

Section 15 – Industrial Zones

15.1 I1 – Business Industrial I1rcs – Business Industrial (Retail Cannabis Sales)

15.1.1 Purpose

The purpose is to provide a **zone** for the **development** of planned industrial **business** parks containing clean industrial and office **uses** with limited **outdoor storage** and to provide for industrial **business sites** for transition from heavier industrial **uses** to other **uses**.

15.1.2 Principal Uses

The **principal uses** in this **zone** are:

- (a) **analytical testing**
- (b) **animal clinics, major**
- (c) **broadcasting studios**
- (d) **business support services**
- (e) **cannabis production facilities**
- (f) **child care centre, major**
- (g) **commercial storage**
- (h) **contractor services, limited**
- (i) **custom indoor manufacturing**
- (j) **emergency and protective services**
- (k) **food primary establishment**
- (l) **general industrial uses**
- (m) **liquor primary establishment, minor**
- (n) **offices**
- (o) **participant recreation services, indoor**
- (p) **private clubs**
- (q) **thrift stores**
- (r) **utility services, minor impact**

15.1.3 Secondary Uses

The **secondary uses** in this **zone** are:

- (a) **agriculture, urban**
- (b) **residential security/operator unit**
- (c) **retail cannabis sales establishment (I1rcs only)**

15.1.4 Subdivision Regulations

- (a) The minimum **lot width** is 40.0 m, except it is 20.0 m within the Downtown and Highway 97 **urban centres**.
- (b) The minimum **lot depth** is 35.0 m.
- (c) The minimum **lot area** is 1.0 Ha unless a connection to the community sanitary sewer system, in accordance with the requirements of the City of Kelowna's Subdivision, Development & Servicing Bylaw, has been installed. If a connection to a community sanitary sewer system is available the minimum **lot area** is 4000 m² except it is 2000 m² within the Downtown and Highway 97 urban centres.

15.1.5 Development Regulations

- (a) The maximum **floor area ratio** is 1.2.
- (b) The maximum **height** is the lesser of 16.0 m or 3 **storeys**.
- (c) The minimum **front yard** is 6.0 m.
- (d) The minimum **side yard** is 0.0 m where **adjacent** to commercial or **industrial zones**, except that it is 6.0 m **abutting** other **zones**. The minimum **side yard** is 4.5 m from a **flanking street**.
- (e) The minimum **rear yard** is 0.0 m where **adjacent** to commercial or **industrial zones**, except that it is 6.0 m **abutting** other **zones**.

15.1.6 Other Regulations

- (a) There is to be no outside storage of material or equipment, except that commercial **vehicles** and equipment, not in a state of disrepair, is allowed provided that the area **used** for storage does not exceed the **building** area **used** by the **business** to carry on its operations and shall be screened from view from any **street** or **lane** and from **adjacent** properties.
- (b) Parking or loading are not permitted in the required **front yard**.
- (c) No **general industrial uses** are permitted which carry out their operations such that there would be a **nuisance** factor from noise, odour, earthborne vibrations, heat, high brightness light sources, or dust created or apparent outside an enclosed **building**. Autobody repair and paint shops are not permitted in this **zone**.
- (d) Only one **residential security/operator unit** is permitted on a **site**.
- (e) In addition to the regulations listed above, other regulations may apply. These include the general **development** regulations of Section 6 (accessory **development**, **yards**, projections into **yards**, accessory **development**, lighting, stream protection, etc.), the **landscaping** and fencing provisions of Section 7, the parking and loading regulations of Section 8, and the specific **use** regulations of Section 9.
- (f) Drive-in food services are not a permitted form of development in this zone.

15.2 I2 – General Industrial **I2rcs – General Industrial (Retail Cannabis Sales)**

15.2.1 Purpose

The purpose is to provide for **general industrial uses**.

