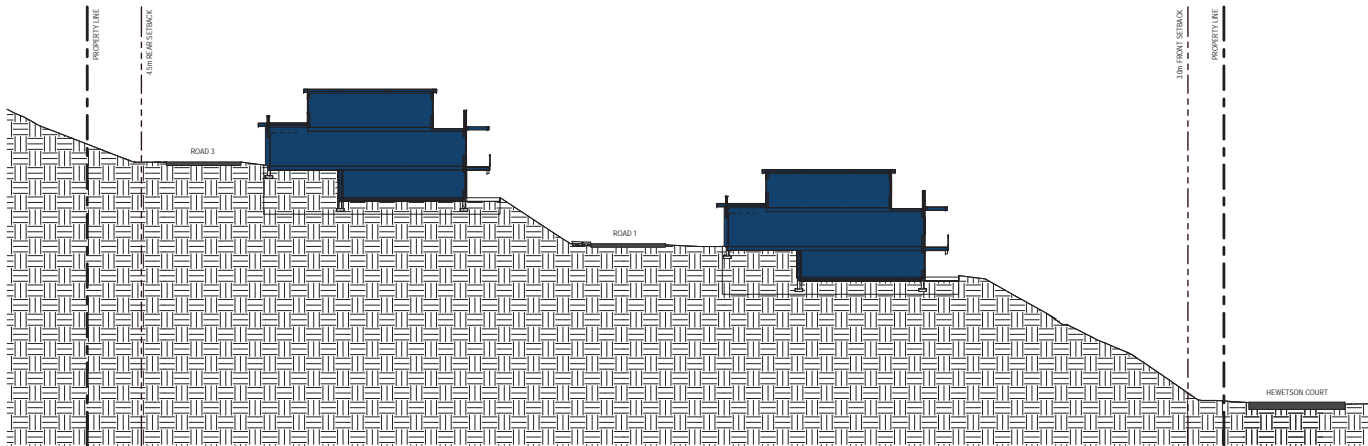


DRAWING: A-100

PROJECT: 23822 SCALE:



1 Section 3
SCALE: 1/16" = 1'-0"



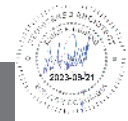
2 Section 4
SCALE: 1/16" = 1'-0"

- SITE NOTES:**
1. SEE CIVIL FOR BUILDING FLOOR ELEVATIONS.
 2. SEE CIVIL DRAWINGS FOR DETAILED PROPOSED GRADING PLAN, RETAINING AND GEODETIC DATUM.
 3. SEE LANDSCAPE DRAWINGS FOR TREES AND PLANTING LAYOUT, SPECIES, IRRIGATION, AND OTHER DETAILS.
 4. WASTE AND RECYCLING PROPOSED AS DOOR COLLECTION.

SITE SECTION LEGEND	
PROPERTY LINE	— — — — —
SETBACK LINE	- - - - -
RETAINING WALL (MAX 3m HEIGHT)	- - - - -
WALK-OUT UNIT	■
WALK-OUT UNIT RANCHER	■
WALK-UP UNIT	■
SINGLE FAMILY HOUSE	■

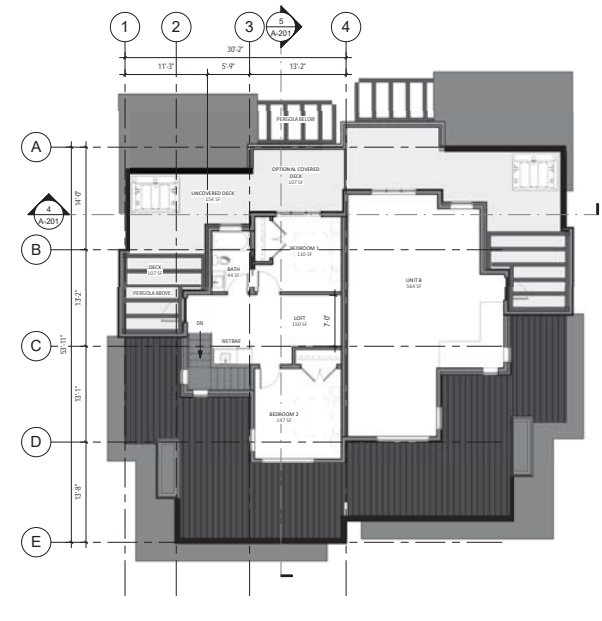
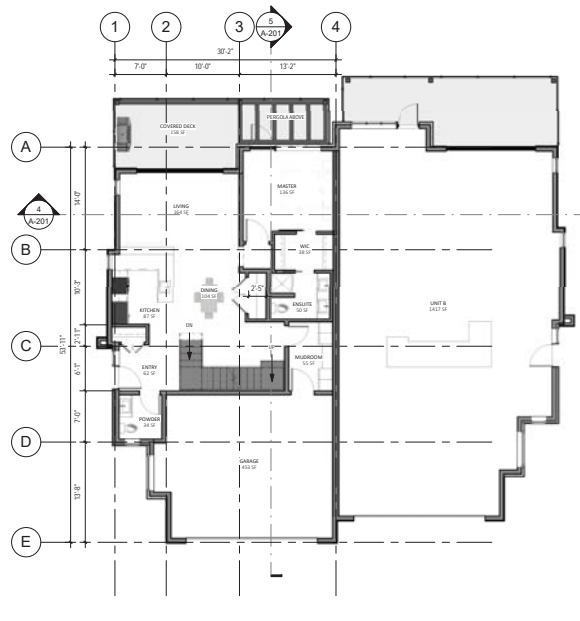
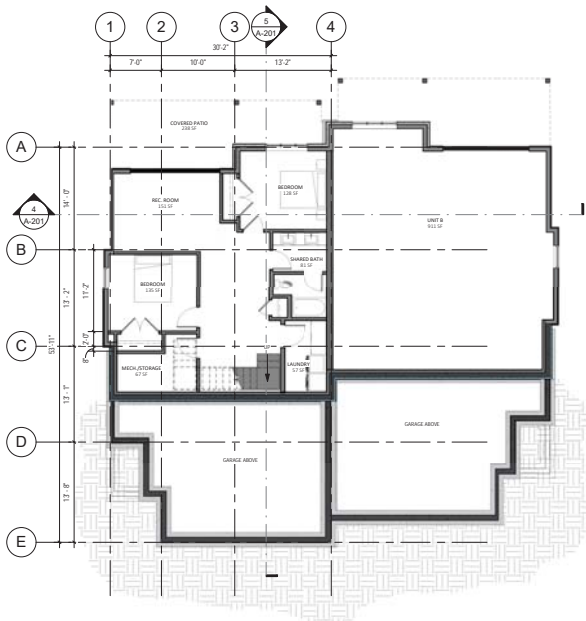
SITE SECTIONS