15.2.2 Principal Uses

The **principal uses** in this zone are:

- (a) **analytical testing**
- (b) **animal clinics, major**
- (c) **auctioneering establishments**
- (d) **automotive and equipment repair shops**
- (e) **automotive and minor recreation vehicle sales/rentals**
- (f) **breweries and distilleries, major**
- (g) **breweries and distilleries, minor**
- (h) **bulk fuel depots**
- (i) **cannabis production facilities**
- (j) **commercial storage**
- (k) **contractor services, general**
- (l) **contractor services, limited**
- (m) **convenience vehicle rentals**
- (n) **custom indoor manufacturing**
- (o) **emergency and protective services**
- (p) **equipment rentals**
- (q) **fleet services**
- (r) **food primary establishment**
- (s) **gas bars**
- (t) **general industrial uses**
- (u) **household repair services**
- (v) **liquor primary establishment, minor**
- (w) **outdoor storage**
- (x) **participant recreation services, indoor**
- (y) **private clubs**
- (z) **rapid drive-through vehicle services**
- (aa) **recycling depots**
- (bb) **recycled materials drop-off centres**
- (cc) **service stations, minor**
- (dd) **service stations, major**
- (ee) **temporary shelter services**
- (ff) **truck and mobile home sales/rentals**
- (gg) **utility services, minor impact**
- (hh) **vehicle and equipment services, industrial**
- (ii) **warehouse sales**

15.2.3 Secondary Uses

The **secondary uses** in this zone are:

- (a) **agriculture, urban**
- (b) **child care centre, major**
- (c) **residential security/operator unit**
- (d) **retail cannabis sales establishment (I2rcs only)**

15.2.4 Subdivision Regulations

- (a) The minimum **lot width** is 40.0 m.
- (b) The minimum **lot depth** is 35.0 m.
- (c) The minimum **lot area** is 1.0 Ha unless a connection to the community sanitary sewer system, in accordance with the requirements of the City of Kelowna's Subdivision, Development & Servicing Bylaw, has been installed. If a connection to a community sanitary sewer system in accordance with the requirements of the City of Kelowna's Subdivision, Development & Servicing Bylaw has been installed, the minimum **lot area** is 4,000 m².

15.2.5 Development Regulations

- (a) The maximum **floor area ratio** is 1.5.
- (b) The maximum **site coverage** is 60%.
- (c) The maximum **height** is 14.0 m.
- (d) The minimum **front yard** is 7.5 m.
- (e) The minimum **side yard** is 4.5 m, except it is not required **abutting a lot** in the C or I zones, and it is 6.0 m on a **flanking street**.
- (f) The minimum **rear yard** is 0.0 m where **adjacent** to commercial or industrial zones, except that it is 6.0m **abutting** other zones.

15.2.6 Other Regulations

- (a) No **use** shall produce dust, or other emissions that exceed standards set by provincial legislation, without written authorization from the appropriate provincial agency.
- (b) No **use** shall produce odour, glare, or noise that creates a **nuisance**.
- (c) There shall be no **outdoor storage** of toxic, noxious, explosive, odorous, or radioactive materials.
- (d) Only one **residential security/operator unit** is permitted on a **site**.
- (e) In addition to the regulations listed above, other regulations may apply. These include the general **development** regulations of Section 6 (accessory **development, yards**, projections into **yards**, accessory **development**, lighting, stream protection, etc.), the **landscaping** and fencing provisions of Section 7, the parking and loading regulations of Section 8, and the specific **use** regulations of Section 9.
- (f) Drive-in food services are not a permitted form of development in this zone.

15.3 I3 – Heavy Industrial

15.3.1 Purpose

The purpose is to designate and preserve land for the orderly **development** of industrial **uses** which, due to appearance, noise, odour, emission of toxic wastes, or fire or explosive hazards may have detrimental effects on other **zones**.

15.3.2 Principal Uses

The **principal uses** in this **zone** are:

- (a) **analytical testing**
- (b) **animal clinics, major**
- (c) **breweries and distilleries, major**
- (d) **breweries and distilleries, minor**
- (e) **bulk fuel depots**
- (f) **cannabis production facilities**
- (e) **concrete and asphalt plants**
- (f) **general industrial uses**
- (g) **outdoor storage**
- (h) **recycling depots**
- (j) **recycling plants**
- (k) **recycled materials drop-off centres**
- (l) **utility services, minor impact**
- (m) **utility services, major impact**
- (n) **vehicle and equipment services, industrial**
- (o) **wrecking yards**

15.3.3 Secondary Uses

The **secondary uses** in this **zone** are:

- (a) **agriculture, urban**
- (b) **residential security/operator unit**

15.3.4 Subdivision Regulations

- (a) The minimum **lot width** is 40.0 m.
- (b) The minimum **lot area** is 8000 m².
- (c) The minimum **lot area** is 1.0 Ha unless a connection to the community sanitary sewer system, in accordance with the requirements of the City of Kelowna's Subdivision, Development & Servicing Bylaw, has been installed. If a connection to a community sanitary sewer system in accordance with the requirements of the City of Kelowna's Subdivision, Development & Servicing Bylaw has been installed, the minimum **lot area** is 8000 m².

15.3.5 Development Regulations

- (a) The maximum **floor area ratio** is 0.75.
- (b) The maximum **height** is 18.0 m, except it is 26.0 m for accessory **buildings** and **structures**.
- (c) The minimum **front yard** is 10.0 m.
- (d) The minimum **side yard** is 7.5 m.
- (e) The minimum **rear yard** is 7.5 m.

15.3.6 Other Regulations

- (a) No **uses** are permitted that would carry out their operations such that there would be a significant **nuisance** factor created beyond the boundary of the I₃ **zone**.
- (b) Only those **principal uses** which require large land areas for outdoor operations, may create off-**site** impacts, or require separation because of potential hazards shall be permitted.
- (c) Only one **residential security/operator unit** is permitted on a **site**.
- (d) In addition to the regulations listed above, other regulations may apply. These include the general **development** regulations of Section 6 (accessory **development, yards**, projections into **yards**, accessory **development**, lighting, stream protection, etc.), the **landscaping** and fencing provisions of Section 7, the parking and loading regulations of Section 8, and the specific **use** regulations of Section 9.

15.3.7 Site Specific Uses and Regulations

Uses and regulations apply to the I₃ – Heavy Industrial zone on a site specific basis as follows:

	<i>Legal Description</i>	<i>Civic Address</i>	<i>Regulation</i>
1.	Lot 3 District Lots 127 and 531 ODYD Plan KAP54290	2092 Enterprise Way	To allow thrift store as a permitted Principal Use.

15.4 I₄ – Central Industrial **I₄r_{cs} – Central Industrial (Retail Cannabis Sales)**

15.4.1 Purpose

The purpose is to recognise the historical mix of **uses** reflected in the fringe area of the central **business** district.

15.4.2 Principal Uses

The **principal uses** in this zone are:

- (a) analytical testing
- (b) animal clinics, major
- (c) auctioneering establishments
- (d) automotive and equipment repair shops
- (e) automotive and minor recreation vehicle sales/rentals
- (f) breweries and distilleries, major
- (g) breweries and distilleries, minor
- (h) broadcasting studios
- (i) bulk fuel depots
- (j) cannabis production facilities
- (k) child care centre, major
- (l) commercial storage
- (m) concrete and asphalt plants
- (n) contractor services, limited
- (o) contractor services, general
- (p) custom indoor manufacturing
- (q) equipment rentals
- (r) fleet services
- (s) food primary establishment
- (t) gas bars
- (u) general industrial uses
- (v) industrial high technology research and product design
- (w) liquor primary establishment, minor
- (x) mobile catering food services
- (y) non- accessory parking
- (z) participant recreation services, indoor
- (aa) pawnshop
- (bb) private clubs
- (cc) rapid drive-through vehicle services
- (dd) recycled materials drop-off centres
- (ee) service stations, major
- (ff) service stations, minor
- (gg) temporary parking lot
- (hh) temporary shelter services
- (ii) utility services, minor impact
- (jj) warehouse sales

15.4.3 Secondary Uses

The **secondary uses** in this zone are:

- (a) agriculture, urban
- (b) amusement arcades, minor
- (c) outdoor storage
- (d) residential security/operator unit
- (e) retail cannabis sales establishment (I₄r_{cs} only)

15.4.4 Subdivision Regulations

- (a) The minimum **lot width** is 40.0 m.
- (b) The minimum **lot depth** is 30.0 m.
- (c) The minimum **lot area** is 1.0 Ha unless a connection to the community sanitary sewer system, in accordance with the requirements of the City of Kelowna's Subdivision, Development & Servicing Bylaw, has been installed. If a connection to a community sanitary sewer system in accordance with the requirements of the City of Kelowna's Subdivision, Development & Servicing Bylaw has been installed, the minimum **lot area** is 1300 m².

15.4.5 Development Regulations

- (a) The maximum **floor area ratio** is 3.0.
- (b) The maximum **height** is 18.0 m.
- (c) The minimum **front yard** is 0.0 m except where the **front yard** is directly across a street from residential development, in which case it is 6.0 m.
- (d) The minimum **side yard** is 0.0 m, except it is 3.0 m for a one **storey building** and 7.5 m for **buildings** greater than one **storey in height** that are **adjacent** to a residential zone.
- (e) The minimum **rear yard** is 0.0 m.