THE HEIGHTS AT UPPER MISSION
949 HEWETSON CT, KELOWNA BC



DRAWING: **A-102**

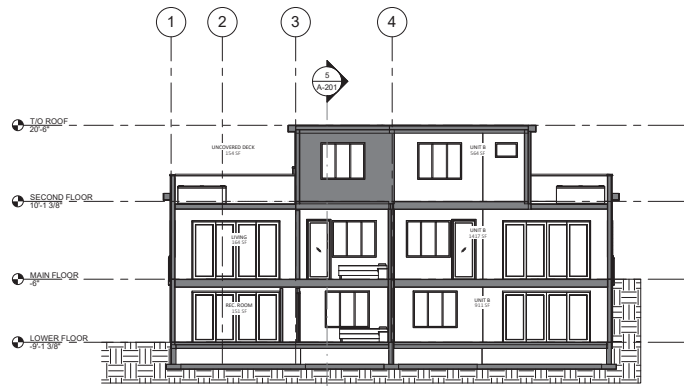
PROJECT: 23822
SCALE: As indicated



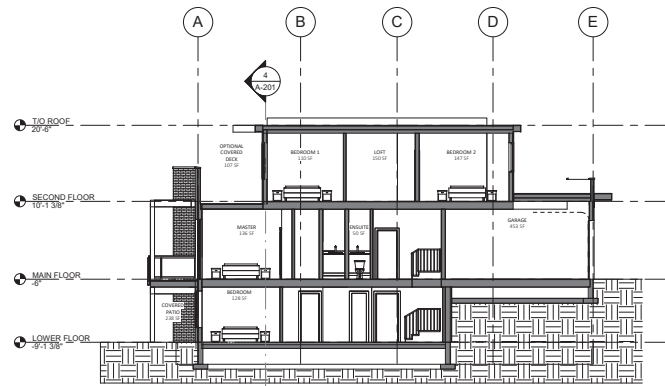
1 LOWER FLOOR
A-201 SCALE: 1/8" = 1'-0"

2 MAIN FLOOR
A-201 SCALE: 1/8" = 1'-0"

3 SECOND FLOOR
A-201 SCALE: 1/8" = 1'-0"



4 SECTION A-A
A-201 SCALE: 1/8" = 1'-0"



5 SECTION B-B
A-201 SCALE: 1/8" = 1'-0"

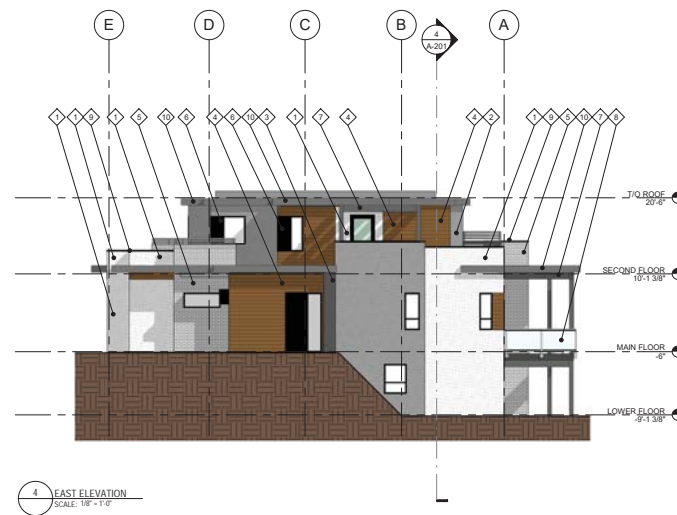
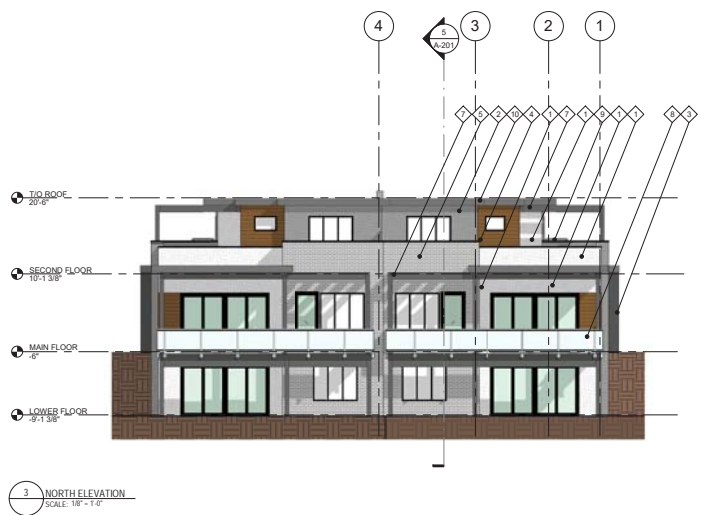
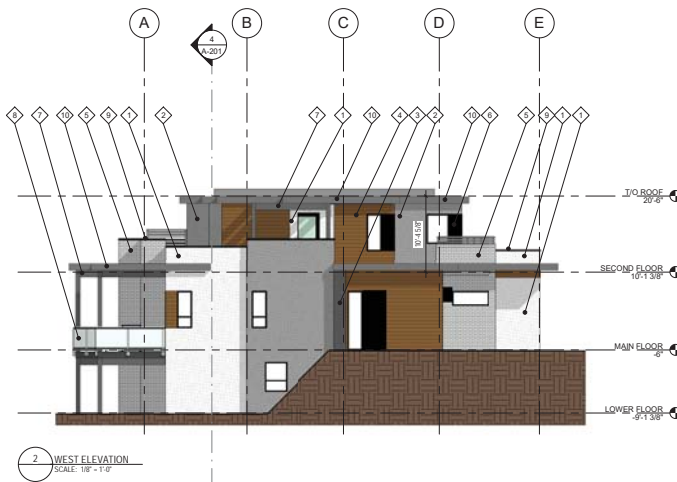
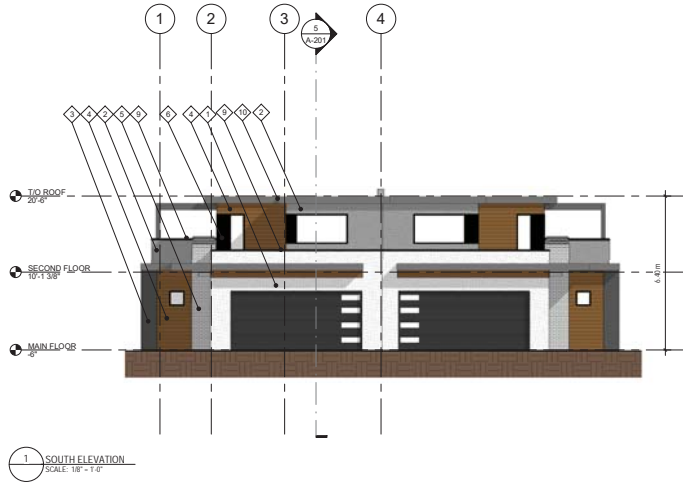
AREAS DUPLEX WALK-OUT	
LOWER FLOOR 811 SF (75.4m)	UPPER FLOOR 499 SF (56.5m)
1 RECREATION ROOM	2 BEDROOM
2 BEDROOM	1 SHARED BATH
1 SHARED BATH	1 LOFT
1 LAUNDRY	
MAIN FLOOR 1,004 SF (93.3m)	TOTAL FINISHED 2,424 SF (225m)
1 MASTER BEDROOM	PATIO 599 SF (55.6m)
1 ENSUITE W.C.	1 COVERED DECK
1 KITCHEN/DINING/LIVING	1 COVERED PATIO
1 MUDROOM	1 ROOFTOP DECK
1 POWDER	
	TOTAL UNFINISHED 669 SF (62m)
	1 MECH. STORAGE (169 SF)
	1 DOUBLE GARAGE (500 SF)



DUPLEX (WALK-OUT) UNIT A - FLOOR PLANS & SECTIONS

THE HEIGHTS
949 HEWETSON CT, KELOWNA, BC





EXTERIOR FINISH LEGEND

OPTION 1

	1	STUCCO	CLOUR: WHITE
	2	STUCCO	CLOUR: GRAY
	3	STUCCO	CLOUR: DARK GRAY
	4	SING	CLOUR: WOOD
	5	BRICK/TILE	GRAY/WHITE

EXTERIOR FINISH LEGEND

OPTION 2

	1	STUCCO	CLOUR: BEIGE
	2	STUCCO	CLOUR: TAUPE BROWN
	3	STUCCO	CLOUR: DARK BROWN
	4	SING	CLOUR: RED WOOD
	5	BRICK/TILE	DARK GRAY

COMMON MATERIALS

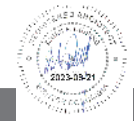
	1	HARDIE TRIM	CLOUR: BLACK
	2	WOOD BEAMS/COLUMNS	CLOUR: GRAY STAINED
	3	GLASS	PAVING
	4	HALF/WALL CAP	BLACK
	5	FASCIA	CLOUR: BLACK





DUPLEX (WALK-OUT) - 3D RENDERS

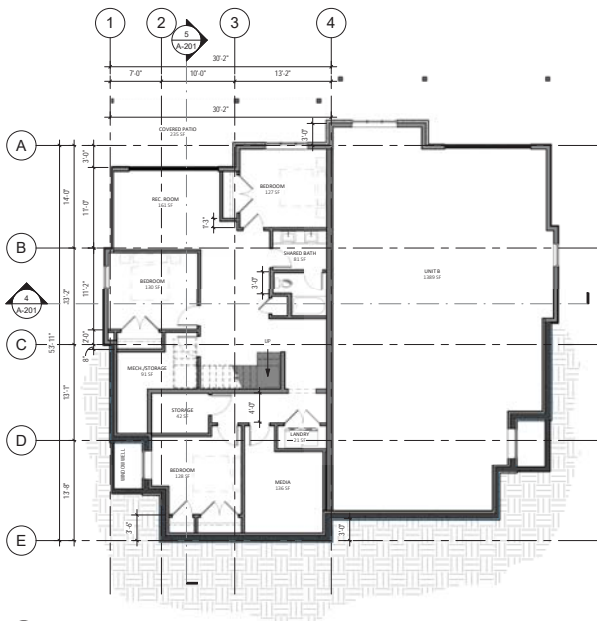
THE HEIGHTS
949 HEWETSON CT, KELOWNA, BC



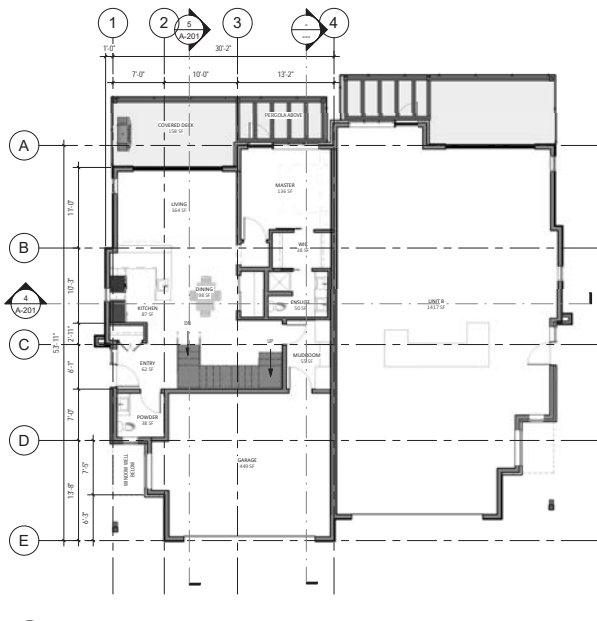
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DRAWING: A-203

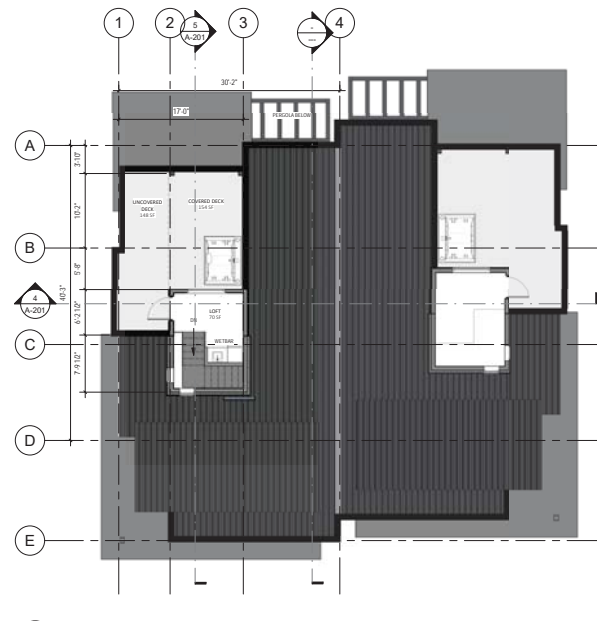
PROJECT: 23822
SCALE: NTS



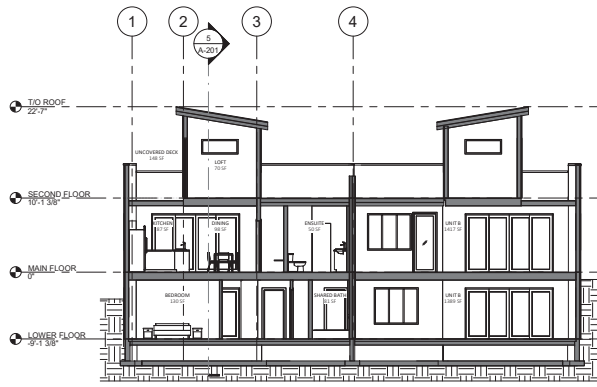
1 LOWER FLOOR
A-201 SCALE: 1/8" = 1'-0"



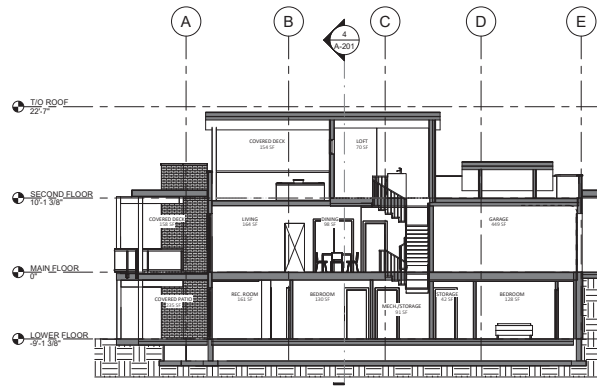
2 MAIN FLOOR
A-201 SCALE: 1/8" = 1'-0"