15.4.6 Other Regulations

- (a) Concrete and asphalt plants, **bulk fuel depots**, and those **general industrial uses** in the form of sawmills shall be restricted to those completed or under **construction** prior to January 1st, 1984.
- (b) No **use** shall produce dust, or other emissions that exceed standards set by provincial legislation without the written authorization from the appropriate provincial agency.
- (c) No **use** shall produce odour, glare or noise that creates a **nuisance** or that impairs the **use**, safety or liveability of **adjacent** properties.
- (d) Only one **residential security/operator unit** is permitted on a **site**.
- (e) In addition to the regulations listed above, other regulations may apply. These include the general **development** regulations of Section 6 (accessory **development**, **yards**, projections into **yards**, accessory **development**, lighting, stream protection, etc.), the **landscaping** and fencing provisions of Section 7, the parking and loading regulations of Section 8, and the specific **use** regulations of Section 9.
- (f) Drive-in food services are not a permitted form of development in this zone.

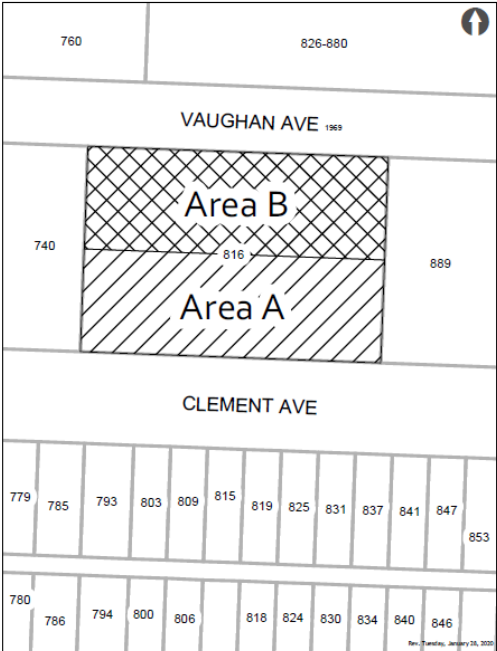
15.4.7 Site Specific Uses and Regulations

Uses and regulations apply to the I₄ – Central Industrial zone on a site-specific basis as follows:

	Legal Description	Civic Address	Regulation
1.	Lot 2 Section 30 Township 26 ODYD Plan 23753	760 Vaughan Ave, Kelowna, BC	To allow business support services, high technology research and product design, liquor primary establishment, major, offices, construction and development industry, offices, retail stores, convenience, retail stores, service commercial, and spectator entertainment establishments as permitted Principal Uses in addition to those permitted in section 15.4.2. Office uses are not permitted in ground-floor units.
2.	Lot B Section 30 Township 26 ODYD Plan EPP83554 (Area A)	816 Clement Ave, Kelowna, BC	To allow: <ul style="list-style-type: none"> • offices; • business support services; • financial services; • government services; • health services; • retail liquor sales establishment; • retail stores, service commercial; • retail stores, general; • liquor primary establishment, major; • personal service establishment • commercial schools as Principal Uses in addition to those permitted in section 15.4.2 as per Area A in Diagram A.
	Lot B Section 30 Township 26 ODYD Plan EPP83554 (Area B)	816 Clement Ave, Kelowna, BC	To allow: <ul style="list-style-type: none"> • business support services; • high technology research and product design and; • liquor primary establishment, major as permitted Principal Uses in addition to those permitted in section 15.4.2 as per Area B in Diagram A.
3.	Lot A Section 30 Township 26 ODYD, Plan KAP75328, Except Plan KAP87231	1171-1199 Gordon Drive, Kelowna, BC	To allow retail liquor sales establishment as permitted Secondary Use in addition to those permitted in section 15.4.3.

	Legal Description	Civic Address	Regulation
4	Lot A Section 30 Township 26ODYD Plan 18927	907 Ethel Street	To allow Multiple dwelling housing as a permitted Principal Use.
5	Lot A District Lot 9 ODYD Plan 39328	945 Guy Street	To allow for Residential Sales Centre as a Principal Use in addition to those permitted in section 15.4.2.

Diagram A – 816 Clement Ave



15.5 I5 – Extraction

15.5.1 Purpose

The purpose is to provide a **zone** for the extraction, grading, crushing, screening, and storage of natural soil deposits.