3 SECOND FLOOR
A-201 SCALE: 1/8" = 1'-0"



4 SECTION A-A
A-201 SCALE: 1/8" = 1'-0"



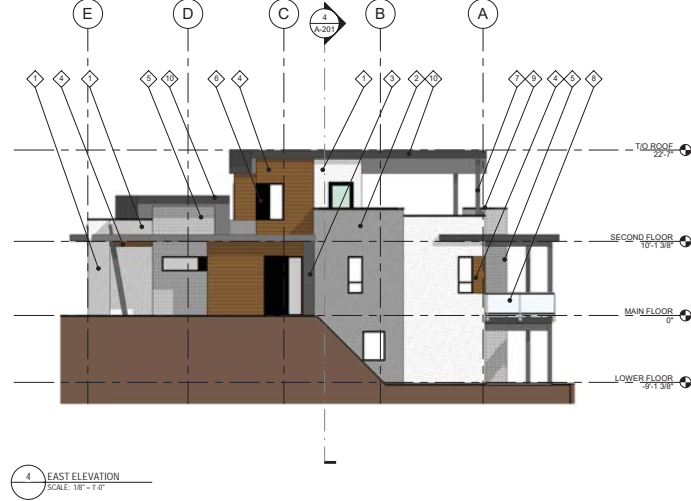
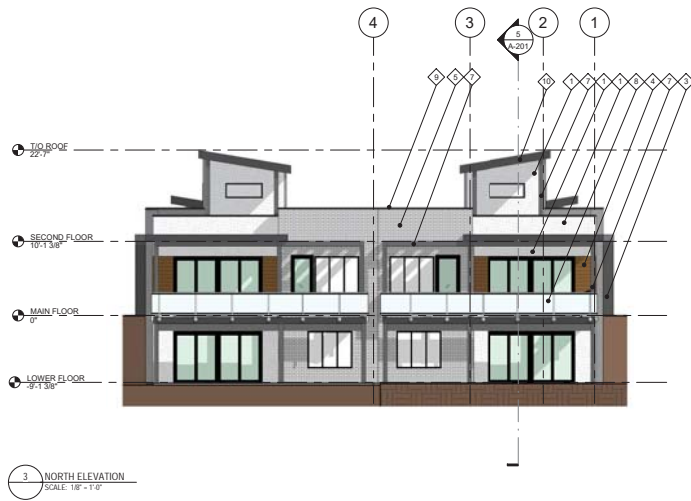
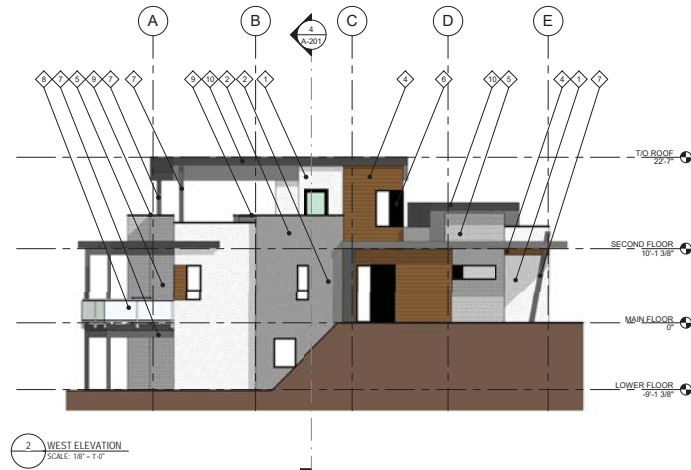
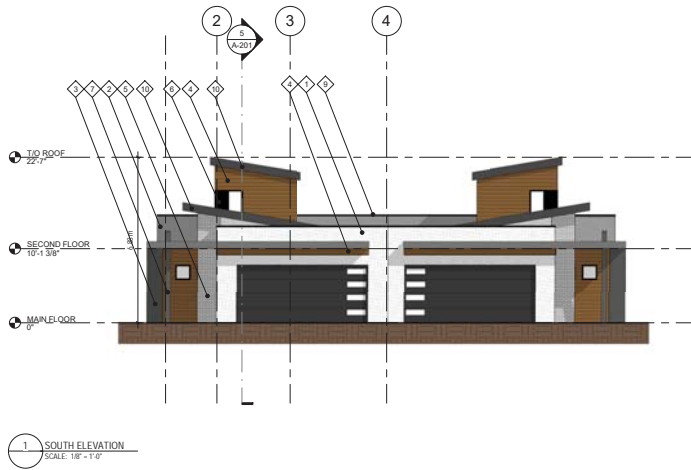
5 SECTION B-B
A-201 SCALE: 1/8" = 1'-0"

AREAS DUPLEX WALK-OUT RANCHER	
LOWER FLOOR 1,312 SF (122m)	UPPER FLOOR 134 SF (12.5m)
1 RECREATION ROOM	1 LOFT
3 BEDROOM	
1 SHARED BATH	TOTAL FINISHED 2,450 SF (228m)
1 LAUNDRY	PATIO 632 SF (59m)
1 MEDIA ROOM	1 COVERED DECK
	1 ROOFTOP DECK
MAIN FLOOR 1,004 SF (93.3m)	TOTAL UNFINISHED 690 SF (64m)
1 MASTER BEDROOM	2 MECH./STORAGE (190 SF)
1 ENSUITE/BATH	1 DOUBLE GARAGE (500 SF)
1 KITCHEN/DINING/LIVING	
1 MUDROOM	
1 POWDER	



KEY PLAN





EXTERIOR FINISH LEGEND

OPTION 1

	1 STUCCO COLOUR WHITE
	2 STUCCO COLOUR GRAY
	3 STUCCO COLOUR DARK GRAY
	4 SIDING COLOUR WOOD
	5 BRICK/TILE GRAY/WHITE

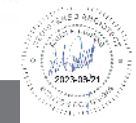
EXTERIOR FINISH LEGEND

OPTION 2

	1 STUCCO COLOUR BEIGE
	2 STUCCO COLOUR TAUPE BROWN
	3 STUCCO COLOUR DARK BROWN
	4 SIDING COLOUR RED WOOD
	5 BRICK/TILE DARK GRAY

COMMON MATERIALS

	6 HARDIE TRIM COLOUR BLACK
	7 WOOD BEAMS/COLUMNS COLOUR GRAY STAINED
	8 GLASS RAILING
	9 HALF RAIL CAP BLACK
	10 FASCIA COLOUR BLACK



DUPLEX (WALK-OUT RANCHER) - EXTERIOR ELEVATIONS

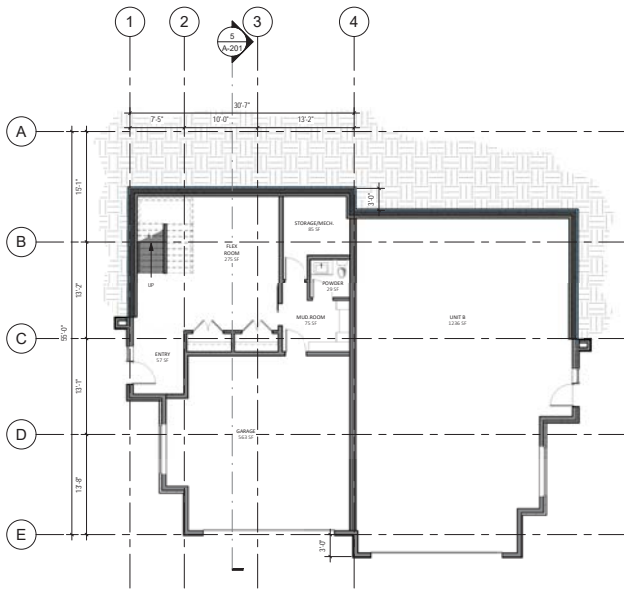
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THE HEIGHTS
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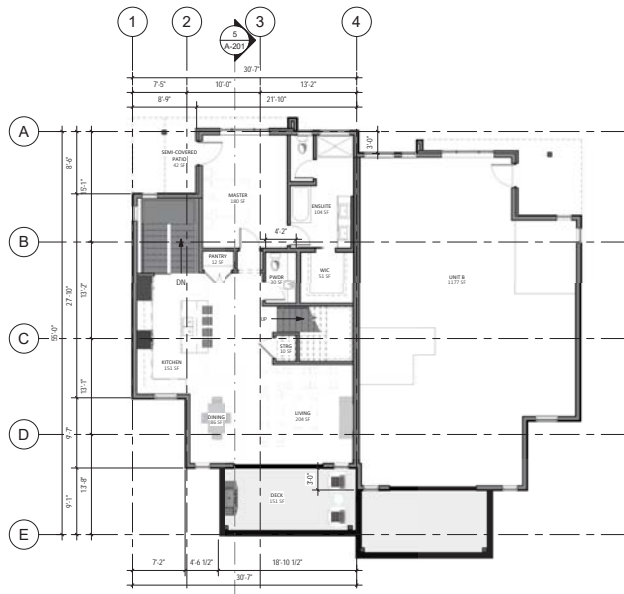
DRAWING: **A-205**

PROJECT: 23822
SCALE: 1/8" = 1'-0"

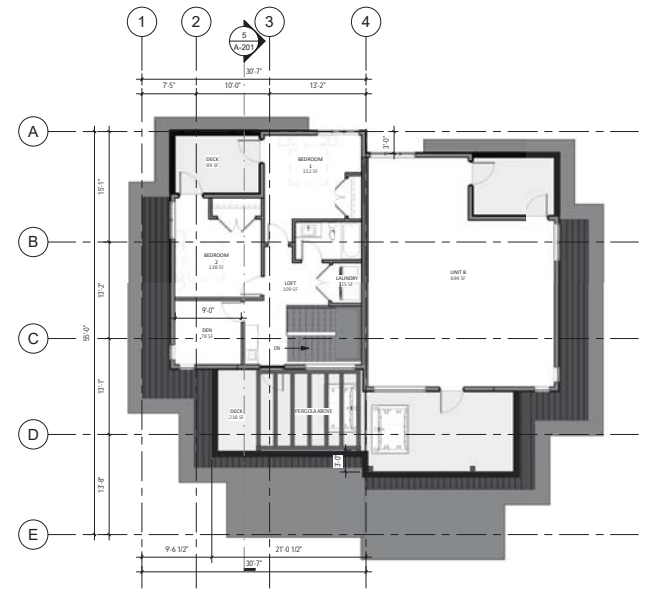




1 MAIN FLOOR - WALK-UP
A.201 SCALE: 1/8" = 1'-0"

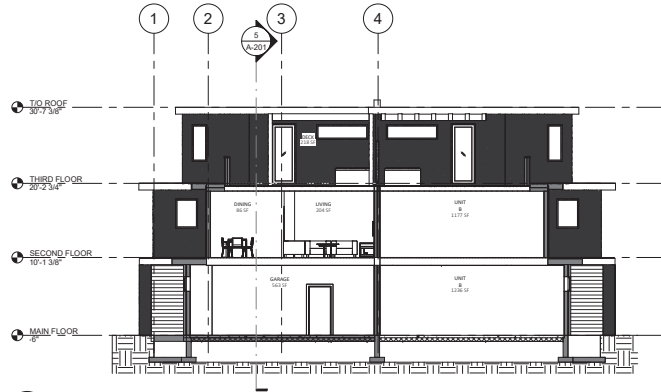


2 SECOND FLOOR
A.201 SCALE: 1/8" = 1'-0"

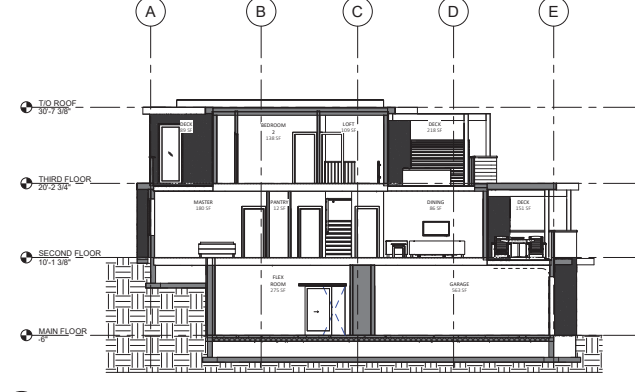


3 THIRD FLOOR
A.201 SCALE: 1/8" = 1'-0"

AREAS DUPLEX WALK-UP	
MAIN FLOOR 767 SF (71m)	TOTAL FINISHED 2,775 SF (258m)
1 FLEX ROOM	PATIO 545 SF (50.6m)
1 MUD. ROOM	1 COVERED DECK
1 POWDER	1 COVERED PATIO
SECOND FLOOR 1,267 SF (118m)	1 ROOF TOP DECK
1 MASTER BEDROOM	TOTAL UNFINISHED 682 SF (63m)
1 ENSUITE/WHC	2 MECH./STORAGE (110 SF)
1 KITCHEN/DINING/LIVING	1 DOUBLE GARAGE (572 SF)
1 POWDER	
THIRD FLOOR 741 SF (68.8m)	
2 BEDROOM	
1 SHARED BATH	
1 DEN	
1 LOFT	
1 LAUNDRY	



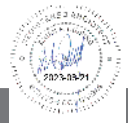
4 SECTION A-A
SCALE: 1/8" = 1'-0"

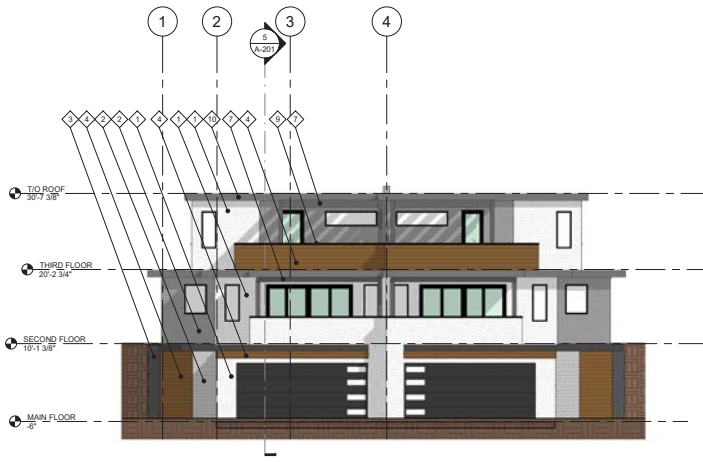


5 SECTION B-B
SCALE: 1/8" = 1'-0"

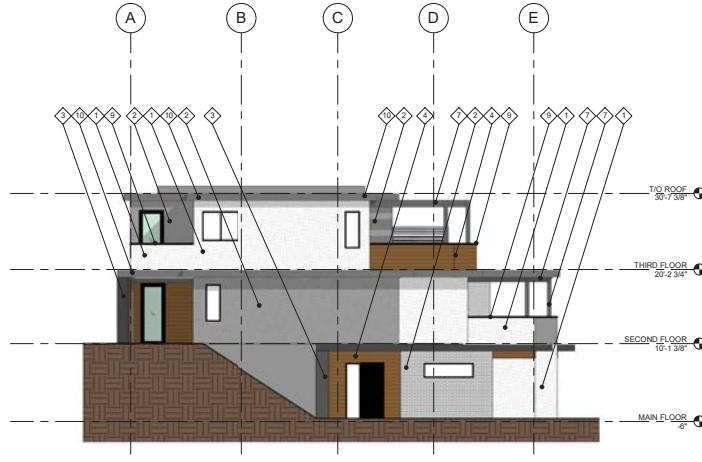


KEY PLAN

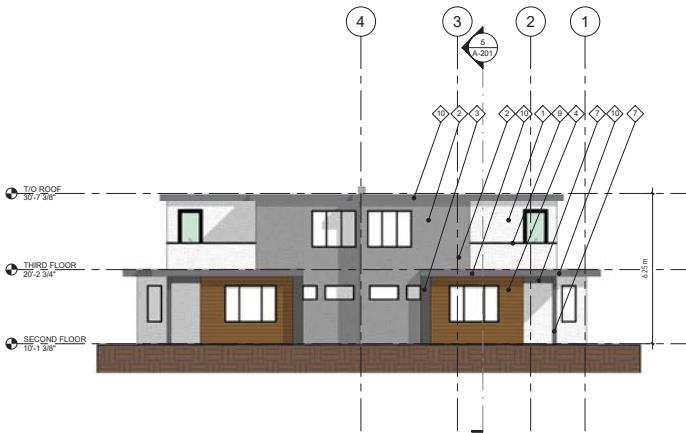




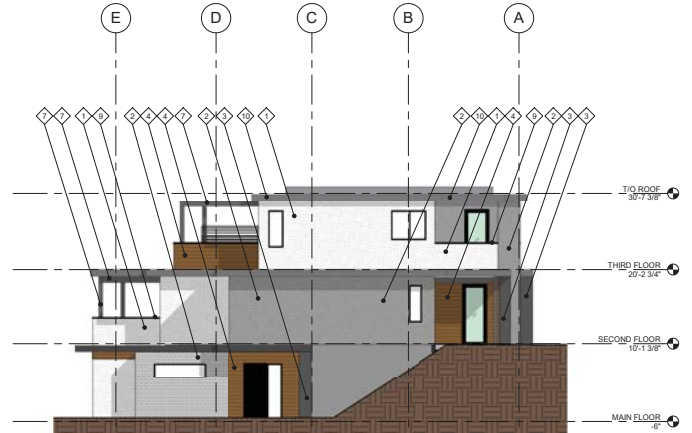
1 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