15.5.2 Principal Uses

The **principal uses** in this **zone** are:

- (a) **natural resource extraction**
- (b) **utility services, minor impact**
- (c) **utility services, major impact**

15.5.3 Secondary Uses

The **secondary uses** in this **zone** are:

- (a) **agriculture, urban**
- (b) **concrete and asphalt plants**
- (c) **offices**
- (d) **outdoor storage**
- (e) **recycling plants**
- (f) **residential operator/security unit**

15.5.4 Subdivision Regulations

- (a) The minimum **lot width** is 100.0 m.
- (b) The minimum **lot depth** is 1000 m.
- (c) The minimum **lot area** is 2.0 ha.

15.5.5 Development Regulations

- (a) The maximum **site coverage** is 10%.
- (b) The maximum **height** is 18.0 m, except it is 26.0 m for accessory **buildings** and **structures**.
- (c) The minimum **front yard** is 30.0 m.
- (d) The minimum **side yard** is 7.5 m.
- (e) The minimum **rear yard** is 15.0 m.

15.5.6 Other Regulations

- (a) There shall be no storage of material located in the required front or **side yards** in this **zone**.
- (b) Only one **residential security/operator unit** is permitted on a **site**.
- (c) In addition to the regulations listed above, other regulations may apply. These include the general **development** regulations of Section 6 (accessory **development**, **yards**, projections into **yards**, accessory **development**, lighting, stream protection, etc.), the **landscaping** and fencing provisions of Section 7, the parking and loading regulations of Section 8, and the specific **use** regulations of Section 9.

15.6 I6 – Low-Impact Transitional Industrial

I6lp – Low-Impact Transitional Industrial (Liquor Primary)

15.6.1 Purpose

The purpose is to provide a **zone** for a range of low-impact transitional industrial land uses which are appropriate as a transition between established industrial land uses and residential, rural, and agricultural land uses. Uses should be primarily indoors, with limited outdoor storage behind extensive buffering or screening. This **zone** is only available for land that is designated in the City of Kelowna Official Community Plan for Industrial – Limited.

15.6.2 Principal Uses

The **principal uses** in this **zone** are:

- a) **animal clinics, major**
- b) **animal clinics, minor**
- c) **automotive and equipment repair shops**
- d) **business support services**
- e) **commercial storage**
- f) **contractor services, general**
- g) **contractor services, limited**
- h) **custom indoor manufacturing**
- i) **emergency and protective services**
- j) **equipment rentals**
- k) **general industrial use, limited**
- l) **household repair services**
- m) **outdoor storage**
- n) **participant recreation services, indoor**
- o) **private clubs**
- p) **recycling depots**
- q) **single dwelling housing**
- r) **utility services, minor impact**
- s) **vehicle and equipment services, limited**

15.6.3 Secondary Uses

The **secondary uses** in this **zone** are:

- a) **home based businesses, major**
- b) **home based businesses, minor**
- c) **residential security/operator unit**
- d) **secondary suite within single dwelling housing**

15.6.4 Subdivision Regulations

- a) The minimum **lot width** is 40.0 m.
- b) The minimum **lot depth** is 50.0 m.
- c) The minimum **lot area** is 1.0 ha unless a connection to the community sanitary sewer system, in accordance with the requirements of the City of Kelowna's Subdivision, Development & Servicing Bylaw has been installed. If a connection to a community sanitary sewer system is available the minimum **lot area** is 3500 m².

15.6.5 Development Regulations

The maximum **site coverage** is 50%.

- b) The maximum **height** is as follows:
- Lesser of 2 ½ storeys or 9.5 m for residential **buildings** and **structures**
 - Lesser of 2 ½ storeys or 9.5 m for industrial **buildings** and **structures**.
 - No more than 4.8 m for **accessory buildings** or **structures**.
- c) The minimum **front yards** are as follows:
- 4.5 m for all **buildings** and **structures**.
 - 6.0 m from a garage or **carport** having vehicular entry from the front.
- d) The minimum **side yards** are as follows:
- 3.0 m for residential **buildings** and **structures**.
 - 4.5 m for industrial **buildings** and **structures**, except it is:
 - 7.5 m where the side yard is adjacent to a non-industrial future land use designation.
- e) The minimum **rear yards** are as follows:
- 7.5 m for residential **buildings** and **structures**.
 - 7.5 m for industrial **buildings** and **structures**, except it is:
 - 30.0 m where the **rear yard** is adjacent to a non-industrial future land use designation.