2 WEST ELEVATION
SCALE: 1/8" = 1'-0"



3 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



4 EAST ELEVATION
SCALE: 1/8" = 1'-0"

EXTERIOR FINISH LEGEND

OPTION 1

	STUCCO COLOUR: WHITE
	STUCCO COLOUR: GRAY
	STUCCO COLOUR: DARK GRAY
	WOOD COLOUR: WOOD
	BRICK/TILE GRAY/WHITE

EXTERIOR FINISH LEGEND

OPTION 2

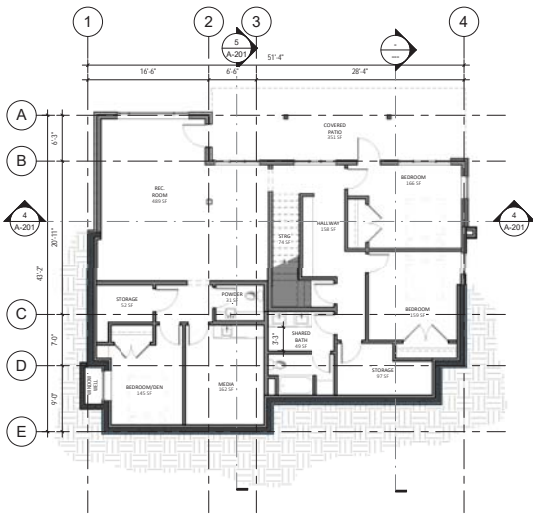
	STUCCO COLOUR: BEIGE
	STUCCO COLOUR: TAPE/BROWN
	STUCCO COLOUR: DARK BROWN
	WOOD COLOUR: RED WOOD
	BRICK/TILE DARK GRAY

COMMON MATERIALS

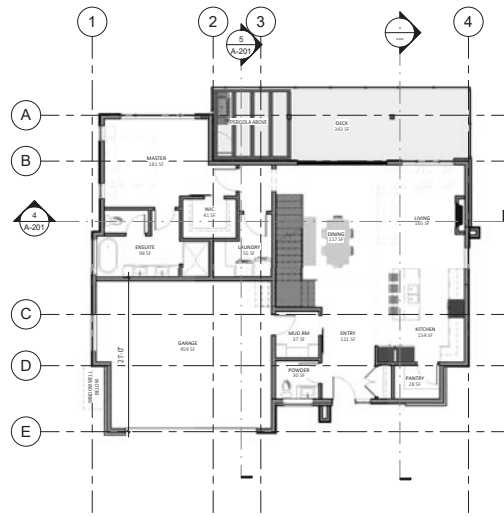
	HARD TRIM COLOUR: BLACK
	WOOD BEAMS/COLUMNS COLOUR: GRAY STAINED
	GLASS RAILING
	HALF WALL CAP BLACK
	FASCIA COLOUR: BLACK



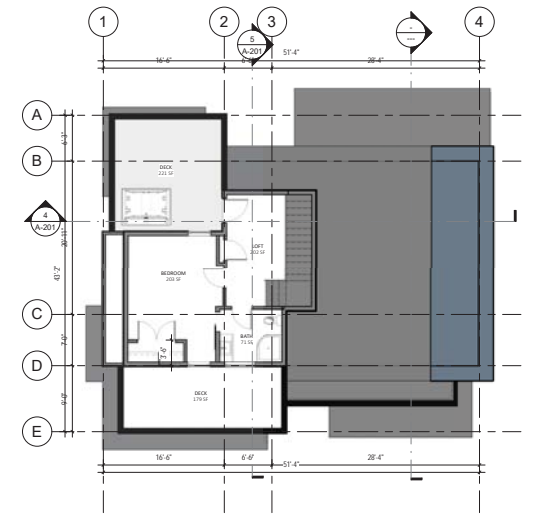




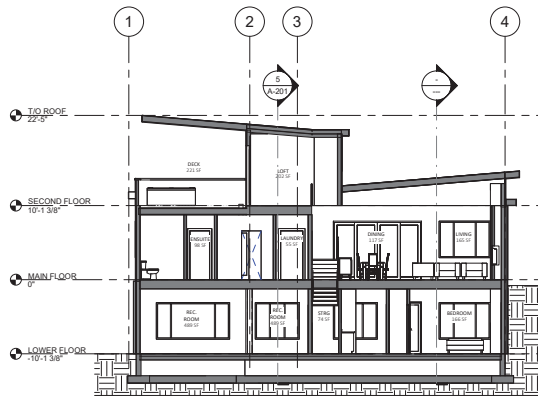
1 LOWER FLOOR
SCALE: 1/8" = 1'-0"



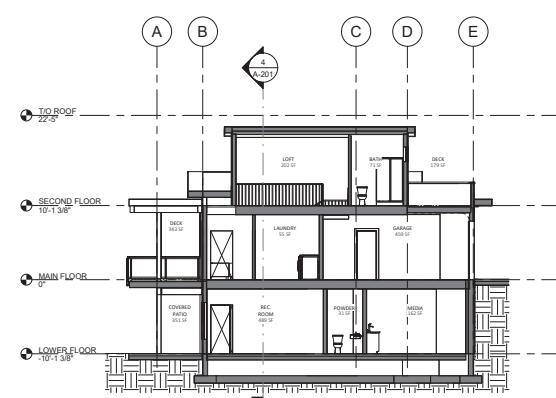
2 MAIN FLOOR
SCALE: 1/8" = 1'-0"



3 SECOND FLOOR
SCALE: 1/8" = 1'-0"

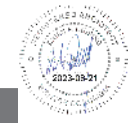


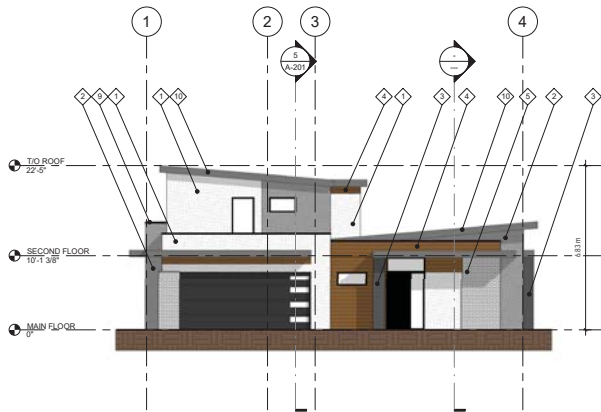
4 SECTION A-A
SCALE: 1/8" = 1'-0"



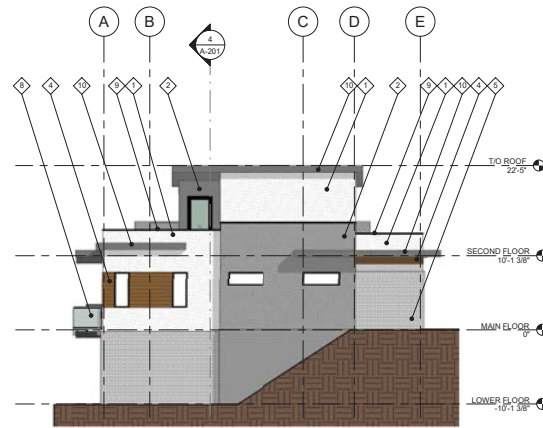
5 SECTION B-B
SCALE: 1/8" = 1'-0"

AREAS SINGLE FAMILY (A)	
LOWER FLOOR 1,694 SF (157m)	UPPER FLOOR 488 SF (45m)
1 RECREATION ROOM	1 BEDROOM
3 BEDROOM	1 BATH
1 SHARED BATH	1 LOFT
1 POWDER	
1 MEDIA ROOM	
TOTAL FINISHED 3,356 SF (312m)	
MAIN FLOOR 1,174 SF (109m)	PATIO 598 SF (55.6m)
1 MASTER BEDROOM	1 COVERED DECK
1 ENSUITE/MECH	2 ROOFTOP DECK
1 KITCHEN/DINING/LIVING	
1 MUDROOM	TOTAL UNFINISHED 645 SF (60m)
1 POWDER	1 MECH./STORAGE
1 LAUNDRY	2 STORAGE
	1 DOUBLE GARAGE

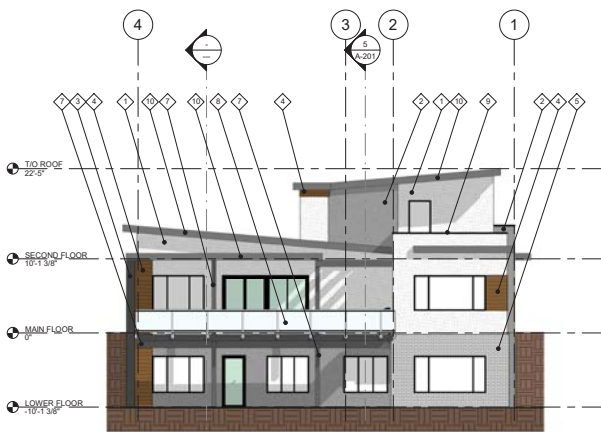




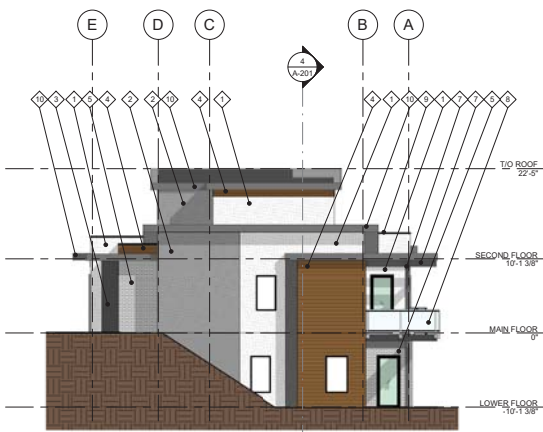
1 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



2 WEST ELEVATION
SCALE: 1/8" = 1'-0"








3 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



4 EAST ELEVATION
SCALE: 1/8" = 1'-0"

EXTERIOR FINISH LEGEND

OPTION 1

-  STUCCO COLOUR WHITE
-  STUCCO COLOUR GRAY
-  STUCCO COLOUR DARK GRAY
-  SIDING COLOUR WOOD
-  BRICK/TILE GRAY/WHITE

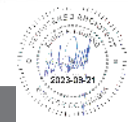
EXTERIOR FINISH LEGEND

OPTION 2

-  STUCCO COLOUR EDGE
-  STUCCO COLOUR TAUPE BROWN
-  STUCCO COLOUR DARK BROWN
-  SIDING COLOUR RED WOOD
-  BRICK/TILE DARK GRAY

COMMON MATERIALS

-  HANDE TRIM COLOUR BLACK
-  WOOD BEAMS/COLUMNS COLOUR GRAY STAINED
-  GLASS RAILING
-  HALF-RAIL CAP BLACK
-  FASCIA COLOUR BLACK



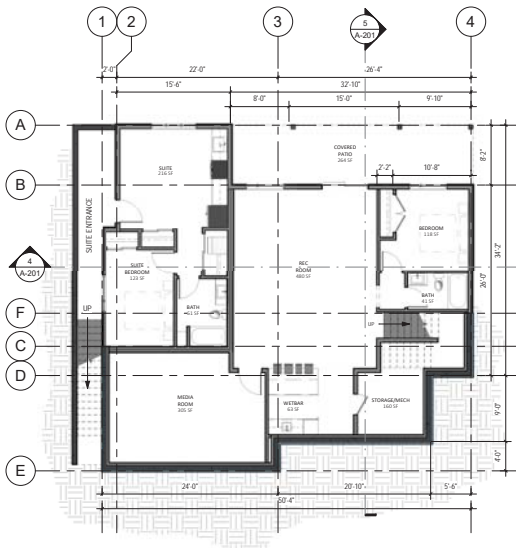
SINGLE FAMILY (TYPE A) - EXTERIOR ELEVATIONS

THE HEIGHTS
949 HEWETSON CT, KELOWNA, BC

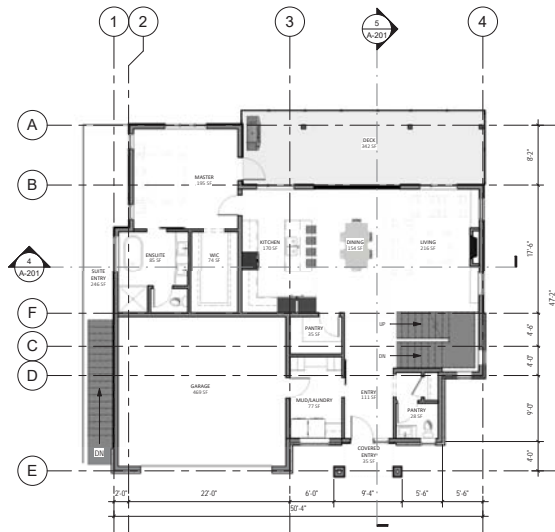
DRAWING: A-211

PROJECT: 23822
SCALE: 1/8" = 1'-0"

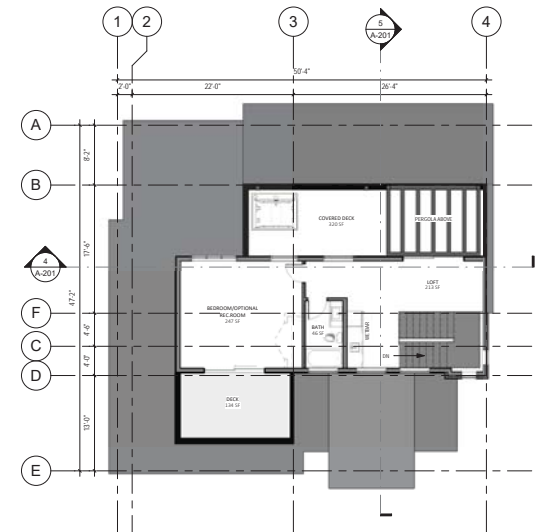




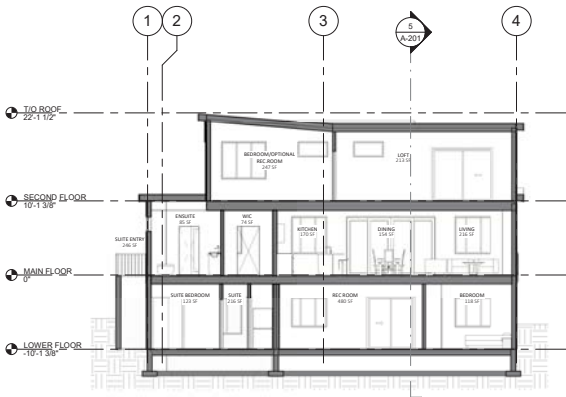
1 LOWER FLOOR
A-201 SCALE: 1/8" = 1'-0"