15.6.6 Other Regulations

- a) No **uses** are permitted which carry out their operations such that there would be a nuisance arising from noise, odour, earthborn vibrations, heat, high brightness light sources, glare, dust created or apparent outside an enclosed **building**, or other emissions. **Auto body repair and paint shops** are not permitted in this **zone**.
- b) Only one **single detached dwelling** and one **residential security/operator unit** are permitted.
- c) [deleted]
- d) Machinery and equipment shall be screened from view from any **street** or adjoining property with **landscaping** and/or **fencing**.
- e) In addition to the regulations listed herein, other regulations may apply. These include the general **development** regulations of Section 6 (accessory **development**, **yards**, projections into **yards**, accessory **development**, lighting, stream protection, etc.), the **landscaping** and fencing provisions of Section 7, the parking and loading regulations of Section 8, and the specific use regulations of Section 9.

15.6.7 Building massing and design [Deleted in its entirety]

15.6.8 Light, noise, dust, odour and emissions [Deleted in its entirety]

15.6.9 Landscaping, buffering and parking

- a) No parking shall be permitted:
- in the **front yard** except visitor and residential parking;
 - in required **side yards**;

- in the **rear yard** within 7.5m of an adjacent non-industrial future land use designation.

15.6.10 Outdoor storage and display

- a) No outdoor storage is permitted in the front yard or in required side or rear yard setbacks.
- b) All **outdoor storage** shall be screened from view of any **street** or adjoining property utilizing opaque **fencing** and **landscaping** materials which are consistent with the overall **site development**.
- c) **Outdoor storage** shall be consolidated into a single area per **lot**.
- d) Outdoor display or sales, or **non-accessory parking**, shall not encroach into **landscaped** areas.

Section 15 – Industrial Zones**15.1 – I1 – Business Industrial, BL11659**

Sub-Section 15.1.2 – Principal Uses – BL8589, BL8960, BL9120, BL9348, BL10804, BL10896, BL10944, BL11054, BL11659

Sub-Section 15.1.3 – Secondary Uses – BL10300, BL11659

Sub-Section 15.1.4 – Subdivision Regulations – BL8571, BL9120

Sub-Section 15.1.6 – Other Regulations – BL9530

15.2 – I2 – General Industrial, BL11659

Sub-Section 15.2.2 – Principal Uses – BL8800, BL8960, BL9120, BL9348, BL10295, BL10804, BL10917, BL11054, BL11659

Sub-Section 15.2.3 – Secondary Uses – BL10300, BL11440, BL11659

Sub-Section 15.2.4 – Subdivision Regulations – BL8571

Sub-Section 15.2.5 – Development Regulation – BL8367, BL8528

Sub-Section 15.2.6 – Other Regulations – BL9530

15.3 – I3 – Heavy Industrial

Sub-Section 15.3.2 – Principal Uses – BL8654, BL9348, BL10295, BL10917, BL11054, BL11659

Sub-Section 15.3.3 – Secondary Uses – BL10300

Sub-Section 15.3.4 – Subdivision Regulations – BL8571

Sub-Section 15.3.7 – Site Specific Uses Regulations – BL11668

15.4 – I4 – Central Industrial, BL11659

Sub-Section 15.4.2 – Principal Uses – BL8528, BL8960, BL9348, BL9444, BL10295, BL10804, BL10917, BL11054, BL11141, BL11440, BL11428, BL11659

Sub-Section 15.4.3 – Secondary Uses – BL10300, BL11659

Sub-Section 15.4.4 – Subdivision Regulations – BL8571

Sub-Section 15.4.5 – Development Regulation – BL9379

Sub-Section 15.4.6 – Other Regulations – BL9530

Sub-Section 15.4.7 – Site Specific Uses and Regulations – BL11993, BL11752, BL12372

15.5 – I5 – Extraction

Sub-Section 15.5.3 – Secondary Uses – BL10300

15.6 – I6 – Low Impact Transitional Industrial – added new section – BL10434

Sub-Section 15.6.1 – Purpose

Sub-Section 15.6.2 – Principal Uses

Sub-Section 15.6.5 – Development Regulation

Sub-Section 15.6.7 – Other Regulations

Sub-Section 15.6.8 – Light, noise, dust, odour and emissions

Sub-Section 15.6.9 – Landscaping, buffering and parking

Sub-Section 15.6.10 – Outdoor Storage and display