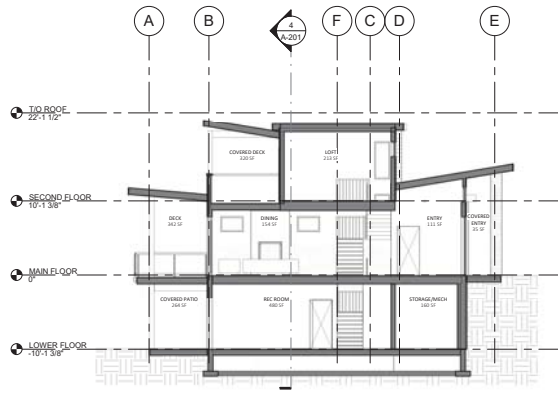
2 MAIN FLOOR
A-201 SCALE: 1/8" = 1'-0"



3 SECOND FLOOR
A-201 SCALE: 1/8" = 1'-0"



4 SECTION A-A
A-201 SCALE: 1/8" = 1'-0"



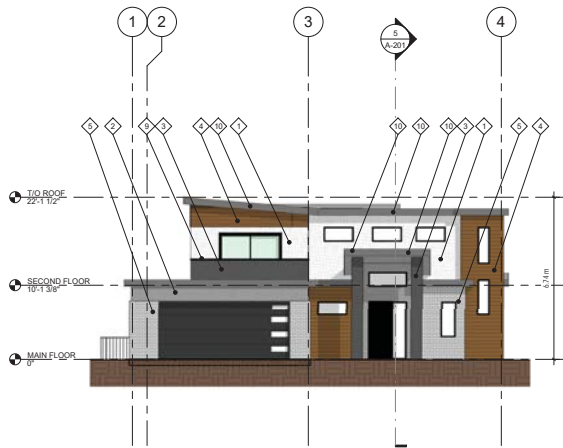
5 SECTION B-B
A-201 SCALE: 1/8" = 1'-0"

AREAS SINGLE FAMILY (B MON)	
LOWER FLOOR 1,725 SF (160m)	UPPER FLOOR 565 SF (52.4m)
1 RECREATION ROOM	1 BEDROOM/REC.RM
1 BEDROOM	1 BATH
1 BATH	1 LOFT
1 SUITE	
MAIN FLOOR 1,426 SF (132.5m)	TOTAL FINISHED 3,716 SF (345m)
1 MASTER BEDROOM	PATIO 1,095 SF (102m)
1 ENSUITE WIC	1 COVERED DECK
1 KITCHEN/DINING/LIVING	1 COVERED PATIO
1 MUDROOM/LAUNDRY	2 ROOFTOP DECK
1 POWDER	
TOTAL UNFINISHED 706 SF (65.5m)	
1 MECH. STORAGE	
1 DOUBLE GARAGE	

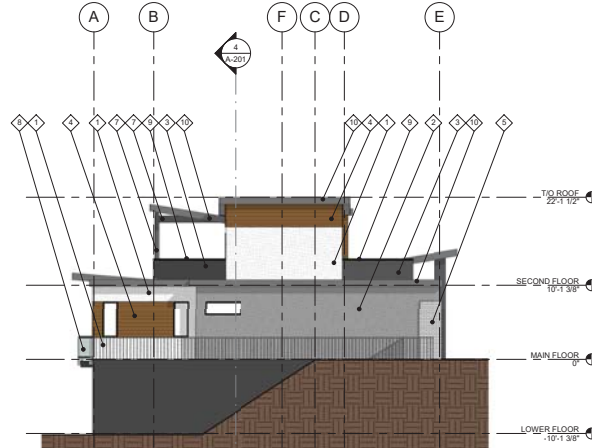


KEY PLAN

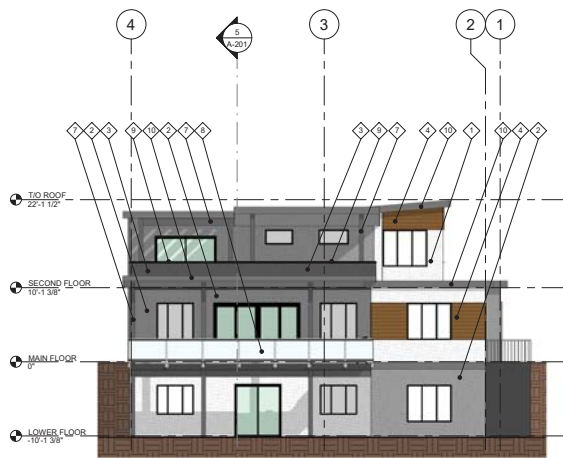




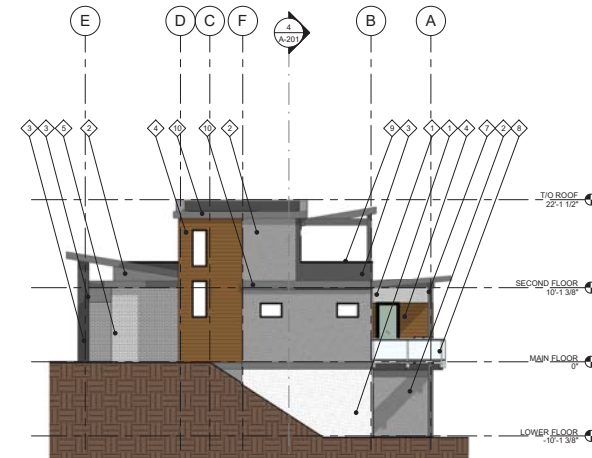
1 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



2 WEST ELEVATION
SCALE: 1/8" = 1'-0"



3 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



4 EAST ELEVATION
SCALE: 1/8" = 1'-0"

EXTERIOR FINISH LEGEND

OPTION 1

- 1 STUCCO COLOUR WHITE
- 2 STUCCO COLOUR GRAY
- 3 STUCCO COLOUR DARK GRAY
- 4 SING COLOUR WOOD
- 5 BRICKTILE GRAY/WHITE

EXTERIOR FINISH LEGEND

OPTION 2

- 1 STUCCO COLOUR BEIGE
- 2 STUCCO COLOUR TAUPE BROWN
- 3 STUCCO COLOUR DARK BROWN
- 4 SING COLOUR RED WOOD
- 5 BRICKTILE DARK GRAY

COMMON MATERIALS

- 6 HARDWARE TRIM COLOUR BLACK
- 7 WOOD BEAMS/COLUMNS COLOUR GRAY STAINED
- 8 GLASS RAILING
- 9 HALF/RAIL CAP BLACK
- 10 FASCIA COLOUR BLACK



SINGLE FAMILY (TYPE B) - EXTERIOR ELEVATIONS

MQN
ARCHITECTS

THE HEIGHTS
949 HEWETSON CT, KELOWNA, BC

DRAWING: **A-214**

PROJECT: 23822
SCALE: 1/8" = 1'-0"

